

**Planning and Heritage Statement
For Mrs J Tierney
Ref: JMT/001/Rev A**

**Replacement windows at the rear of
30a Union Road, Lincoln**

Background

The application property is 30a Union Road, which is located in the 'City of Lincoln Conservation Area 1 – Cathedral and City Centre' and is subject to an Article 4 Direction.

Owing to the differing levels between the front and rear of the premises, the flat at 30a is entered at street level and sits above the basement flat 30 Union Road. The windows therefore appear to be at first and second floor level when viewed from the rear and are therefore referenced in this way.

Planning permission is sought for the replacement of 5 no. timber windows at the rear of 30a Union Road with uPVC windows: as follows:

- 2 no. windows to the first floor kitchen (windows 1 and 2 below)
- 1 no. window to the first floor lounge (window 3 below)
- 1 no. window to the second floor bathroom and bedroom (windows 4 and 5 respectively below)

The location of the windows to the rear of the premises means that they sit outside any wider public view with access to the rear of the terrace being controlled and available for residents only.

Immediately to the east the application site is Lincoln Castle. The privacy of properties and gardens in Union Road are maintained by screening along the castellated walls. As such, there is limited visibility of the premises from the private aspect of the castle and by paying visiting members of the public only.

The heritage significance of the terraced properties in Union Road is derived from their west facing aspect to street itself and the consistent scale and rhythm of development in the streetscene. The west facing aspect generally benefits from the retention of historic fabric in terms of the timber sash windows, painted cills and headers. The proposals do not affect the front elevation of the application building.

To the rear, as highlighted, there is no comparable public view of the premises, and many adjoining properties have over time been subject to a variety of adaptations, especially in terms of windows and doors. Therefore, there are a variety of timber

and uPVC windows including sash and casement types evident in the rear elevations of the terrace properties.

The Proposal

The proposal is to replace the existing 5 no. timber windows at 30a Union Road with uPVC.

Window 1 (see photograph below) sits in the side elevation of the kitchen and the replacement window would be positioned with the reveal and cill retained. The existing timber window was beyond economic repair and structurally defective and has been removed awaiting replacement.

Window 1 – kitchen side (south) elevation



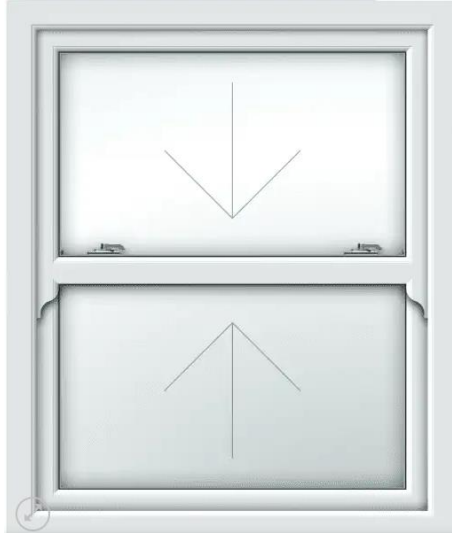
Window 2 is within the rear elevation. As the photograph below confirms, there is currently no reveal and there is a wooden cill. Whilst in pre-application discussions with Simon Cousins it was expressed that a reveal would be welcomed, for structural reasons this is not feasible, and so as guided by the contractor, the proposal is for the replacement uPVC window to be placed in the same position as the timber window.

Window 2 – kitchen rear (east) elevation



The proposal is to replace both timber windows to the kitchen with uPVC. In the case of window 1 in the side elevation, a sliding sash window without glazing bars as illustrated below is proposed. The final choice of uPVC window being subject to confirmation by the contractor.

Window 1 – Proposed sash window



Window 2 in the rear elevation is of dimensions that do not afford the opportunity for a uPVC sliding sash. The opening is of irregular dimensions. Accordingly, the contractor advises that a casement uPVC window is necessary. The casement window will reflect the appearance of the existing window being replaced with a top opening light as illustrated below.

Window 2 – Proposed casement window with top opening light



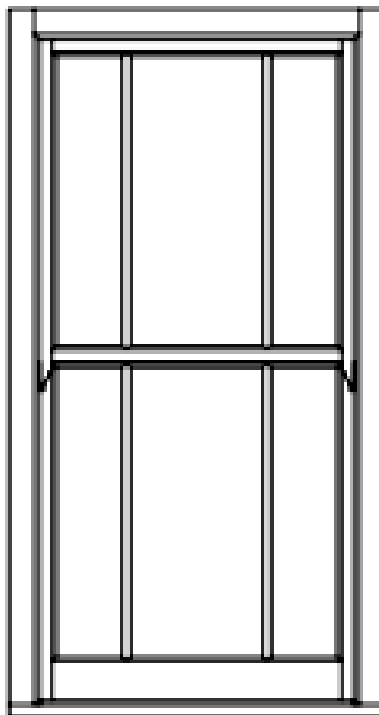
Window 3 serves the lounge to 30a Union Road. Given the levels, the window appears to be a first floor level as below.

Window 3 – lounge east elevation



In the event that the timber window is beyond economic repair, permission is sought to replace the window with a uPVC sash window configured to include the vertical off-set three light configuration illustrated below.

Window 3 – Proposed uPVC sliding sash with off-set three light configuration



Window 4 sits directly above window 3, at second floor level serving a bathroom (uppermost window in the photograph below).

Window 4 bathroom east elevation



Again, permission for a replacement with a uPVC sash window is sought in the event that economic repair is not practicable. The replacement window would again reflect the configuration of the existing timber sash as per the replacement illustrated for window 1.

Window 5 serves a second floor bedroom and has a traditional timber sash similar to window 4 (no photograph is available). The proposal again is to replace the window with a uPVC sash window as per the replacement illustrated for window 1.

Policy Consideration

In the context of the proposal, and the removal of permitted development rights through the Article 4 Direction, the key consideration for this proposal is heritage. The Central Lincolnshire Local Plan, adopted in April 2023, includes policy S57 'The Historic Environment' and the National Planning Policy Framework (December 2023) within Chapter 16 'Conserving and enhancing the historic environment' is also engaged.

Broadly both Policy S57 and the NPPF set out the need for development proposals to conserve or enhance historic fabric and setting in a manner proportionate to the significance of the asset. It is important for the significance of a heritage asset to be explained and the development proposal justified.

As highlighted above, there is no dispute that the application property is within the conservation area. The heritage setting of the application premises, in combination

with the terrace of which it is a part, is derived from its public street elevation and the public vantage points available from the west. The terrace as a whole retains much of its original character in terms of timber doors and sash windows with cill and headers.

This contrast sharply with the location of the replacement windows at the rear of the property and the wholly limited impact that the proposed development will have on the public visual amenity as well as the setting and character of the conservation area. The development, if allowed to proceed, would have no material impact on the significance of the heritage asset ergo the special character of the heritage asset will be maintained.

In terms of the proposed windows, the sash (window 1) can be installed with the reveal and, whilst of a uPVC material, would represent an enhancement compared to the configuration of the existing non-original window (which has now been removed as being beyond economic and reasonable repair). This enhancement, albeit minor, responds positively to the local plan policy and the NPPF.

Window 2 as a proposed casement owing to the dimensions of the aperture is a replacement in a similar configuration to the existing timber window and as such it cannot reasonably be considered as an enhancement. This being said, in the context of the window to be replaced, the absence of public view and variety and form of window detailing evident to the rear of the properties at Union Road, the proposal does not harm the setting or significance of the heritage asset and so has a neutral impact insofar as preserving the form, if not the material, of the window to be replaced.

Window 3 is effectively located in a recessed position owing to the presence of the first floor kitchen. The proposed replacement uPVC window would reflect the off-set vertical three light configuration of the existing timber window.

Windows 4 and 5 are a simpler traditional sash window and the proposal is for sliding sash uPVC replacements for each. Whilst at second floor level, it is again submitted that there is limited public perception and visibility of the windows such that there is no material impact to the visual amenity of the conservation area.

Windows 3, 4 and 5 would each reflect the recessed position and cills visible in the timber windows currently insitu.

In view of the combination of marginal enhancement (window 1), neutral (windows 2 and 3) and absence of material harm (windows 4 and 5) assessment for each of the proposed replacement windows, the overall impact of the proposal is assessed as neutral. Since there is no harm and an overall neutral outcome in terms of the provisions of policy S57 and the NPPF the proposals are acceptable.

On this basis, it is submitted that the proposal conforms with policy S57 and the NPPF and planning permission should be granted.

Any further queries are welcome.

Client: Mrs J Tierney
Date: February 2024

ENDS.