

Right of Light Consulting

Burley House
15-17 High Street
Rayleigh
Essex
SS6 7EW

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E-MAIL [REDACTED]
WEBSITE www.right-of-light.co.uk

Bracknell Forest Borough Council
Market Street
Bracknell RG12 1JD

28 February 2024

Dear Sir/Madam,

**47 Fernbank Road, Ascot SL5 8HY
BRE Daylight and Sunlight**

Thank you for inviting me to consider the daylight and sunlight aspects of the above proposed development, with specific reference to the impact on the windows at 45 Fernbank Road. I have considered the following drawings:

47/FR/PL/100	Site	Rev –
47/FR/PL/110	Plans & Elevations	Rev –
47/FR/PL/120	Site	Rev –
47/FR/PL/130	Elevation	Rev –
47/FR/PL/150	Elevation	Rev –

I have appraised the design with reference to the standard daylight and sunlight criteria used for the purpose of assessing planning applications as set out in Building Research Establishment (BRE) guide 'Site Layout Planning for Daylight and Sunlight 2022, 3rd Edition'.

Drawing 120 (enclosed) shows that the proposal satisfies the 45 degree test when applied to the rear elevation window.

Drawing 150 (enclosed) shows that the proposal falls only marginally short of the 25 degree test when applied to the side elevation window. Due to the restricted roof profile and length of the first floor element of the proposal, it is very likely that the window will continue to receive adequate levels of natural light within the recommendations set out in the BRE guide 'Site Layout Planning for Daylight and Sunlight'.

In summary, the proposed development will have a low impact on the light receivable by the neighbouring property at 45 Fernbank Road. I confirm that the development design is very likely to satisfy the requirements set out in the BRE guide 'Site Layout Planning for Daylight and Sunlight'.

Yours sincerely

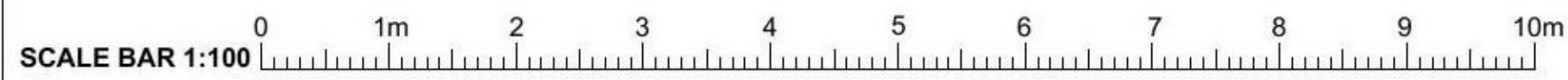


Charles F McMahon LLB (Hons) MSc Psy
Senior Rights of Light & Party Wall Surveyor
Direct Dial: 01268 261092
Email: charles.mcmahon@right-of-light.co.uk

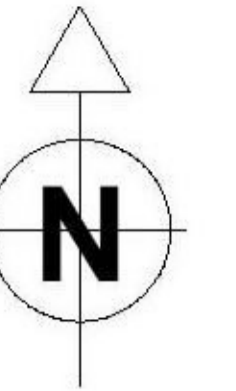


Company:
Right of Light Consulting Ltd
Registered in England and Wales
No. 5908040

Registered Office:
Burley House,
15-17 High Street, Rayleigh,
Essex SS6 7EW

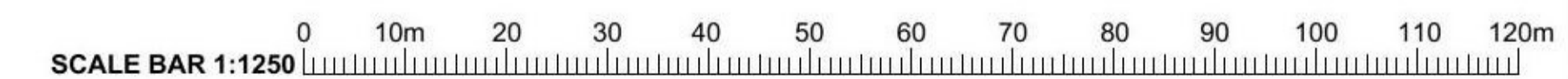


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LOCATION PLAN
SCALE 1:1250

SITE PLAN
SCALE 1:500




LANDMARK GROUP
THE PILLARS
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IN PARTNERSHIP WITH **LABC**

CLIENT / JOB ADDRESS:
47 FERNBANK ROAD
ASCOT
BERKSHIRE
SL5 8HY

DRAWING TITLE / DESCRIPTION
LOCATION AND SITE PLANS

SUBMISSION / REF
PLANNING APPLICATION

DRAWING TITLE
SITE

SCALE : 1:xx ON A3
DRAWN BY : KP

DRAWING No.
47/FR/PL/100

DATE : 28.02.24
CHECKED BY : SB

REVISION	DESCRIPTION	DRAWN BY	DATE

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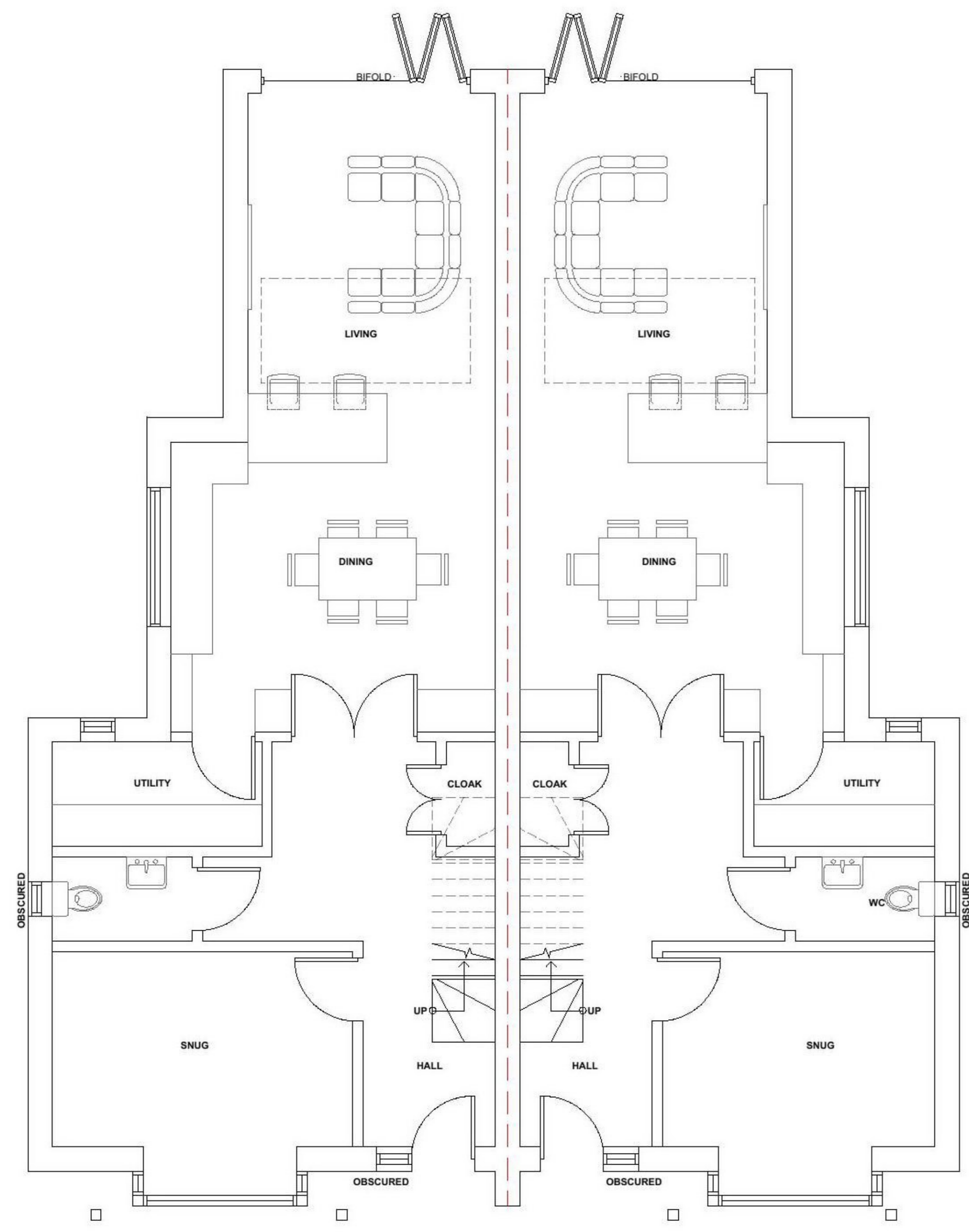
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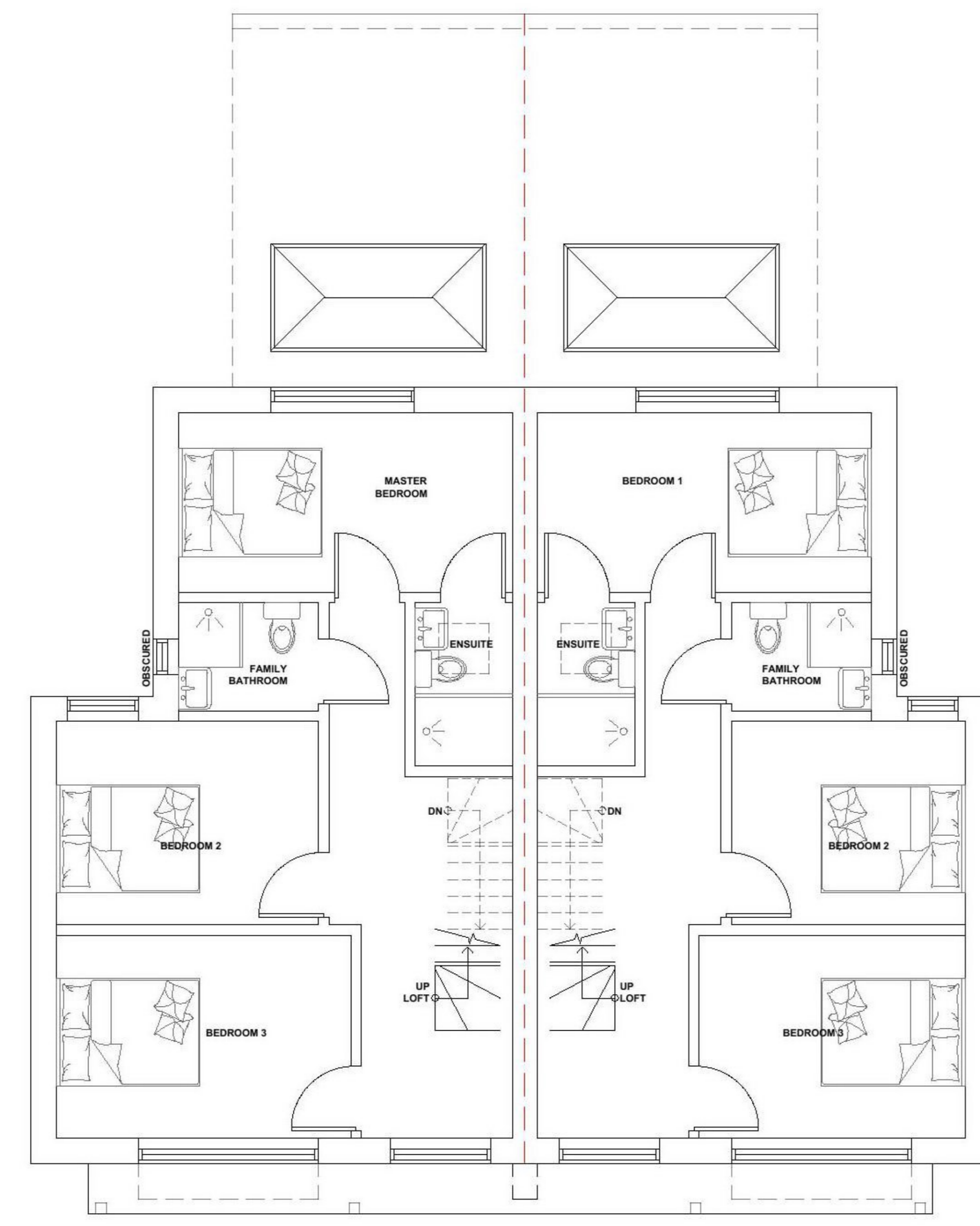
DRAFT DRAWINGS
NOTE: DRAWINGS AND CALCULATIONS TO BE APPROVED BY LOCAL AUTHORITY OR APPROVED BUILDING CONTROL INSPECTOR BEFORE WORK COMMENCES.

SCALE BAR 1:100 0 1m 2 3 4 5 6 7 8 9 10m

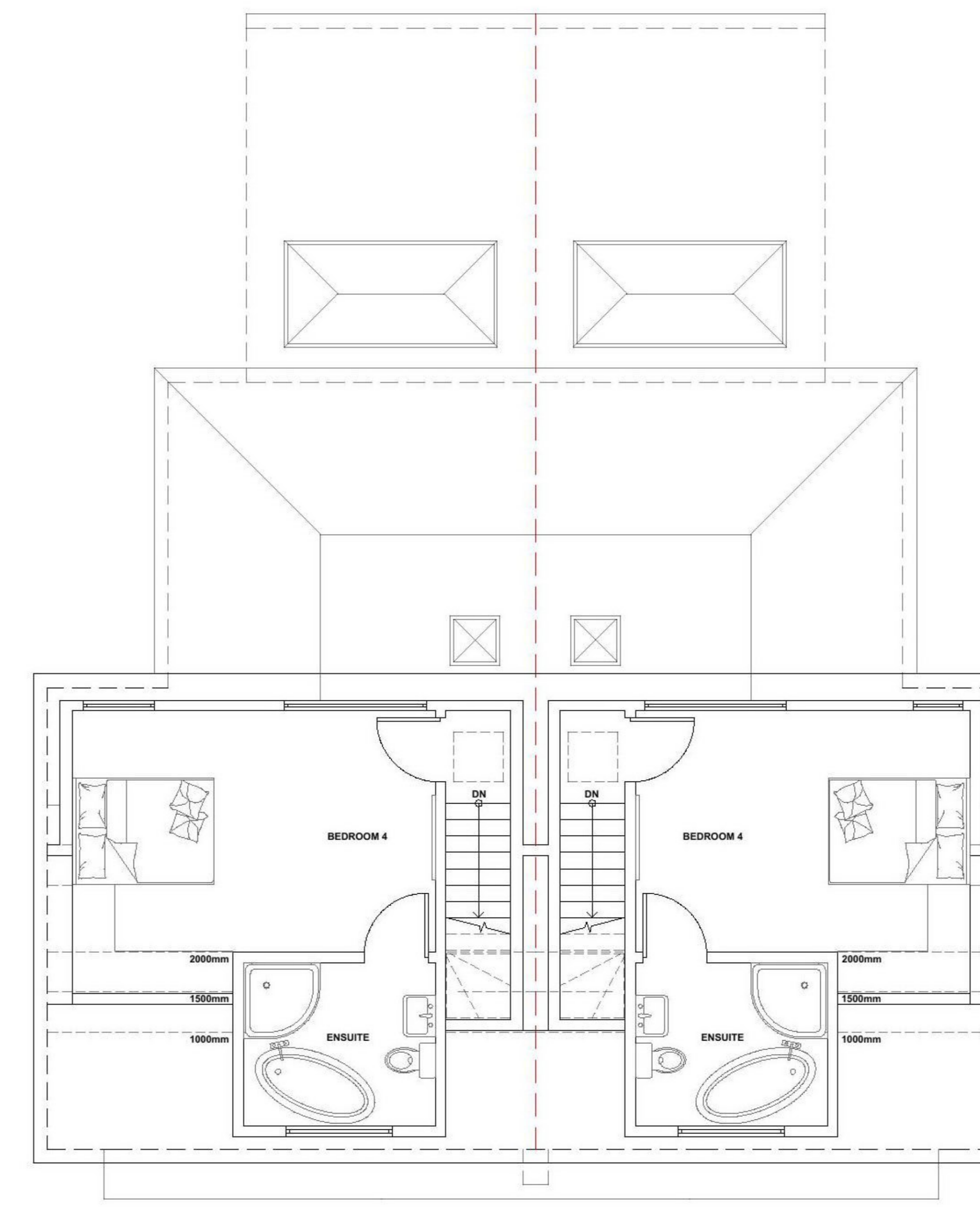
SCALE BAR 1:200 0 2m 4 6 8 10 12 14 16 18 20m



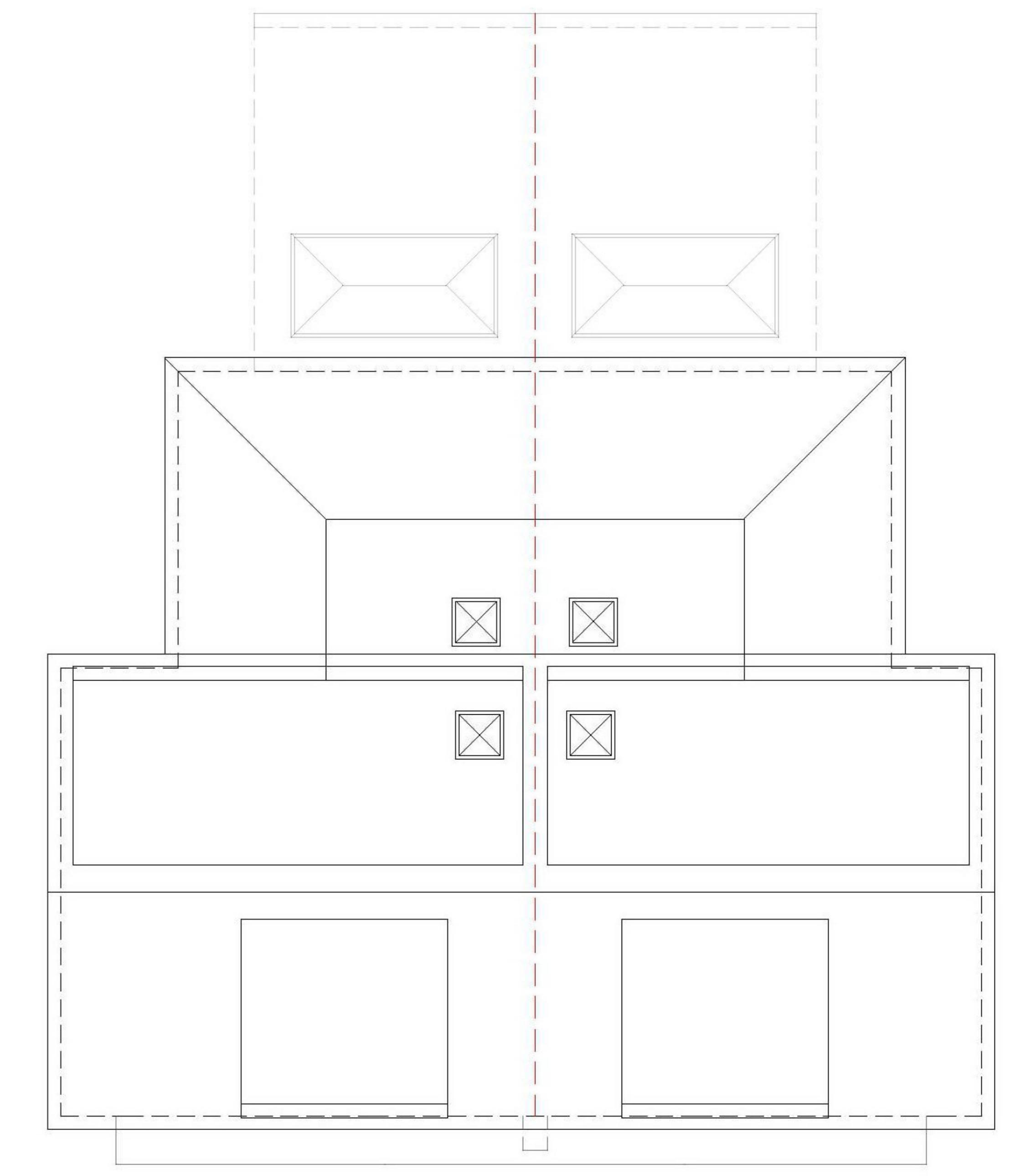
PROPOSED GROUND FLOOR PLAN
SCALE 1:100



PROPOSED FIRST FLOOR PLAN
SCALE 1:100



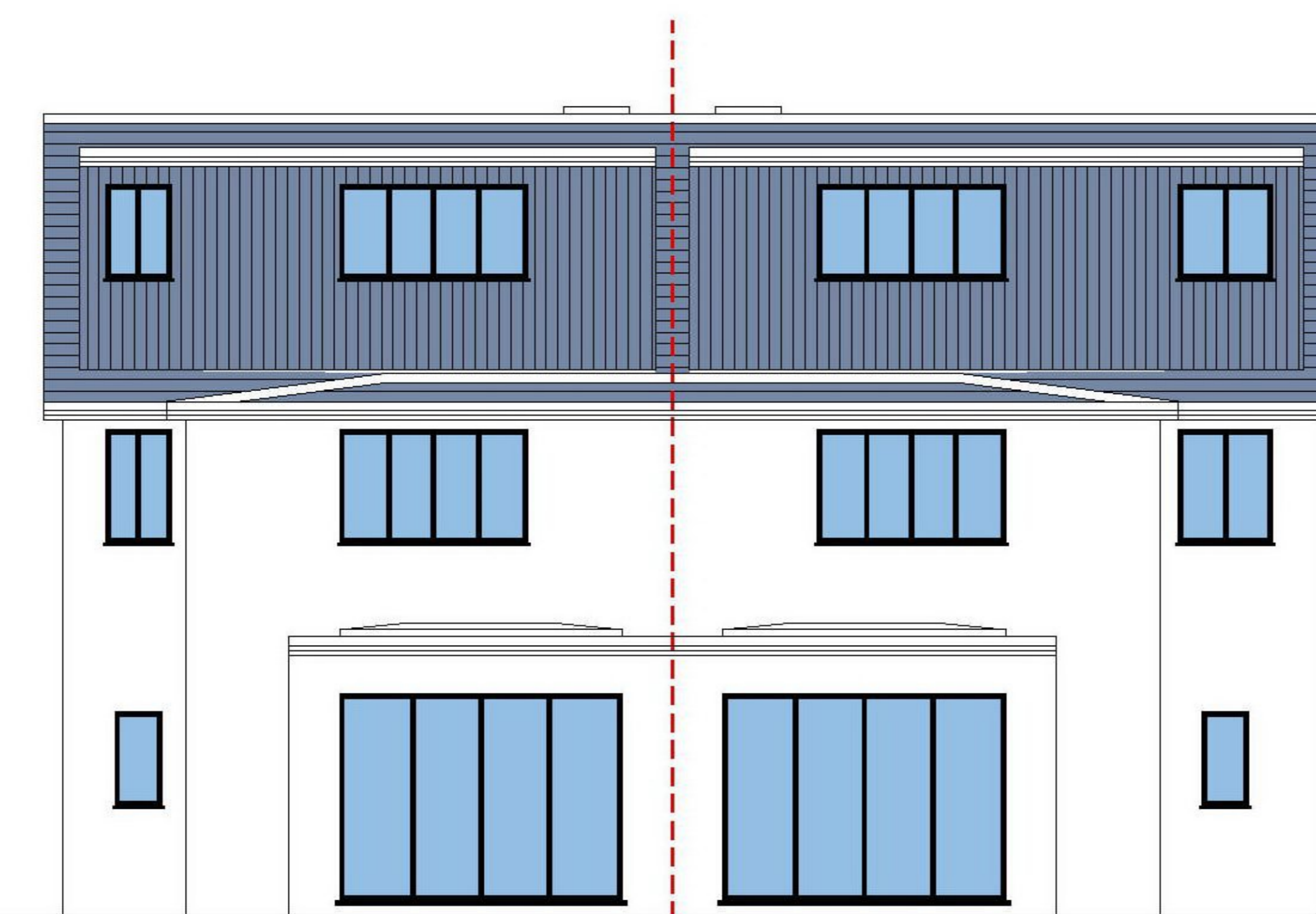
PROPOSED SECOND FLOOR PLAN
SCALE 1:100



PROPOSED ROOF PLAN
SCALE 1:100



PROPOSED FRONT ELEVATION
SCALE 1:100



PROPOSED REAR ELEVATION
SCALE 1:100



PROPOSED SIDE ELEVATION
SCALE 1:100



PROPOSED SIDE ELEVATION
SCALE 1:100

SCALE BAR 1:500 0 5m 10 15 20 25 30 35 40 45 50m

SCALE BAR 1:1250 0 10m 20 30 40 50 60 70 80 90 100 110 120m

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CLIENT / JOB ADDRESS:
 47 FERNBANK ROAD
 ASCOT
 BERKSHIRE
 SL5 8HY

DRAWING TITLE / DESCRIPTION
 PROPOSED DRAWINGS

SUBMISSION / REF
 PLANNING APPLICATION

DRAWING TITLE
 PLANS AND ELEVATIONS

DRAWING No.
 47/FR/PL/110

SCALE : 1:xx ON A1
 DRAWN BY : KP
 DATE: 28.02.24
 CHECKED BY : SB

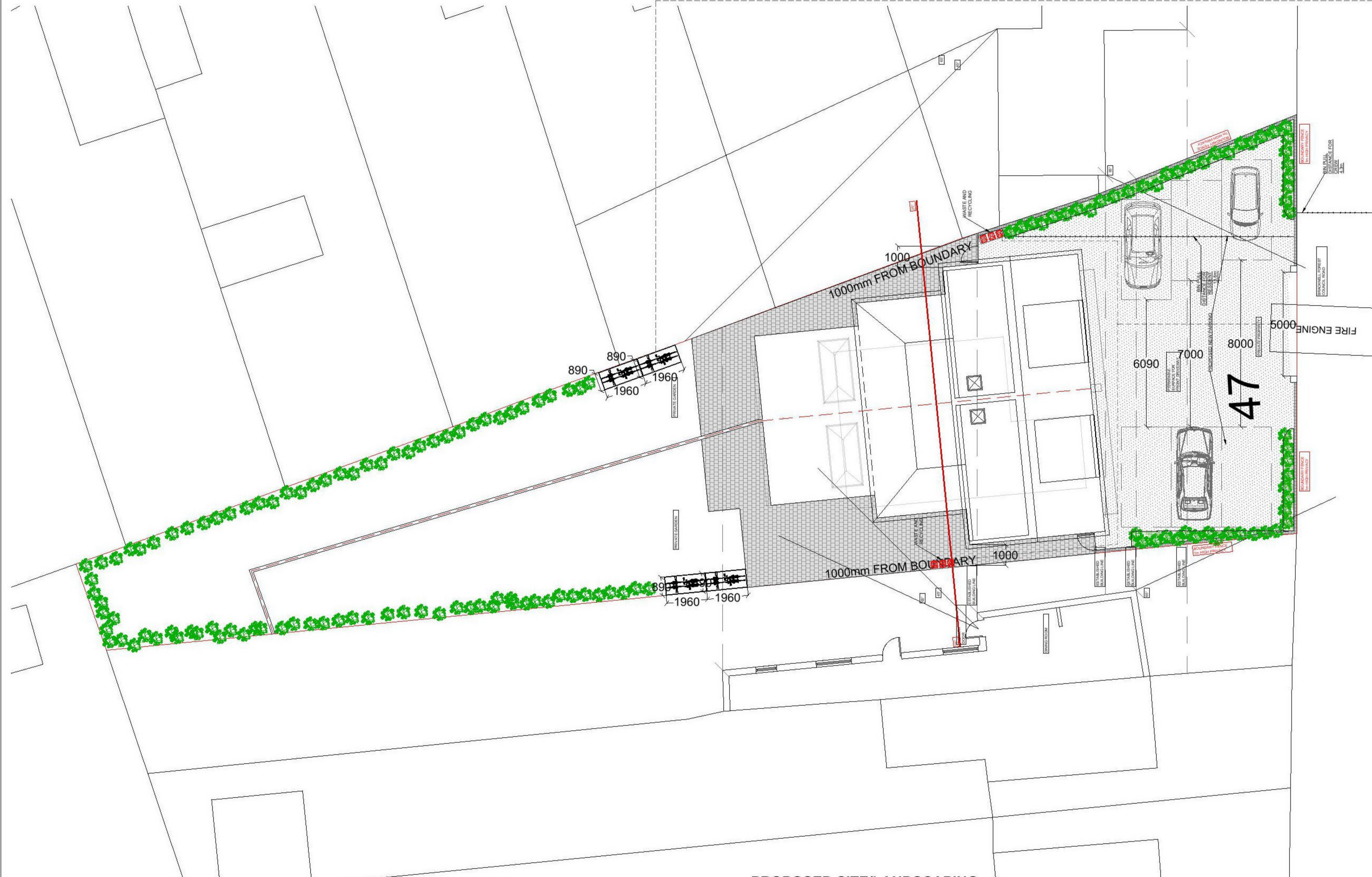
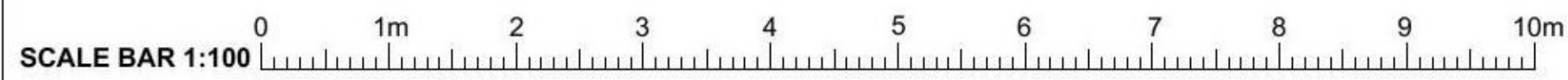
REVISION	DESCRIPTION	DRAWN BY	DATE

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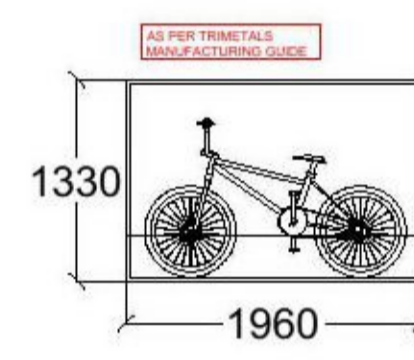


**BIKE STORE (TO PLOICE APPROVAL):
PROTECT-A-CYCLE(10 BIKES) APPROVED TO
LPS1175: Security Rating 1**

<https://www.trimetals.co.uk/shop/bike-storage/>

TRIMETALS OFFERS A CHOICE OF PRODUCTS SPECIFICALLY DESIGNED FOR THE SAFE, SECURE AND CONVENIENT STORAGE OF BICYCLES.

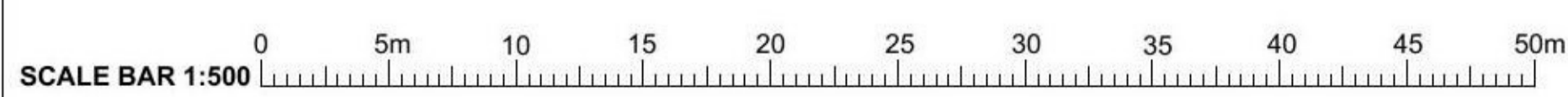
THREE MODELS ARE AVAILABLE, ALL STORE UP TO THREE ADULT BIKES BUT FEATURE INCREASING LEVELS OF SECURITY.



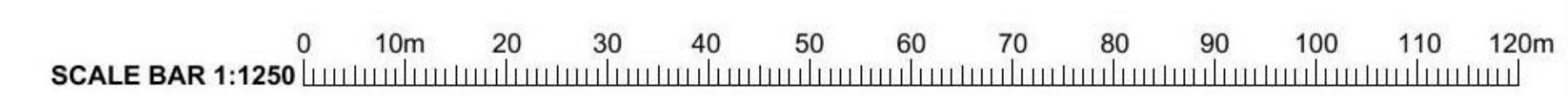
SECTION 1-1

**LANDSCAPING PLAN
SCALE 1:200**

IMAGE	DRAWING	SPECIFICATION	SIZE
		GRASS	-
		PAVING SLAB	600 x 600mm
		RESIN - DRIVEWAY TO LAWN	-
		BOUTIQUE PLANTING MIX - FRONT DRIVE	-
		BOUTIQUE HEDGE MIX	-
		COMPOSITE FENCE PANEL BLACK WOOD	-



**PROPOSED SITE/LANDSCAPING
PLAN
SCALE 1:200**



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THE PILLARS
SLADE OAK LANE,
GERARDS CROSS
BUCKINGHAMSHIRE, SL9 0QE
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EMAIL: INFO@LANDMARK-GROUP.CO.UK

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LABC
IN PARTNERSHIP WITH

CLIENT / JOB ADDRESS:
47 FERNBANK ROAD
ASCOT
BERKSHIRE
SL5 8HY

DRAWING TITLE / DESCRIPTION
PROPOSED SITE & LANDSCAPING
PLAN - IN COMPARISON TO THE 25°
LINE FROM THE NEIGHBORING
HABITABLE WINDOW

SUBMISSION / REF
PLANNING APPLICATION

DRAWING TITLE
SITE

SCALE : 1:xx ON A3

DRAWN BY : KP

DRAWING No.
47/FR/PL/120

DATE : 28.02.24

CHECKED BY : SB

REVISION	DESCRIPTION	DRAWN BY	DATE

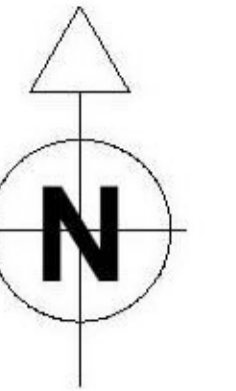
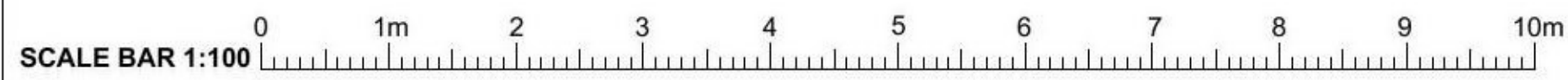
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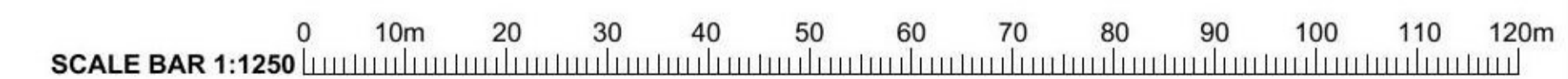
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DRAFT DRAWINGS
NOTE: DRAWINGS AND CALCULATIONS TO BE APPROVED BY LOCAL AUTHORITY OR APPROVED BUILDING CONTROL INSPECTOR BEFORE WORK COMMENCES.



**REAR ELEVATION SCENE - 25° LINE COMPARISON
SCALE 1:100**



THE PILLARS
SLADE OAK LANE,
GERRARDS CROSS
BUCKINGHAMSHIRE, SL9 0QE
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FAX: 01895 832 360
EMAIL: INFO@LANDMARK-GROUP.CO.UK

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CLIENT / JOB ADDRESS:
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ASCOT
BERKSHIRE
SL5 8HY

DRAWING TITLE / DESCRIPTION
COMPARISON OF SCHEME WITH
NEIGHBORING 25° LINE

SUBMISSION / REF
PLANNING APPLICATION

DRAWING TITLE
ELEVATION

DRAWING No.
47/FR/PL/150

SCALE : 1:xx ON A3
DRAWN BY : KP
DATE : 28.02.24
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REVISION	DESCRIPTION	DRAWN BY	DATE

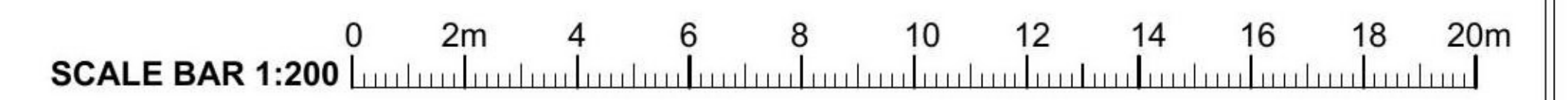
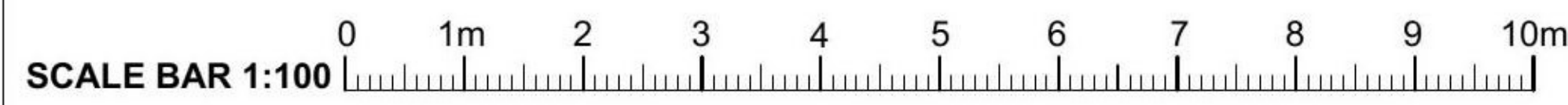
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PROPOSED STREET SCENE ELEVATION
SCALE 1:100



PROPOSED STREET SCENE BOUNDARY TREATMENT
SCALE 1:100



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SLADE OAK LANE,
GERRARDS CROSS
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ASCOT
BERKSHIRE
SL5 8HY

DRAWING TITLE / DESCRIPTION
PROPOSED STREET SCENE AND
FENCE BOUNDARY

SUBMISSION / REF
PLANNING APPLICATION

DRAWING TITLE
ELEVATION

SCALE : 1:xx ON A2
DRAWN BY : KP

DRAWING No.
47/FR/PL/130

DATE : 28.02.24
CHECKED BY : SB

REVISION	DESCRIPTION	DRAWN BY	DATE

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