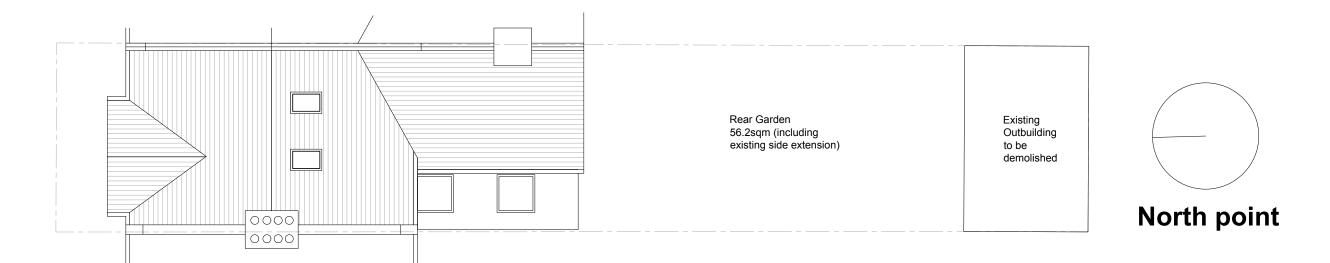
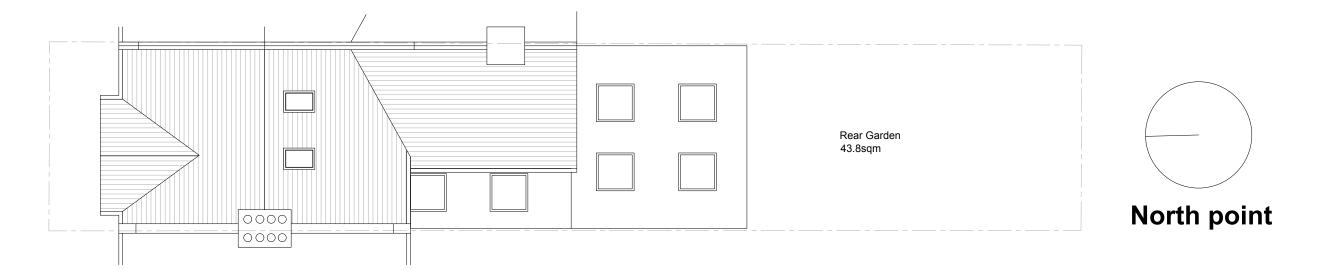


Notes: Contractors must verify all dimensions on site before commencing any work or shop drawings. This drawing must not be scaled. Use figured dimensions only. Subject to statutory

ALL DRAWINGS 735/01-06. AND ENGINEER'S DETAILS TO BE READ TOGETHER



Existing Site Plan (1:100)



Proposed Site Plan (1:100)

This is a 'Scheme Level Drawing' and is intended to illustrate the general arrangement of the project proposals.

As it stands this drawing does not include all of the detail

drawing by others. As a result, the precision of the dimensions indicated is dependent upon the information. necessary for a full plans building regulations application.

While this drawing can be used as a base drawing for construction purposes, your building contractor may require dimensions are checked carefully before any work more information. It is therefore important to discuss, with commences or any materials are ordered.

1. This drawing has been based upon a measured survey dimensions indicated is dependent upon the information

2. While this drawing can be used as a base drawing for construction purposes, it is VERY IMPORTANT that all

your architect & builder together, where more detail would be appropriate.

3. This drawing can be used as part of a planning requirements of the Building Regulations. Your building Application, although your planning officer may ask for more contractor should also liaise with the Building Control specific information about some aspects of the design. Ask Officer regarding routine inspections of the work, your architect for more information on planning applications.

4. Where applicable, a suitable Structural Engineer and/or a Party Wall Surveyor should be consulted. Although as far as possible these instances have been indicated, this is not necessarily exhaustive and the whole scope of proposed works should be reviewed.

5. Unless other arrangements have been specifically made, vour building contractor should serve a Building Notice, as and where applicable, to your local authority to satisfy the requirements of the Building Regulations. Your building

Further detailed

You may need a Structural Engineer for

This symbol indicates that it may be beneficial to have more detailed design drawings prepared to illustrate elements the proposal in more detail so that your building contractor can more fully understand the intention of the design

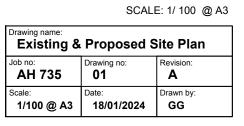
This symbol indicates that structural

This symbol indicates that you may need to take action in order to comply with the Party Wall Act and it may ne wise to consult a suitable Party Wall surveyor. Your architect can help point You may need to consult a Party Wall Surveyor for this section. ou in the right direction.

Inis symbol indicates that structural calculations / structural design may be required, both of which should be undertaken by a suitable structural engineer. Your architect can help point you in the right direction. a. date. 07/03/2024



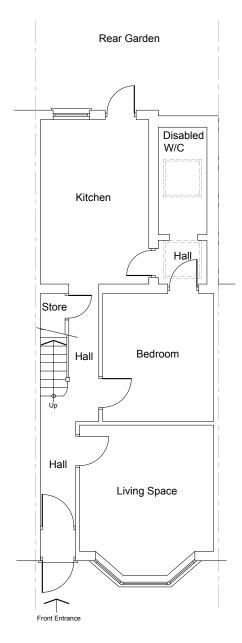
London, E13 8QP



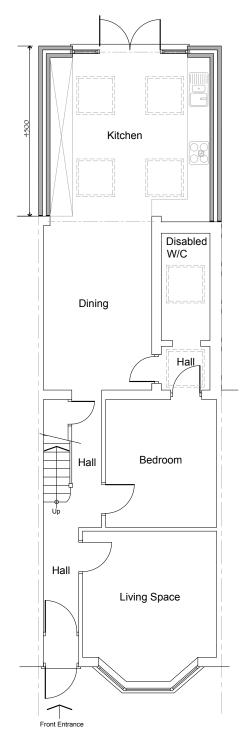
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Existing Ground Floor Plan



Proposed Ground Floor Plan

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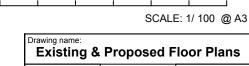
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6 Wanlip Rd, London, E13 8QP

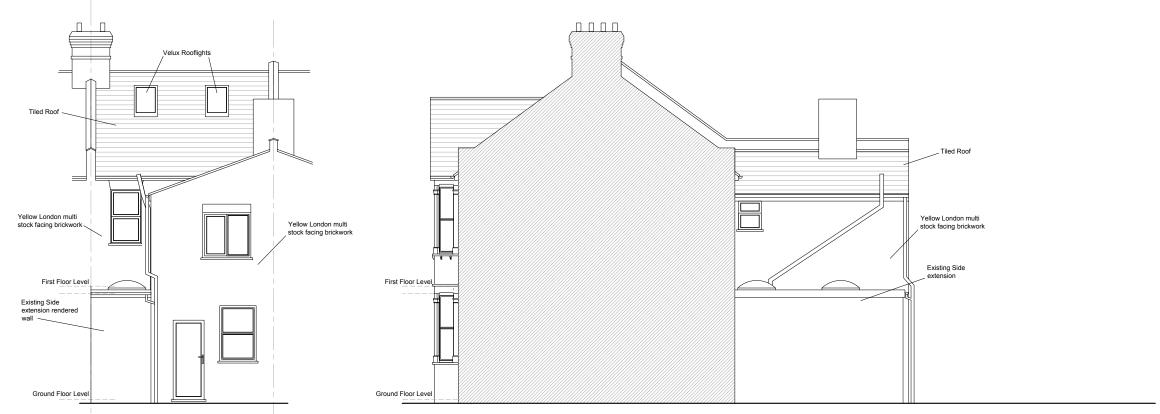


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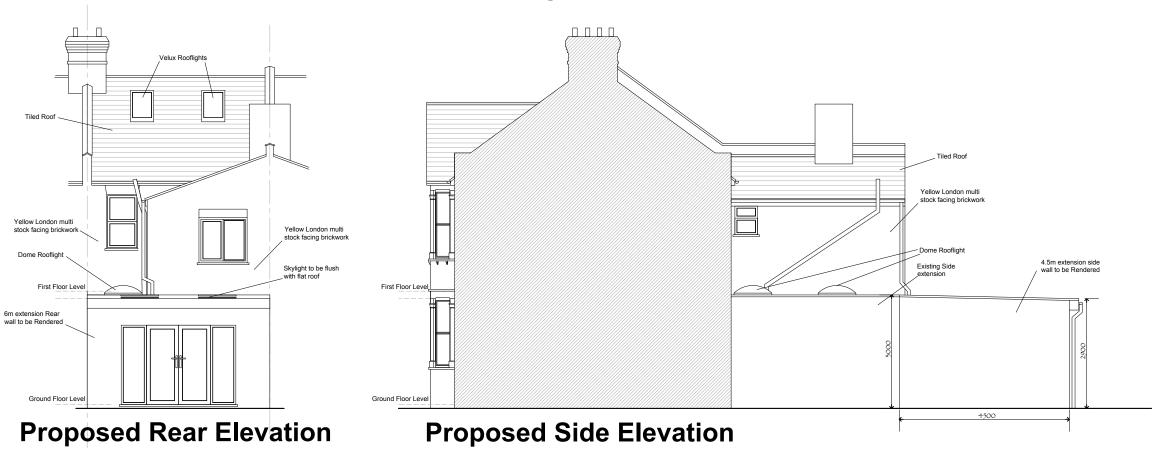
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Existing Rear Elevation

Existing SideElevation



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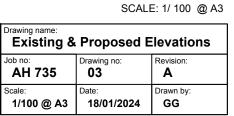
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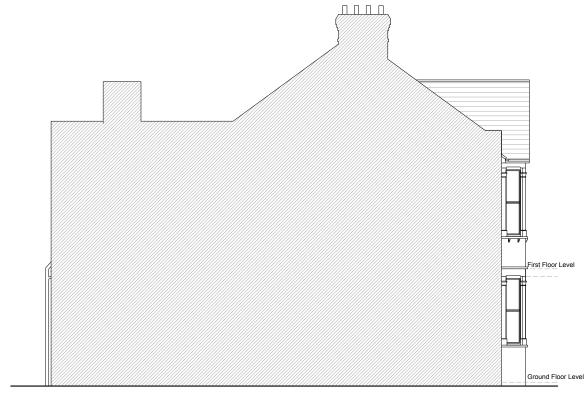


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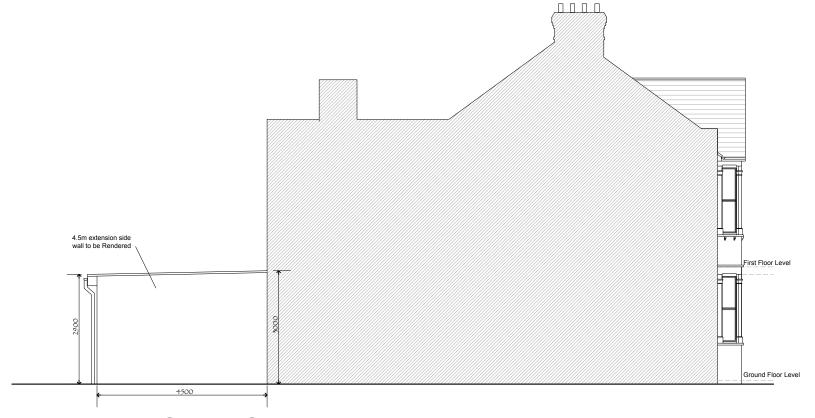


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Existing 'Other' Side Elevation



Proposed 'Other' Side Elevation

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Project name:

6 Wanlip Rd, London, E13 8QP

