

43 / 45 PARK ROAD

Design & Access Statement

Jan 2024

Demolition and replacement of the existing conservatory, amalgamation of no. 43 and no. 45 Park Road to create a single-family dwelling use class C3 as well as internal alterations, associated landscaping and boundary treatment

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INTRODUCTION

This Design and Access Statement has been prepared in support of a planning application, reference PP-12658166 for the amalgamation of no. 43 and 45 Park Road, Watford, WD17 4QW as well as associated landscaping works and boundary treatment. Originally designed as a single residence - Innage House in 1881 by the architectural firm of John Thomas Christopher and Eley Emlyn White, these properties were later divided into a pair of semi-detached dwellings.

Both 43 and 45 Park Road are individually recognized with Locally Listed status and are situated within the Nascot Conservation Area, established on 22 January 2001 under Section 69 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

The current owner occupiers of 43 have recently received planning approval to extend their home, however an opportunity has been presented to purchase the adjacent dwelling (No. 45), and to amalgamate the properties into single family dwelling.

The proposed alterations involve merging numbers 43 and 45 to create a single dwelling, along with a rear/side extension over the footprint of the existing garage and conservatory. Internal modifications are proposed to accommodate the merger, with plans for front and rear landscape alterations, including the establishment of a horseshoe driveway toward Park Road.

The design aligns with the heritage and character of the area, with the scale and positioning of the proposed changes respectful of the existing building, enhancing the Nascot Conservation Area and contributing positively to Watford's overall landscape.

19 Stratford Road
(Not part of this application)

45 Park Road

43 Park Road



Rear view of the properties at 43 & 45 Park Road, Watford, WD17 4QW taken from the garden of No. 45 Park Road

SITE LOCATION

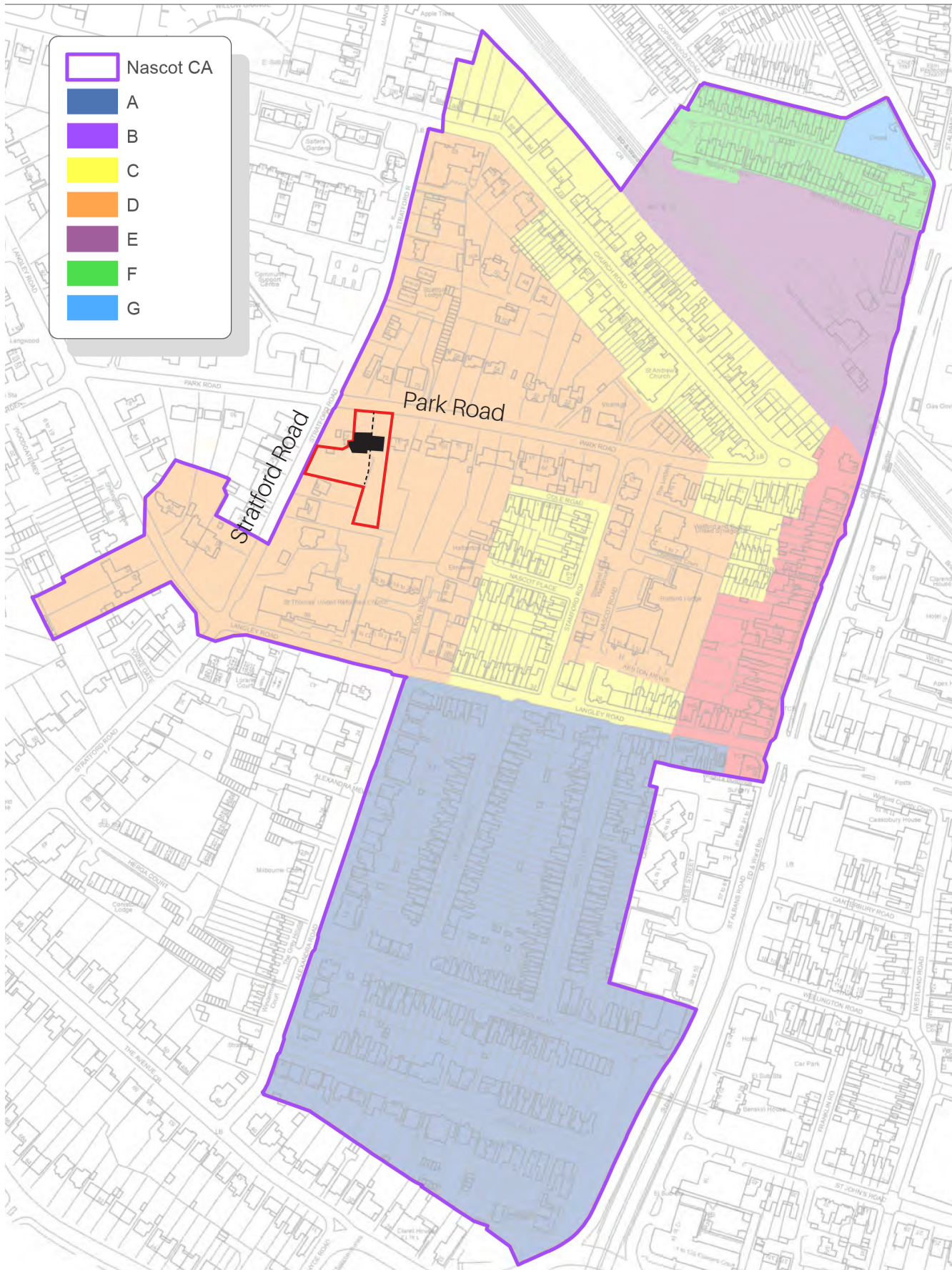
43 and 45 Park Road are located towards the west side of Park Road in Watford to the north-east of Watford town centre - between St Albans Road and Hampstead Road within the Nascot Conservation Area.

The Conservation Area is divided by the West Coast Mainline, with the bulk of the designated land to the south and a smaller parcel of land to the north. It extends as far north as the southern stretch of Leavesden Road and as far south as the junction between The Avenue and St Albans Road. The wide expanse of St Albans Road provides a clear boundary to the eastern side of the Conservation Area.

Park Road joins onto St Albans Road in the east, which marks the eastern boundary of the Conservation area. There is good tree cover in both the private and public realm - even though the nature of the built up area is varied with Watford Junction Rail Station located to the east side of St Albans Road.



43 & 45 Park Road Aerial views



43 & 45 Park Road site boundary within the Nascot Conservation Area

SITE DESCRIPTION

The properties at No.s 43 and 45 Park Road were formerly designed as a single residence - Innage House (Circa 1881) but are currently divided into a pair of semi-detached dwellings.

The site occupies a total area of 0.21 Hectares.

No.43 constitutes a property characterized by two distinct front elevations. The eastern facade, an addition built later, features a glass-fronted structure made of red brick and positioned on the southern side of Park Road. This two-story house includes a canopied bay window on ground floor. A front driveway accommodates parking, while a long rear garden stretches south.

No. 45 stands out with its prominent double arched front porch. The brick facade and arches form an elegant composition resting upon a central decorative pilaster. A substantial front forecourt accommodates parking spaces, while a sizable rear garden complements the property. Access is facilitated via a main door positioned to the side of the front facade, with a secondary entrance to the left of the main ground floor bay window.

The collective land encompassing properties 43-45 forms a predominantly rectangular layout with a section of garden for 43 spearing south. The buildings are positioned towards the northern section of the site with expansive gardens harmonizing with adjacent structures on the eastern border. Noteworthy are the diverse trees along the rear boundaries of the properties on the south side of Park Road, enhancing the area's visual appeal.

Many of the trees situated on the premises have been placed under Tree Preservation Orders (TPOs) and are scheduled for unified protection during the application process and all ensuing construction activities. Please refer to the Arboricultural report for more information.



45 & 45 Park Road site boundary

NO.S 43 AND 45 PARK ROAD

Having been designed as a single dwelling (Innage House) 43 and 45 Park Road have now been divided into two separate properties as can be seen in the plan adjacent.



Combined gross internal areas for the existing properties (43 and 45 combined)

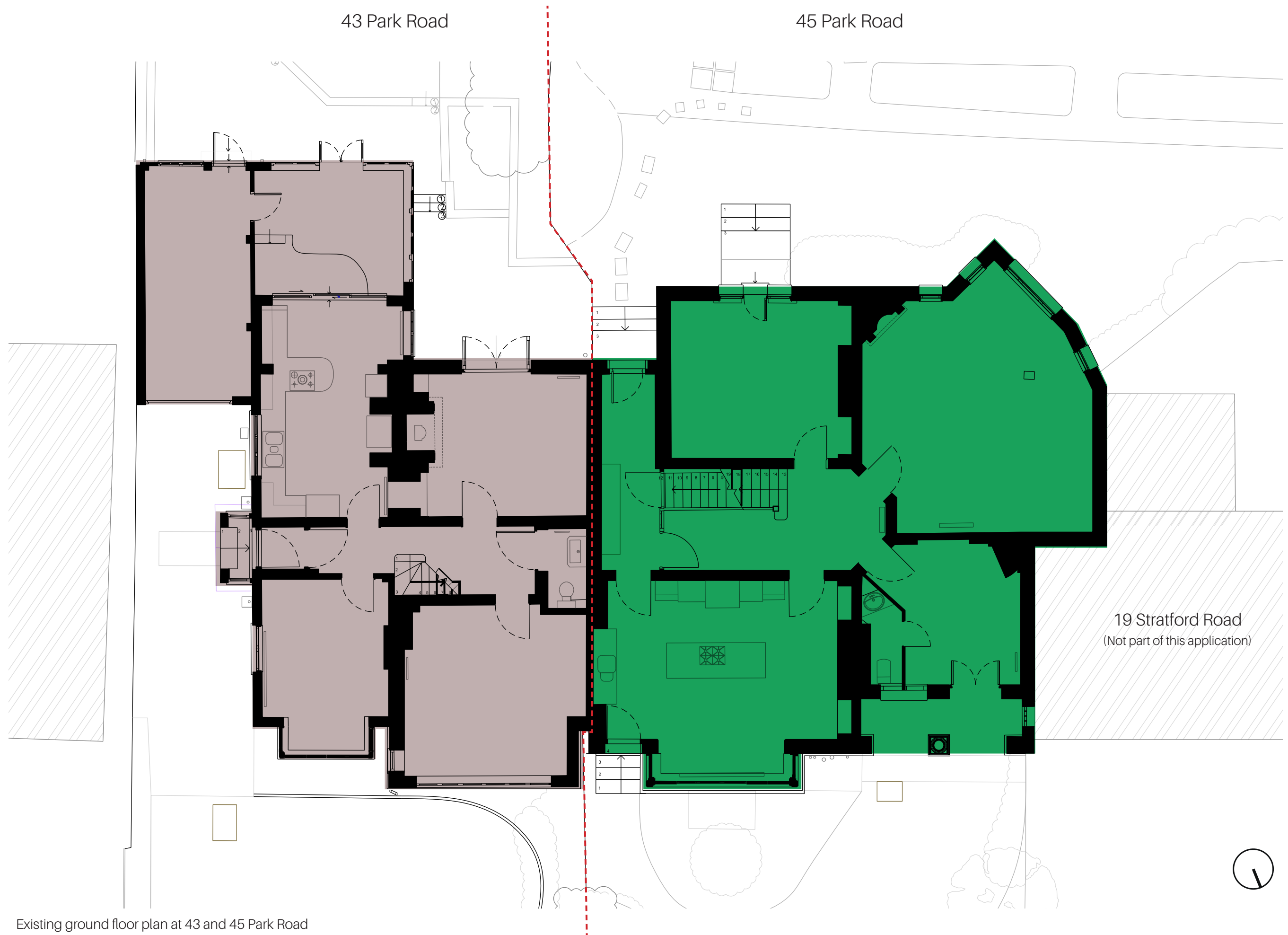
Existing Ground - 265.4 Sq.m
Existing First - 210.4 Sq.m
Existing Second - 30.1 Sq.m
Existing Basement - 123.8 Sq.m

TOTAL GIA - 629.7 Sq.m

No 43 has received a rear and side extension in the form of a garage and conservatory with the form at 45 remaining relatively true to its original configuration.

A basement exists under No.45, accessed beneath the main stair, with skylights in the garden for ventilation.

 43 Park Road
 45 Park Road



NO. 43 PARK ROAD

The property aligns with No.45, made of a dark gault brick harmonizing with the street's red and stock brick theme. Featuring a prominent ground floor pair of windows under tailed canopy and two smaller first-floor windows, the canopies reference the Arts and Crafts tradition, suggesting a later addition for architectural refinement.

Multiple modifications are evident, revealing the disjointed standalone conservatory and garage additions lacking integration with the main house's scale and mass.

At the rear, two bays are present, the eastern bay likely an extension during the building's outward expansion. A glass conservatory overlaps both bays, with the garage protruding further into the garden. While the original bay displays finer quality with herringbone tiles and arched windows, the extension lacks architectural harmony, particularly in the awkward transition between single-story and two-story elements, distancing itself from the original Victorian house's aesthetics.



Existing photographs of 43 Park Road

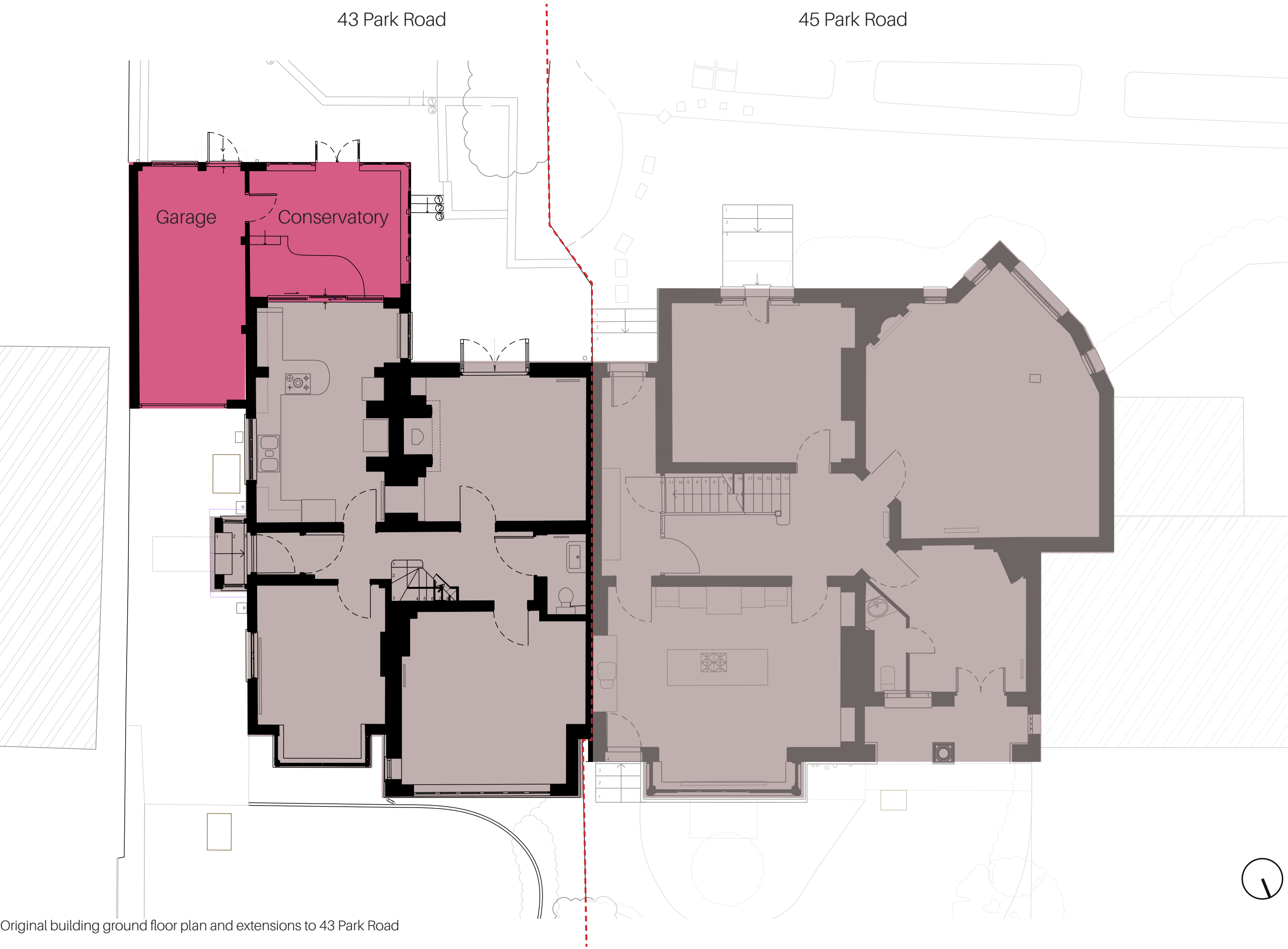
NO. 43 - GARAGE EXTENSION AND CONSERVATORY

No.43 has been extended to the rear and side, adding a one-story conservatory and garage that meet the original rear wall. These additions however seem disproportionate in scale and material compared to the original structure and block light to the kitchen and living areas.

Currently, the rear presents a mix of elements without a cohesive design, not blending harmoniously with the host building. The conservatory and garage, when seen from the garden, don't align with existing windows (having been constructed 55cm below existing floor level), creating a mismatch and an awkward arrangement for access to and enjoyment of the garden.

The conservatory's window placement appears misaligned with the main building, while the extension lacks architectural harmony, especially in transitioning between single-story and two-story elements, resulting in an awkward design shift and disconnect from the original Victorian house's roofing aesthetics.

- Original
- Later extensions



Original building ground floor plan and extensions to 43 Park Road

NO. 43 - EXISTING GARAGE EXTENSION AND CONSERVATORY

The side and rear (drawing opposite) elevation displays a disjointed appearance due to the later additions. Specifically, the single-storey conservatory/garage lacks harmony with the main house's scale and structure, evident in its newer glazing and roof form contrast sharply with the original casement windows. The design of the new windows and their glazing seems outdated and fails to integrate with the host building resulting in a stark contrast between the rear and front of the building.

Comparison of the conservatory windows with the main facade emphasizes their disproportionate alignment. The extension lacks architectural finesse, with an awkward transition between the single-storey and two-storey sections, with roofs that do not complement the original Victorian house.

Occupying half the plot's width, and with differing floor finish levels the rear extension significantly affects the light entering the main house's rear reception rooms, restricting natural light for occupants.

Original
Later extensions



Existing rear (South) elevation

NO. 45 PARK ROAD

No. 45 stands out for its generous size and shares a similar architectural style to other large buildings in the Conservation Area, particularly along Park Road. It's constructed using gault brick, blending in with the predominant red and stock brick theme of the street. Notably, the ground floor features a striking window beneath an adorned canopy. The front and back of the building are characterized by a gabled roof, with four windows facing Park Road on the first floor and a set of windows overlooking the garden.

An eye-catching feature is the double arched front porch, crafted from banded red and yellow brick and positioned on a red pilaster. The entrance to the building faces Northwest toward Park Road, set to the side of the plot. A spacious front area accommodates car parking, while the rear boasts a deep garden with skylights that brighten the basement area of the dwelling.

The east side's functional design hints at its past as two unified buildings, marked by herringbone tiles, dentilled eaves, and red brick arches.

Access to the property is provided through two entrances wide enough for cars, bordered by a row of sizable trees with Tree Preservation Orders (TPOs) along the edge of Park Road.



Existing photographs of 45 Park Road

HISTORY OF THE SITE

During the 1870s and 1880s, several renowned local architects were involved in designing new buildings within what is now known as the Nascot Conservation Area. Innage House (43-45 Park Road), designed in 1881 by John Thomas Christopher and Eley Emlyn White, holds significance as a heritage asset. Montagu Evans has prepared a Heritage Assessment to support the application documents, aiding in understanding proposals and guiding the design process. For more detailed information, please refer to the accompanying Heritage Statement for more information.

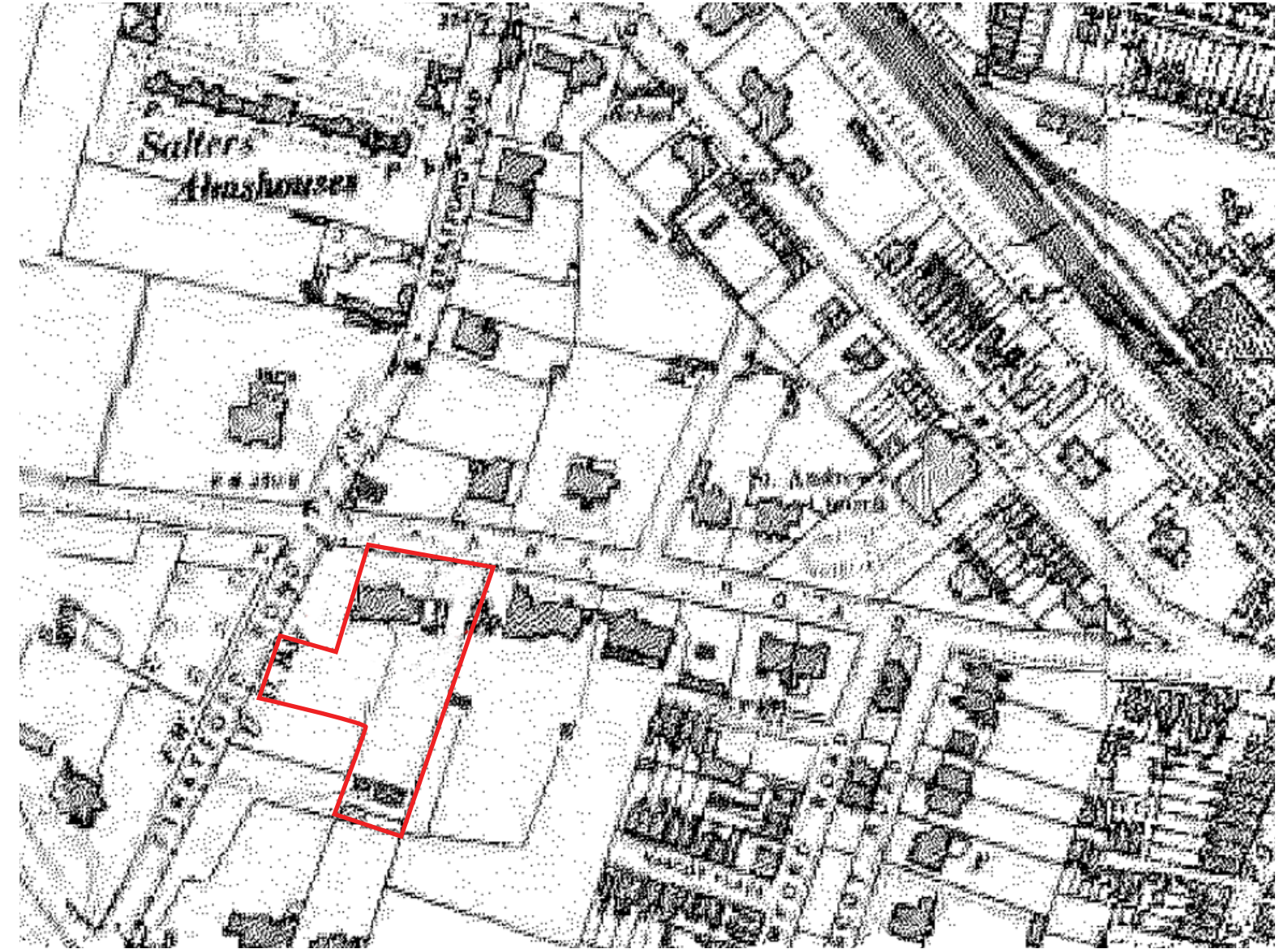
Conservation areas, as governed by Section 277 of the Planning Act, necessitate stricter control over development to preserve or enhance the area's unique character or appearance. As such, 43-45 Park Road is recognized as a heritage asset. Any proposals affecting these heritage assets must include an analysis showing how the proposal will respect and improve upon this heritage. Therefore, this report should be reviewed alongside architects' drawings and plans.

Additionally, referencing the Nascot Conservation Area Appraisal is pertinent, as it identifies the settlement's cultural heritage values. This comprehensive document describes the area's history, fabric, and character, shedding light on its origins, evolution over time, and the condition of its elements and materials.



1871 OS Map

The 1871 OS Map shows a new network of streets established south of Langley Road. The absence of buildings near these streets, except for Nascot Street, implies their recent creation. Similar to other new streets, the land for development was sold from the Earl of Essex's estate, providing the origins for most of the new street names.



1896 OS Map

In the 1870s and 1880s, notable local architects contributed to designing new buildings in Nascot. The architectural practice of John Thomas Christopher and Eley Emlyn White designed the grand residence at 43-45 Park Road in 1881. An 1896 OS map illustrates that by then, most of the area had been developed, leaving very few empty building plots within the locality that constitutes the Conservation Area today.

INNAGE HOUSE (NO.S 43 AND 45 PARK ROAD)

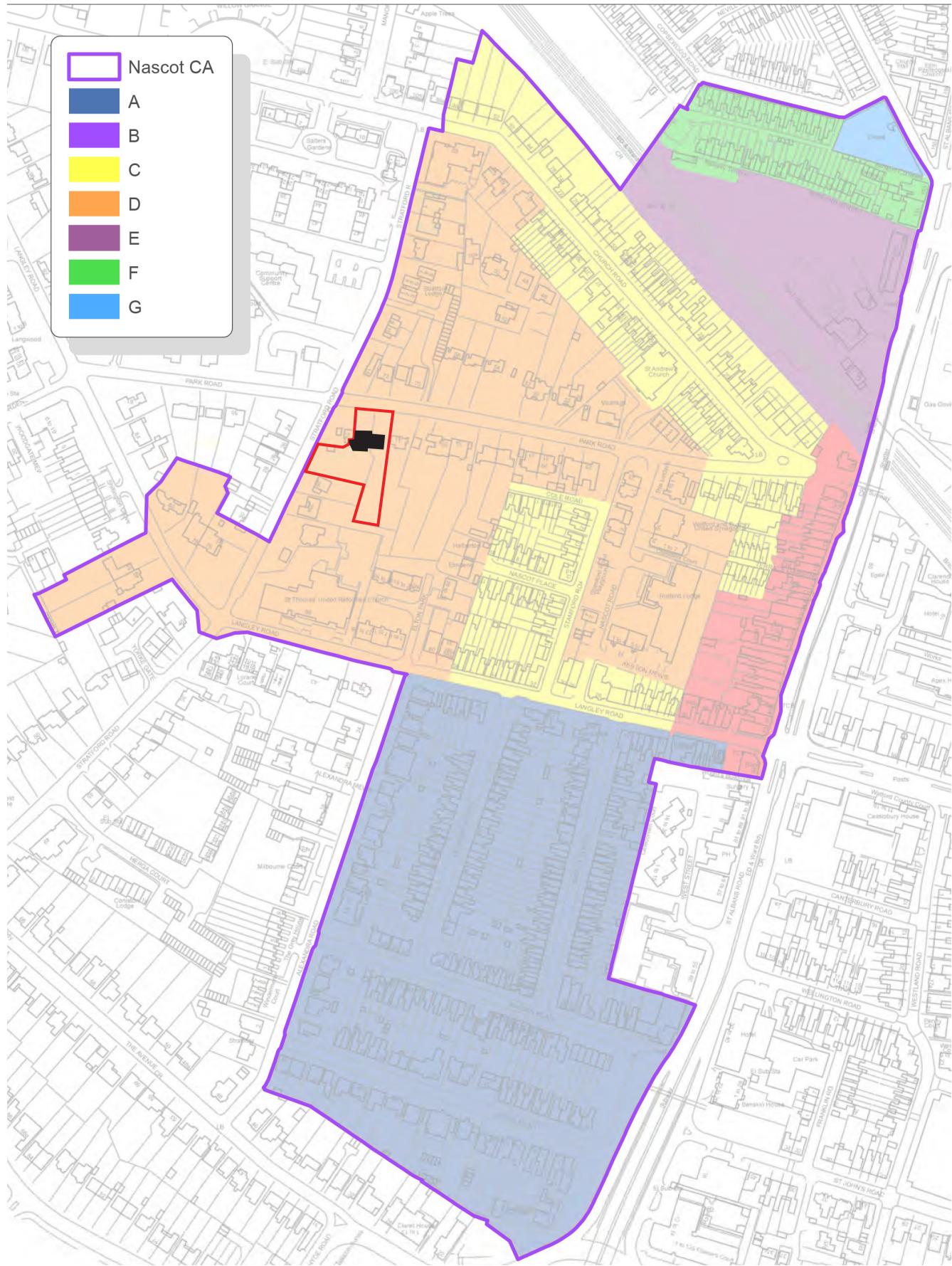
The building at 43-45 Park Road, known as Innage House, was designed by the architectural practice of John Thomas Christopher and Eley Emlyn White in 1881.

Innage House holds a place on the Locally Listed Buildings register, created under the Council’s Urban Conservation Strategy within the Watford District Plan 2000 (2003). Its inclusion is attributed to a blend of architectural interest, historical significance, functional value, and contribution to the streetscape.

Today, much of the original features and heritage assets of the building remain intact, forming the foundation for the heritage-led design approach.



Original drawing from 1881 of ‘Innage House’ 43-45 Park Road (Nascot Conservation Area Character Appraisal, 2015)



Location of Innage House within the Nascot Conservation Area

RECENT PLANNING HISTORY

Conditional Planning Permission was granted on Fri 30 June 2023 for an application at 43 Park Road Watford Hertfordshire WD17 4QW Reference No: 22/01484/FULH.

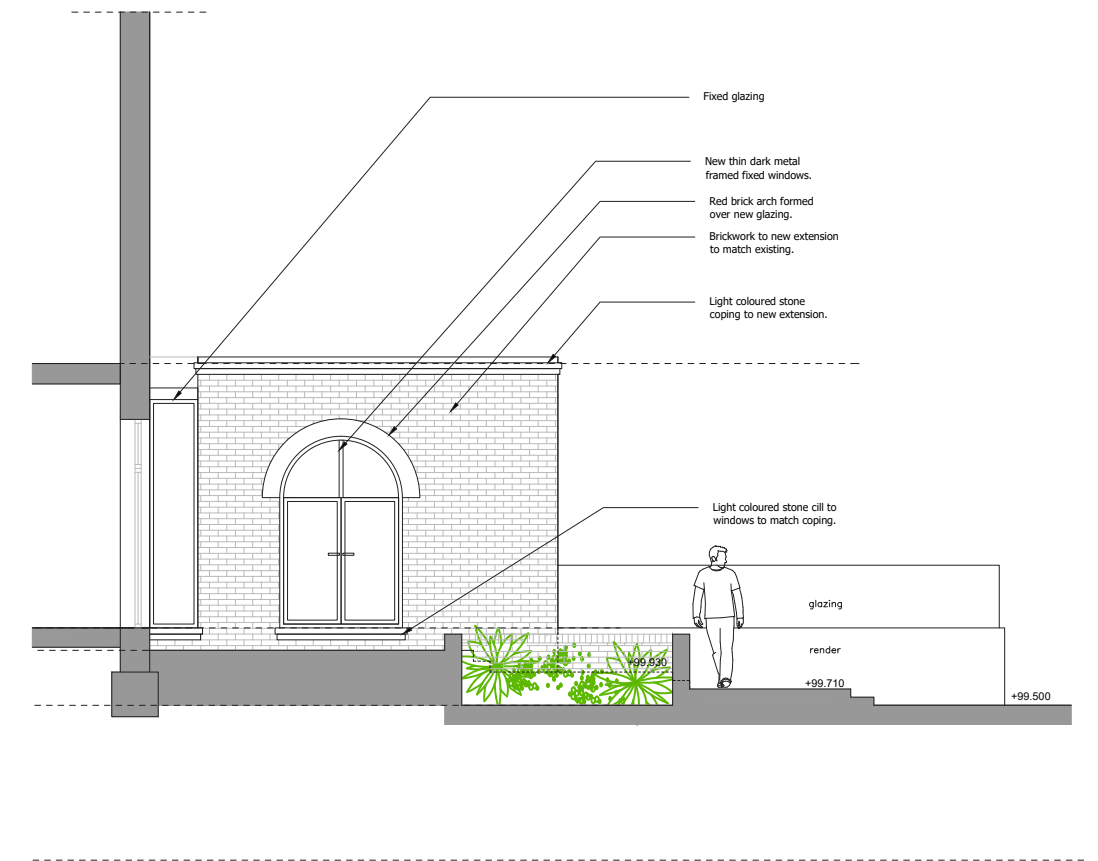
Description of development:

Erection of a single storey side and rear extension, formation of a new basement with car ports and an external sunken courtyard at the rear, and relocation of the main entrance door to the front elevation. Replacement windows to the front lounge to match existing.



Approved application (22/01484/FULH) - Proposed rear elevation

41 Park Road
(Not part of this application)



(22/01484/FULH) - Proposed West elevation

SUMMARY OF CURRENT PROPOSALS

In an effort to better suit their family's needs, the owners of 43 Park Road have received approval (Reference No: 22/01484/FULH) for various modifications as illustrated in the planning history. These sought to rectify the dwellings relatively small kitchen and dining area, while the deteriorating state of the conservatory renders it largely unusable, mainly due to problematic level changes within the space (Refer to the existing ground floor plan) and overheating.

Since approval of the above application, discussions with the owners of 45 Park Road have led to the proposal of merging the two dwellings to form a single dwelling, as such, rendering the requirements of the previous application null and void. By uniting 43 and 45 Park Road, positive outcomes can be achieved for the owners of both as well as improving the quality of the overarching (former single) dwelling by restoring its original merged external façade, thereby enhancing the character and appearance of the Conservation Area as a whole.

The proposals look to remodel the current conservatory at the rear of No.43, ensuring a more functional and visually unified appearance in line with the front. An amalgamation of the two dwellings will integrate contrasting architectural elements through cohesive adjustments.

The plan enhances accessibility, revitalize internal spaces, and improves living, dining, and home office areas, catering to the family's daily needs.

While no layout alterations are proposed, works to the basement seek to enhance the usability and energy efficiency of the space. This includes the careful removal of the existing floor finish to facilitate the installation of a Delta membrane and sump system. The membrane will serve as a barrier against moisture and water ingress, ensuring a dry and stable environment. These upgrades align with the project's goals to create a resilient, moisture-controlled, and energy-efficient space.

Proposals encompasses the following alterations:

- Removal of the current inadequately designed single-story conservatory and garage.
- Construction of a new single-storey extension on the footprint of the former conservatory and garage, to revitalize and optimize this space.
- Amalgamation of No. 43 and No. 45 Park Road, proposing the creation of a single, unified dwelling on the combined plot. This union of the two separate residences is intended to enhance the property's overall layout and functionality.
- Implementation of front landscaping to establish a horseshoe drive, optimizing the property's approach and enhancing its visual appeal
- Removal and replacement of the existing basement floor finish to facilitate the installation of a robust delta membrane and sump system.
- Creation of a new landscape setting at the rear of the property, aimed at unifying the gardens of the combined lots. This rear landscaping aims to provide a cohesive and harmonious outdoor space, complementing the amalgamated property's aesthetics and functionality.

LAYOUT

We have been considerate of the relationship between the two properties and its neighbours, its place within the wider streetscape and the garden.

By keeping the extension inside the existing footprint it ensures a coherent and harmonious composition, and preserve the scale and proportion of the existing building structure, preventing it from overpowering the existing massing.

This will be achieved by demolishing the existing garage and conservatory and building a new kitchen/dining space into the rear extension.

Combined gross internal areas for the proposals (43 and 45 combined)

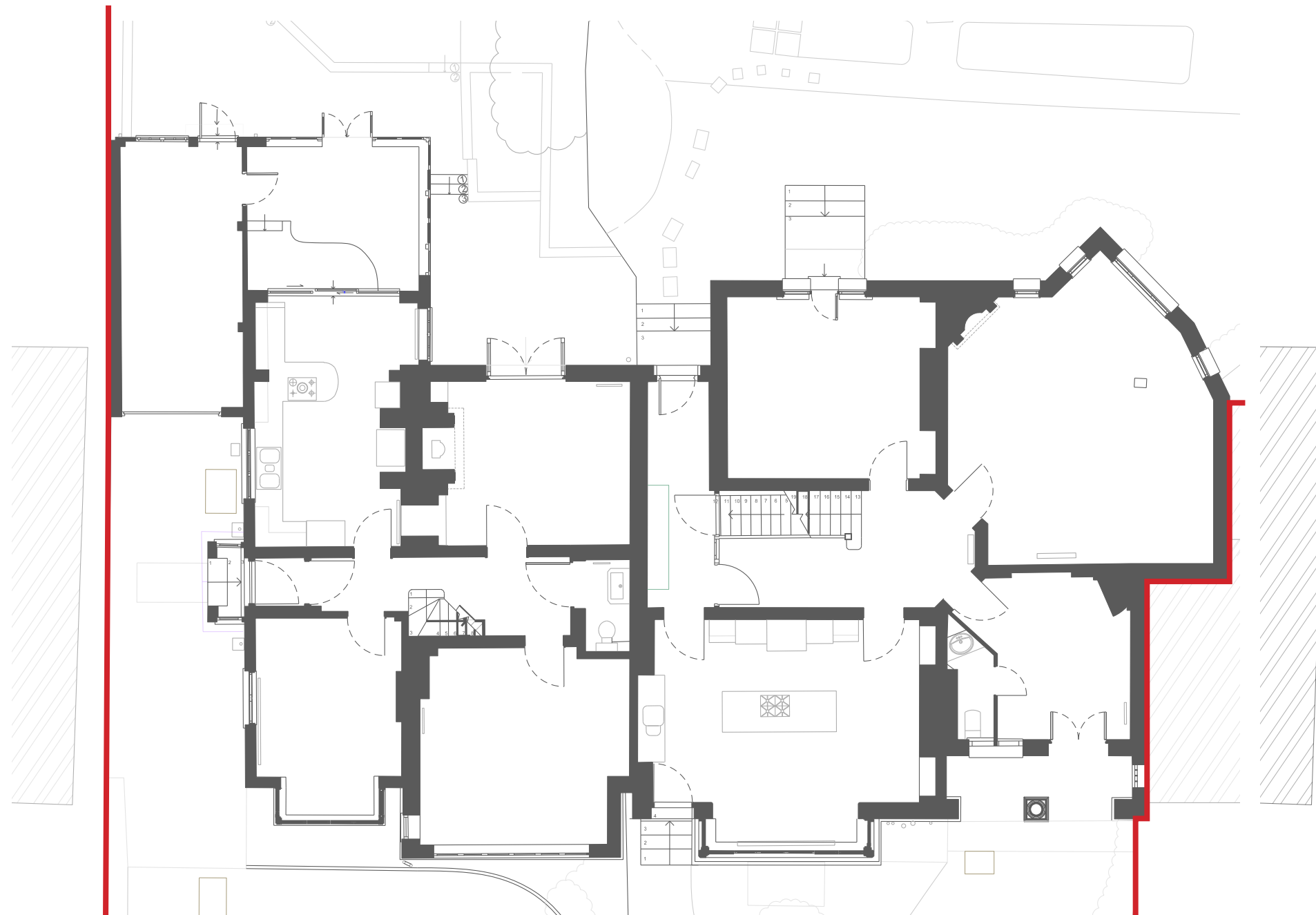
Ground - 262.5 Sq.m (2.9 Sq.m less than existing)

First - 210.4 Sq.m (same as existing)

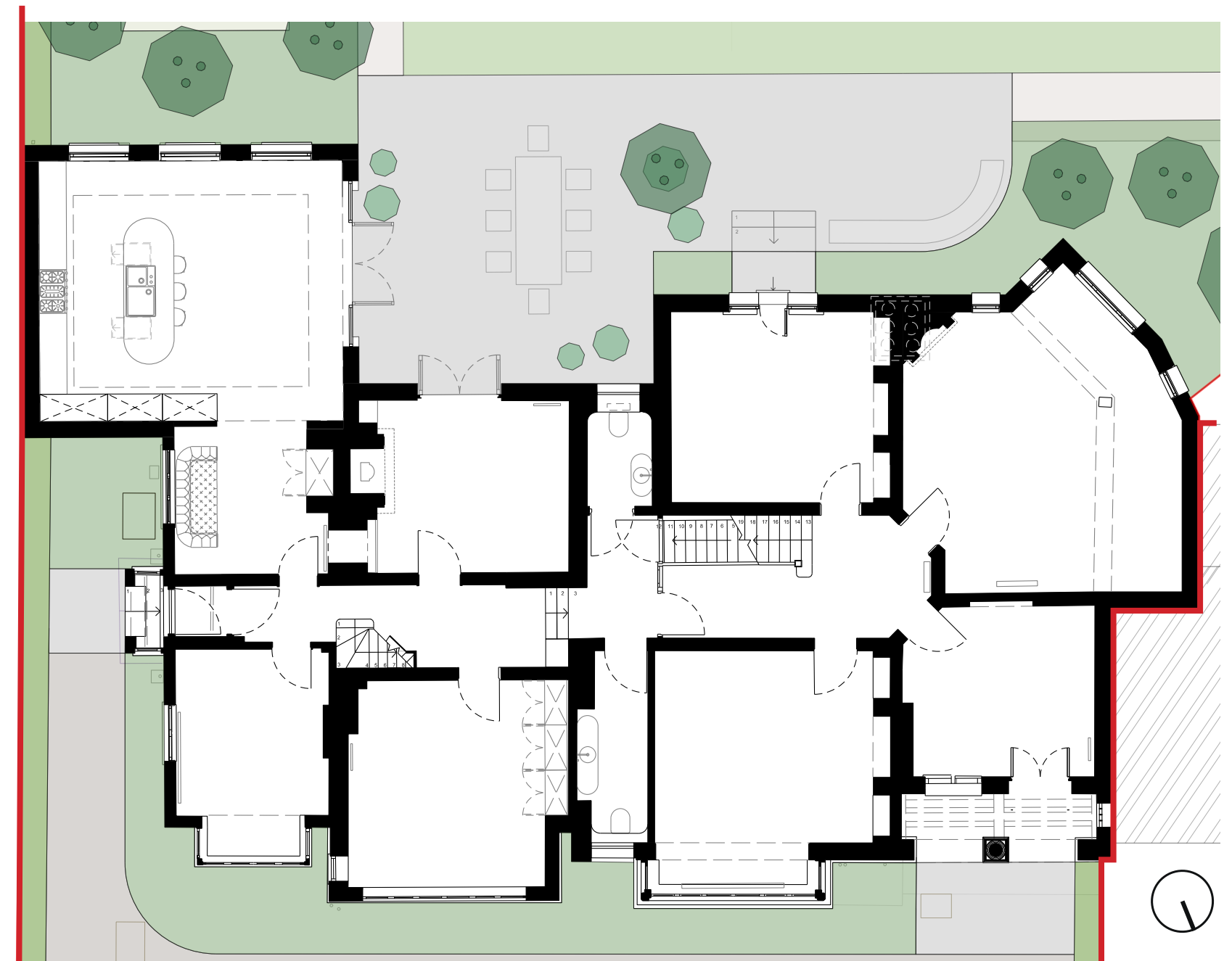
Second - 30.1 Sq.m (same as existing)

Basement - 123.8 Sq.m (same as existing)

TOTAL GIA - 626.8 Sq.m (2.9 Sq.m less than existing)



Existing ground floor plan



Proposed ground floor plan

MASSING

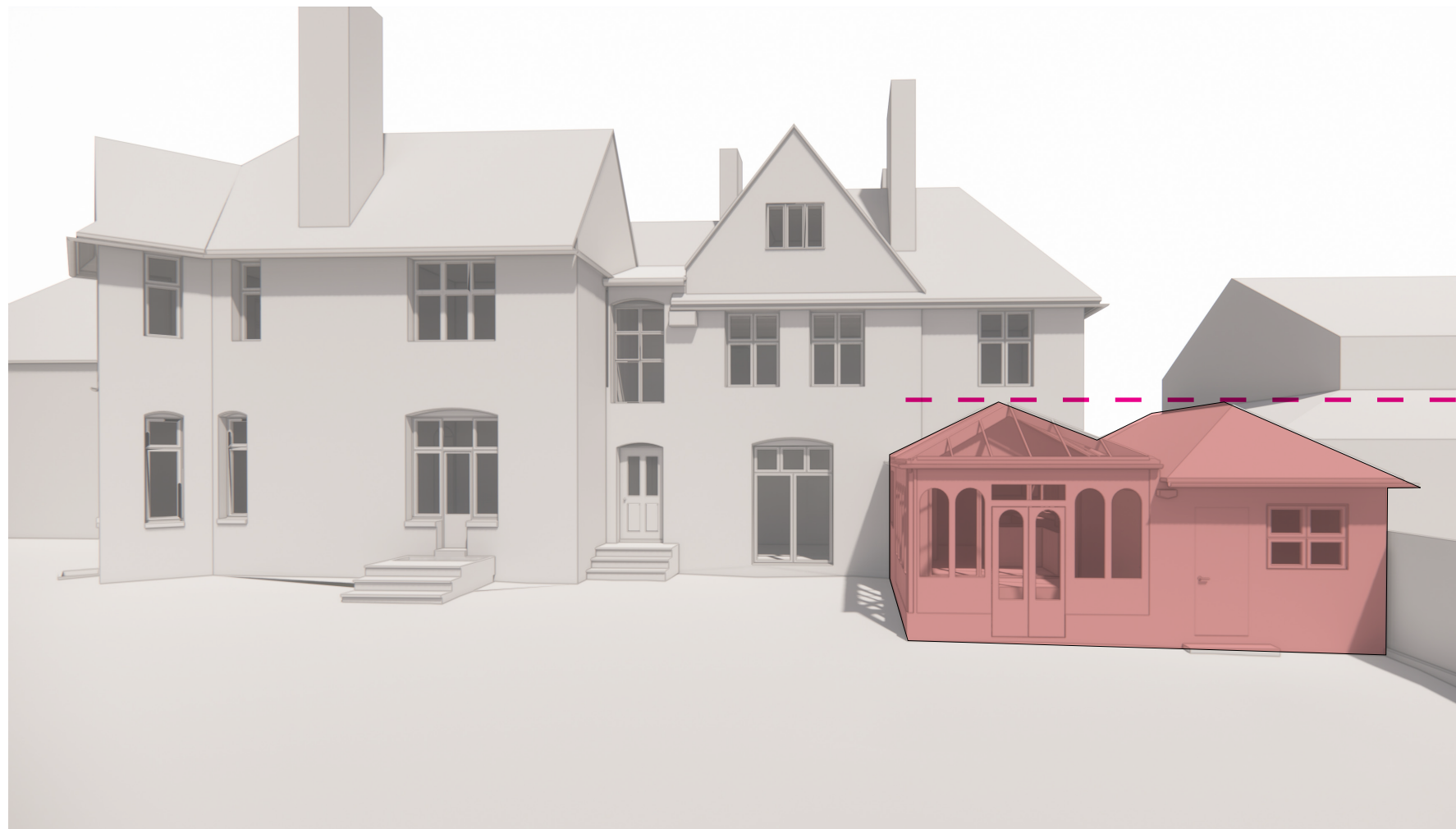
The design takes into account the scale and proportions of the existing conservatory and garage, maintaining a visual cohesion that enhances the overall aesthetic appeal of the property.

This deliberate alignment not only respects the existing building but considers the adjacent properties.

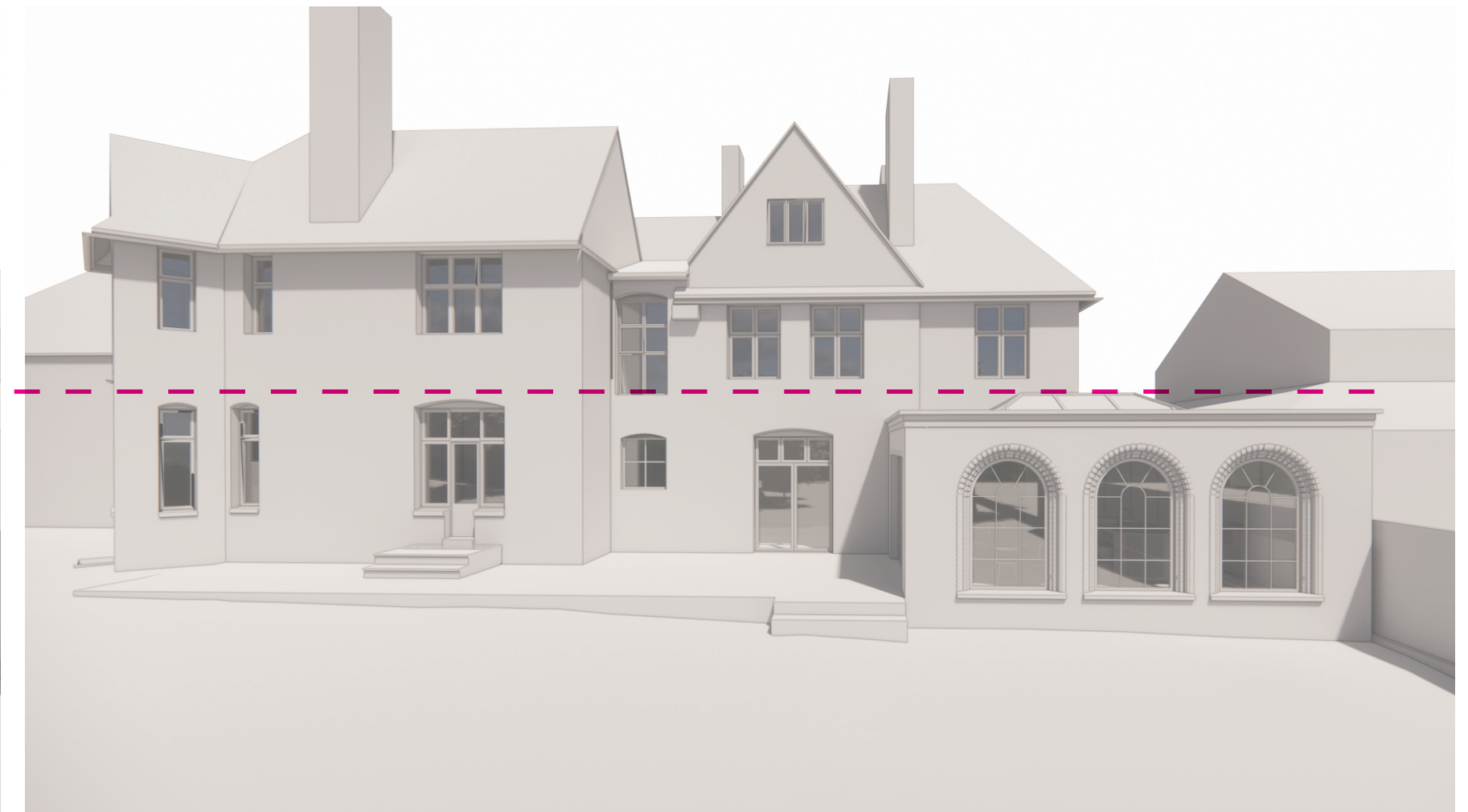
By carefully considering the architectural context, proposals ensure a coherent integration of the extension. It seamlessly integrates with the existing structure, respecting its style and proportions.

Careful design ensures visual appeal and adherence to the existing building. Adequate daylight/sunlight is maintained through fenestration, roof design, and setback distances, minimizing overshadowing.

This compliance showcases an understanding of the proposal's impact on the existing build and its neighbouring properties, promoting a positive, sustainable built environment.



Existing massing



Proposed massing

FRONT ELEVATION

To the front, proposed alterations are relatively modest, including new windows to match the original and the replacement of a non-original door and steps adjacent to the main bay window of No. 45 with a smaller window to match original.

Replacement of plastic rainwater goods with cast iron are proposed following removal of the pipework from the front gable.

All proposals accrue to the locally listed building itself and the character and appearance of the conservation area

 Alterations proposed

43 & 45 Park Road

19 Stratford Road
(Not part of this application)



Proposed front (North) elevation

REAR ELEVATION

The proposals aim to improve the quality of the rear extension and its relationship to the main house and surroundings. The mismatched conservatory and garage are to be replaced with a new orangery-style extension that occupies the exact footprint, ensuring a harmonious integration with the building's form, scale, materials and orientation.

Inspired by buildings across the conservation area, the orangery-style design reflects the area's architectural essence, with attention to brickwork, stonework, fenestration, and roof structure. Elevating the floor level of the current conservatory and garage aims to increase accessibility across the ground floor with a single finish floor level.

Key design elements include red brick arches over windows to complement the existing structure, with brickwork to match the existing building. Light-coloured stone coping and cills enhance the overall aesthetic.

A new window for the ground floor WC, is the only other alteration to the rear facade. In place of the previous door in this location, reclaimed brick from the removal of the current garage is proposed to match with the current house.

 Alterations proposed

43 & 45 Park Road

41 Park Road
(Not part of this application)

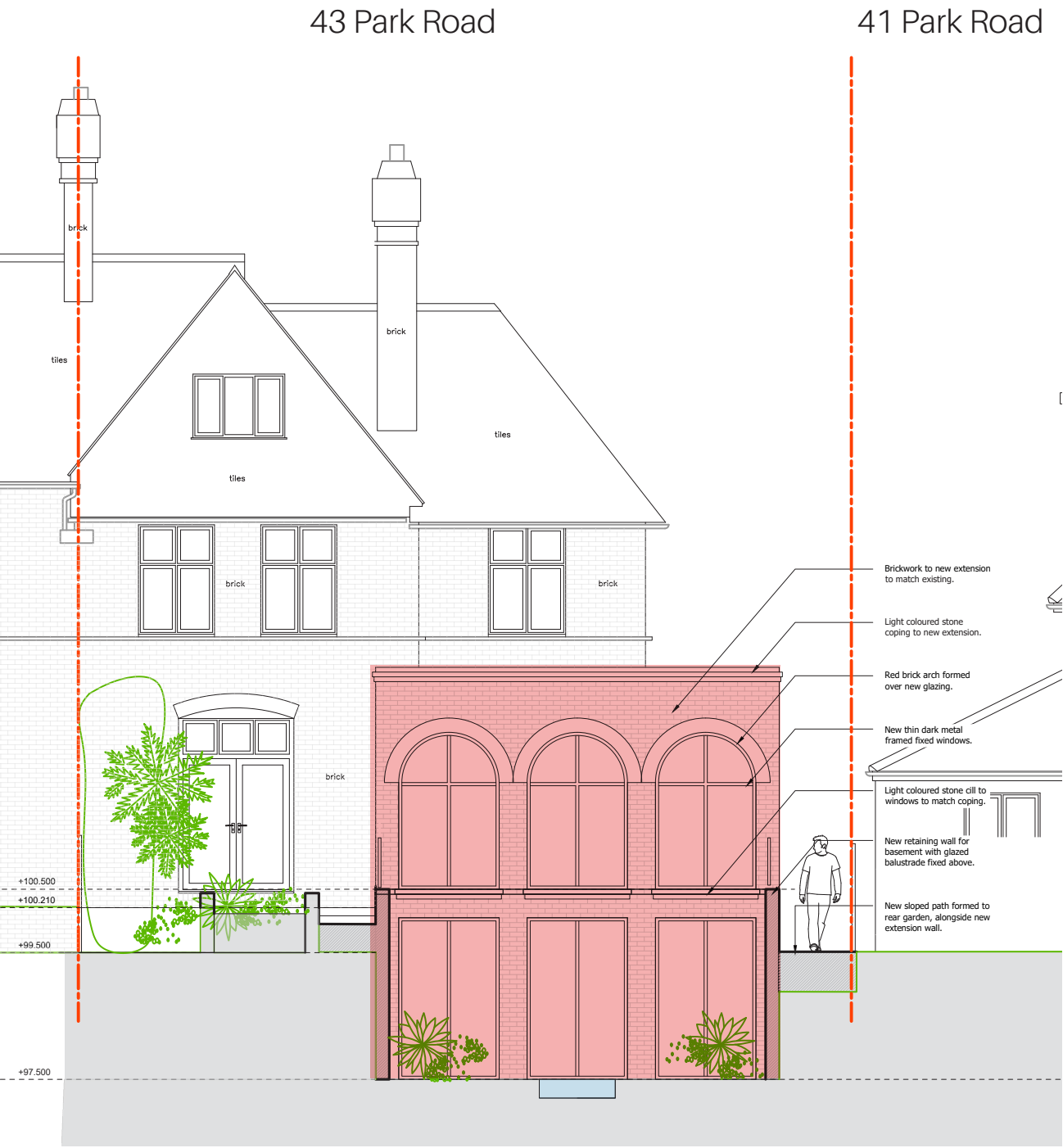


Proposed rear (South) elevation

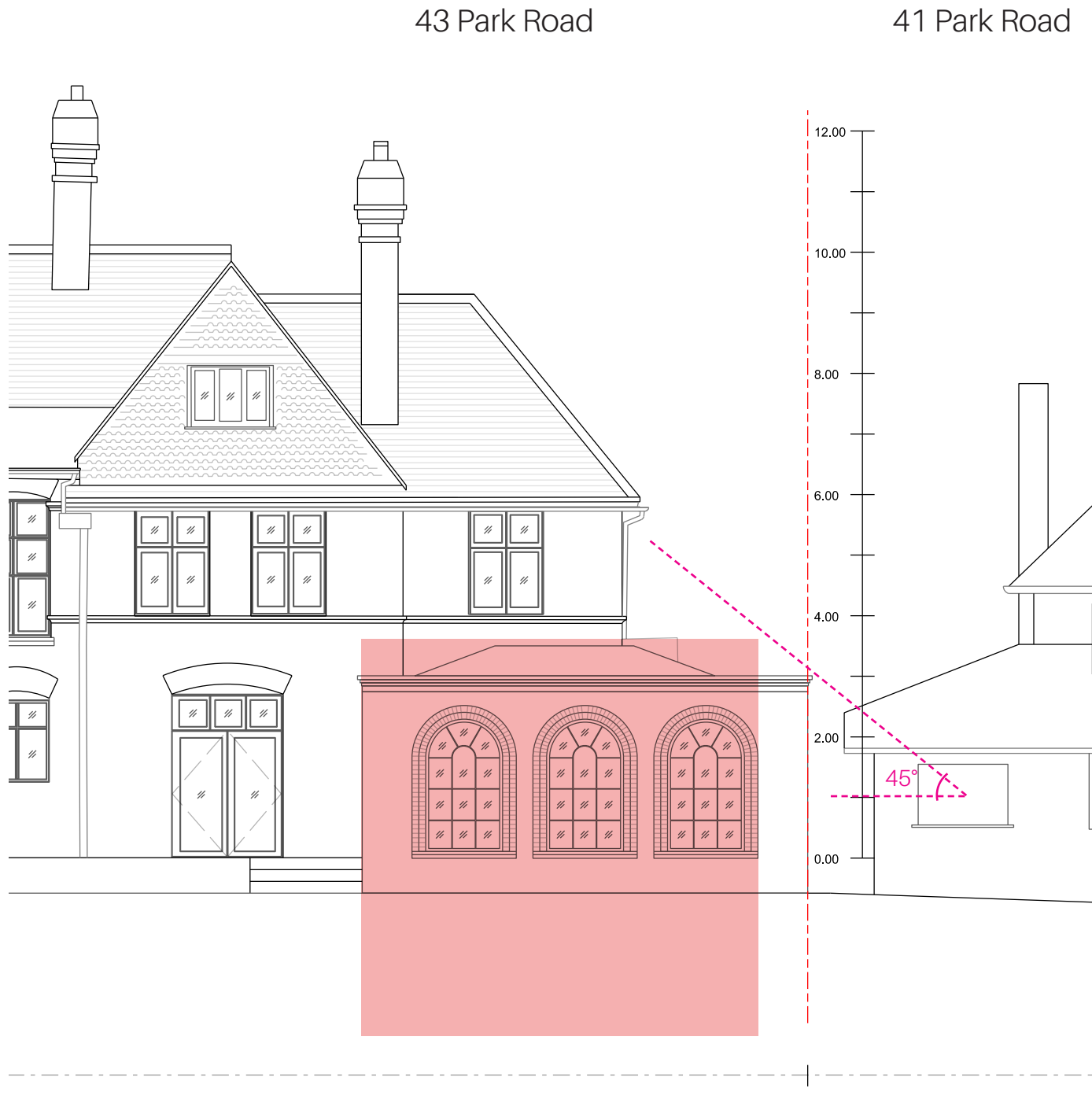
COMPARISON WITH PREVIOUSLY APPROVED REAR ELEVATION

When viewed alongside the recently consented application reference 22/01484/FULH it can be seen that the new proposal is a more modest addition. The proposal significantly reduces the parapet height of the extension while retaining the existing footprint of the current conservatory. Furthermore, no basement is proposed as part of this new planning application which will have significant environmental benefits.

Current proposals significantly reduce the parapet height of the extension while retaining the existing footprint of the current garage adjacent to the boundary as no route to the garden is required through the amalgamation of 43 and 45 Park Road with no basement proposed.



Previously Approved application (22/01484/FULH) - Proposed rear elevation



Proposed rear elevation

Extent of previously approved extension

The proposed detail and materiality of the extension has taken cues from the existing building.

The predominant building material is gault/red brick with red brickwork details around the windows.

The proposed extension replicates those materials and aims not to dominate the host building or over-whelm its form and composition, but provide a high quality addition that assists in the reading of the original dwelling in a sympathetic, complimentary manner.

All finishes will be of high quality materials and will contribute positively to the character of the area.



Visual of rear extension materiality. Please refer to landscape proposals for landscape design

1. Brick to match existing
2. Red brick formed over new glazing
3. Light coloured stone cill
4. Light coloured stone coping
5. New aluminium frame heritage window



1. Red brick to match existing



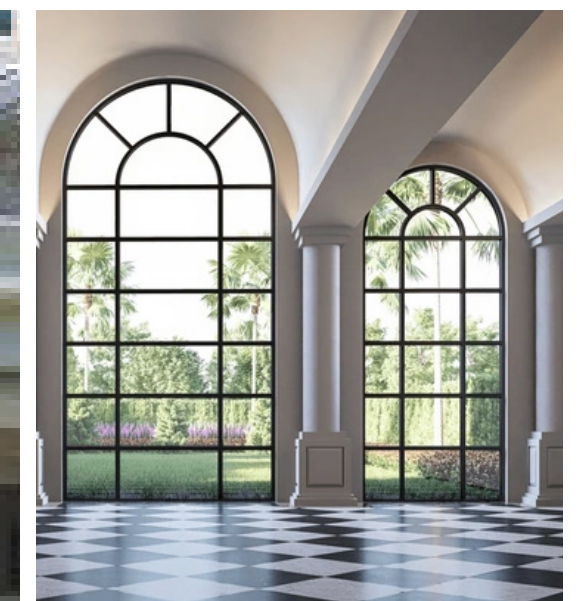
2. Red brick detail around the window



3. Light coloured stone cill



4. Light coloured stone coping



5. Aluminium frame heritage window

ENERGY AND SUSTAINABILITY

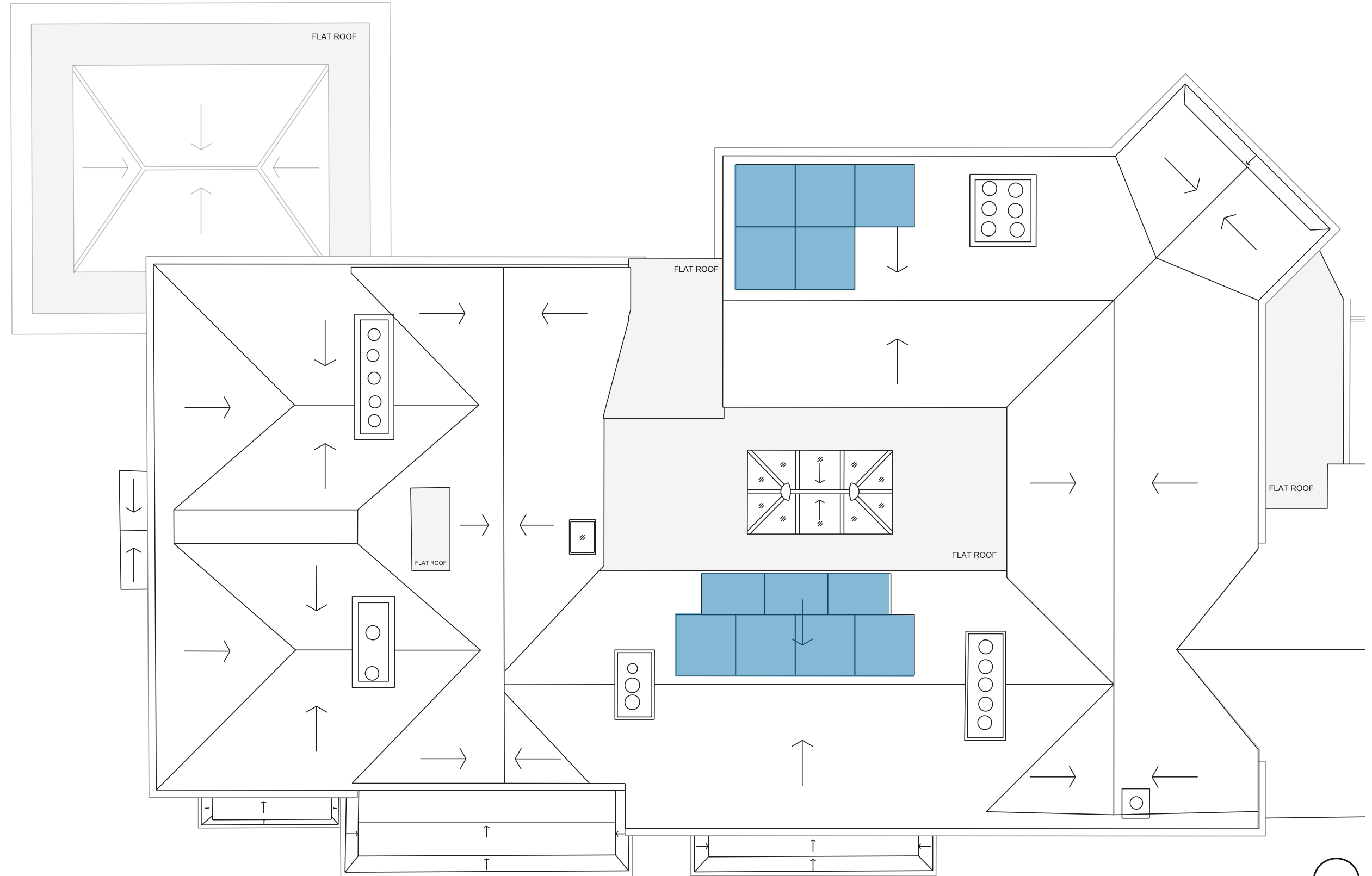
The proposal aims to be environmentally, socially, and economically sustainable by implementing various design and construction principles.

In terms of environmental sustainability, the project focuses on refurbishment and alterations to minimize the need for new materials. Recycled and reused materials will be prioritized whenever possible, reducing the demand for virgin resources and minimizing waste. Additionally, a high level of insulation will be incorporated into the new walls and roof, ensuring energy efficiency and reducing heat loss during the winter. The new fenestrations will be designed to optimize solar gains while minimizing heat loss.

From a social perspective, the extension aims to improve the quality of living spaces. The enhanced insulation and low air permeability will result in improved thermal comfort for occupants, reducing the need for excessive heating or cooling. The design will also emphasize natural light and ventilation, creating healthier and more pleasant living environment for current and future residents.

The existing property has power PV cells that generate clean, renewable energy reducing reliance on traditional power sources. The integration of advanced insulation and energy-efficient HVAC systems ensures optimal resource utilization, contributing to long-term energy savings.

 Existing location of power PV cells



Proposed Roof plan illustrating existing location of PV Cells on the roof

TRANSPORT AND ACCESS

The site has very good public transport accessibility. The nearest bus stop is to the West of the Site on Grandfield Avenue, this is located approx. 0.2 mile from the Site (5 minutes' walk). Railway Bridge bus stop, located to the East of the site is also a short distance (5 minutes' walk). The nearest railway station is Watford Junction which is located approx. 0.4 mile from the Site (9 minutes' walk).



Pedestrian Access:

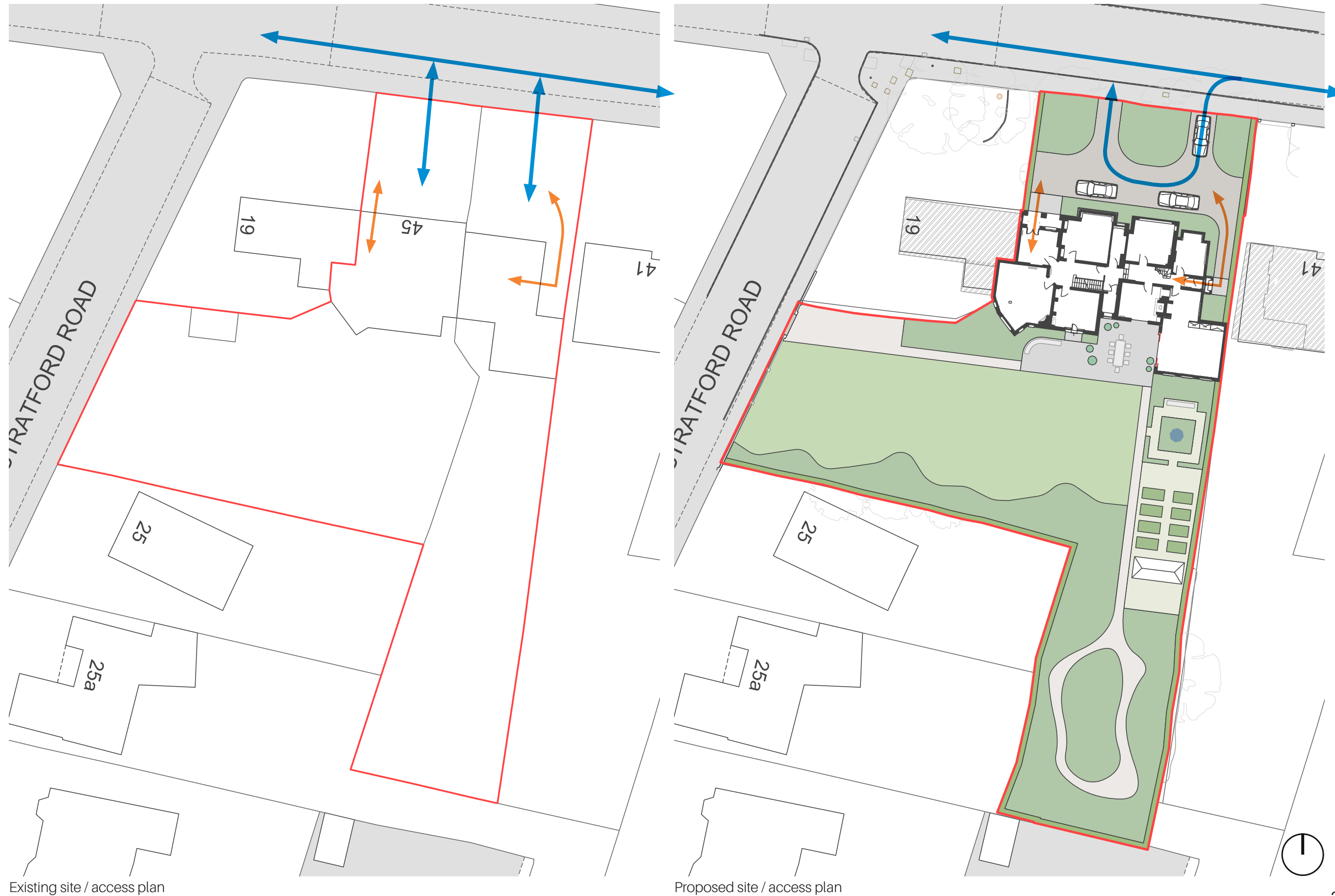
No amendments to the pedestrian access to the property are proposed as part of this application. Both the existing entrance to 43 and 45 are to be retained.

Vehicular access:

By updating the boundary treatment at the front of the site and creating the horseshoe access and egress with associated landscaping will help passers-by read the landscape as one, thereby restoring the former setting and appearance of Innage House.

The proposed horseshoe drive improves the visibility / safety of vehicular access into and from the site building as well as it's accessibility for elderly / disabled users by nature of its in and out approach.

-  Pedestrian Access
-  Vehicular Access



ARBORICULTURAL SURVEY

Proposals at 43&45 have been supported by Thomson Environmental Consultants Ltd who have conducted an arboricultural survey to identify potential tree-related constraints influencing proposals.

The site spans approximately 0.2 hectares and houses numerous trees, some of which may be impacted by the planned development. The applicant commissioned the survey to assess existing tree conditions and identify potential effects on both on-site and nearby trees.

The Arboricultural Survey Report for 43&45 Park Road, Watford submitted independently assists in guiding decisions on design layout, tree retention, and feasibility studies for the proposed development.

It includes an Arboricultural Survey adhering to BS5837:2012 standards, a desktop study to identify tree preservation orders, and an Arboricultural Report outlining survey methods, results, and recommendations.

Survey limitations include the assessment's focus on the surveyed trees' condition at the time and the lack of a full hazard assessment, hence not guaranteeing the trees' structural integrity.

Methodology involved desk study utilizing Watford Borough Council's mapping software for relevant designations, and a tree survey following BS5837:2012 criteria. Trees were categorized based on dimensions, condition, health, and remaining contribution to the site.

A quality assessment categorized trees into four quality types (U, A, B, C) based on life expectancy and condition. Additionally, root protection areas (RPAs) were calculated to minimize potential damage during construction.

The recommendations emphasize obtaining necessary council approvals before any tree works due to Tree Preservation Orders and Conservation area designations.

The survey identified 25 significant individual trees, three tree groups, and three hedges on-site, each categorized for retention or removal, while one tree is deemed unsuitable for long-term retention.

The report provides detailed tree descriptions, including their physical attributes, condition, and estimated remaining contribution to the site. RPAs for trees were calculated, and a detailed map with the RPAs, tree locations, and retention categories was included to aid in decision-making for the development proposals.



Tree Constraints Plan (TCP01) Extract from Thomson Environmental Consultants arboricultural report

ILLUSTRATIVE LANDSCAPE PLAN

The development offers excellent opportunities for a large new family back garden that is separated into various activity zones, filled with trees, mixed shrubs, and perennials that enhance the setting of the listed building, and improve biodiversity.

The front garden will feature a horseshoe drive that follows the existing entrances to the property. To minimize the drives impact on existing trees, we propose a porous gravel surface that maintains the existing ground level.

Additionally, we propose to replace the existing rotting wooden fence to a cast iron railing, more a fitting for a property within the conservation area, with the foundations for fence posts ensuring root protection areas are maintained.

Key

- 01 Existing trees
- 02 Proposed multi-stem trees
- 03 Proposed fruit trees
- 04 Proposed single stem trees
- 05 Mixed ground-cover planting
- 06 Enhanced existing shrubs, perennials and climbers
- 07 Boundary hedge or climbing plants
- 08 External terrace
- 09 Vegetable garden
- 10 Paved thresholds
- 11 Permeable drive
- 12 Gravel path
- 13 Secret garden
- 14 Proposed mixed shrubs, perennials, climbers
- 15 Existing lawn
- 16 Existing entrance
- 17 New railing



Illustrative plan, not to scale

TREE STRATEGY

Key

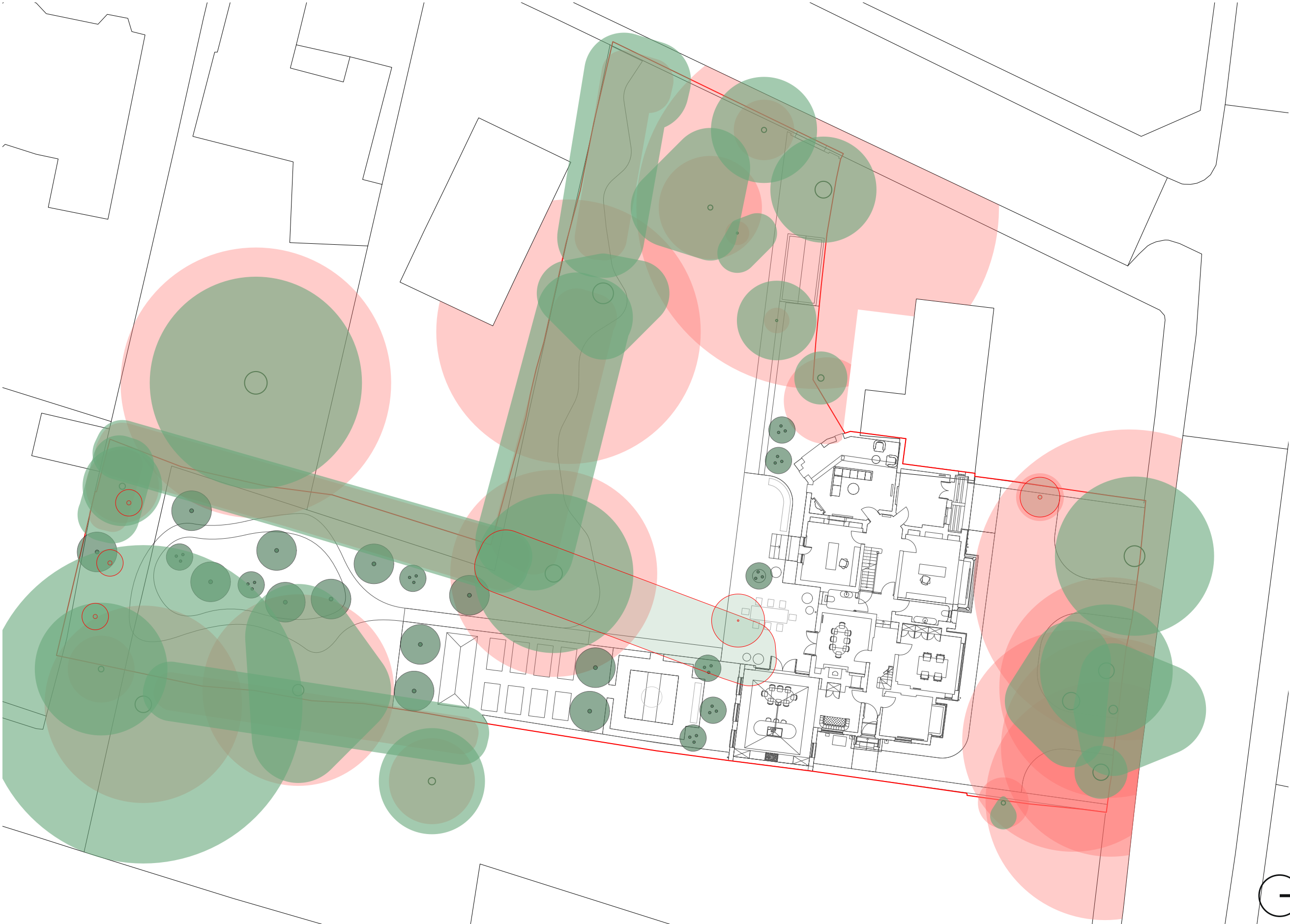
Hedges and trees proposed for removal:
T15, H01, T19, T20, T21

Existing trees to be retained

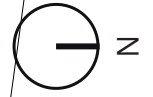
Root protection areas

Proposed trees

Refer to the arboricultural statement for details about proposed works within the RPAs, tree protection and removal drawings.



Illustrative plan, not to scale

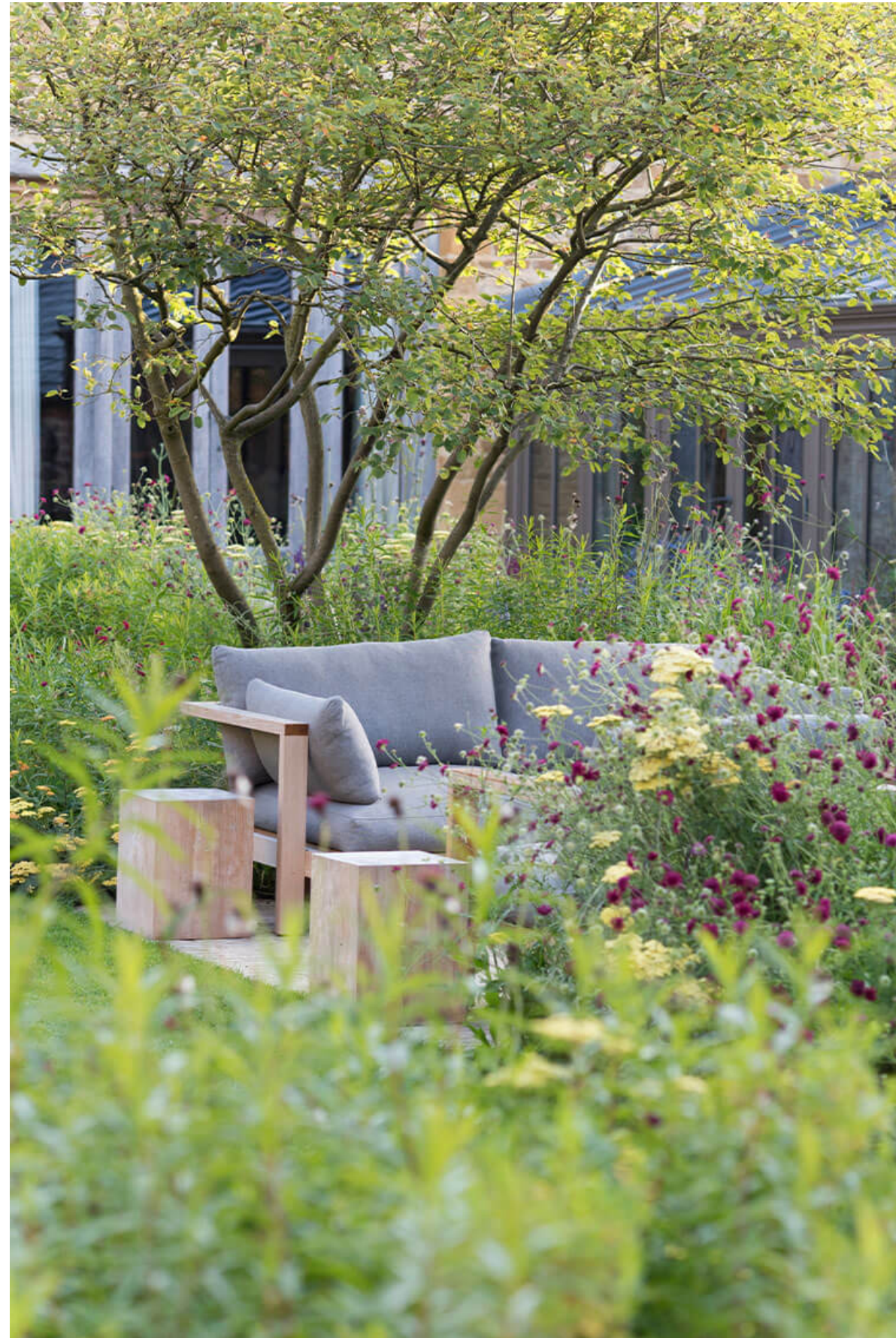


PLANTING STRATEGY

We aim to maintain the natural charm of the garden, support local biodiversity, and create a great setting for various family activities. By keeping most of the existing trees, and enhancing their setting with new planting and trees, the garden will not only look mature from day one, but will ensure continuity and health of the current ecosystem.

For the planting beds, we propose a mixture of perennials and shrubs to increase biodiversity and create a variety of habitats for pollinators and invertebrates. For colour, form and extending blooming periods, we propose a mixture of native and non-native species to increase the resilience of the garden, as non-native species will have different tolerances to diseases, pests, or extreme weather conditions. Additionally, a blend of native and non-native plants will extend ensure continuous colour and beauty throughout the year.

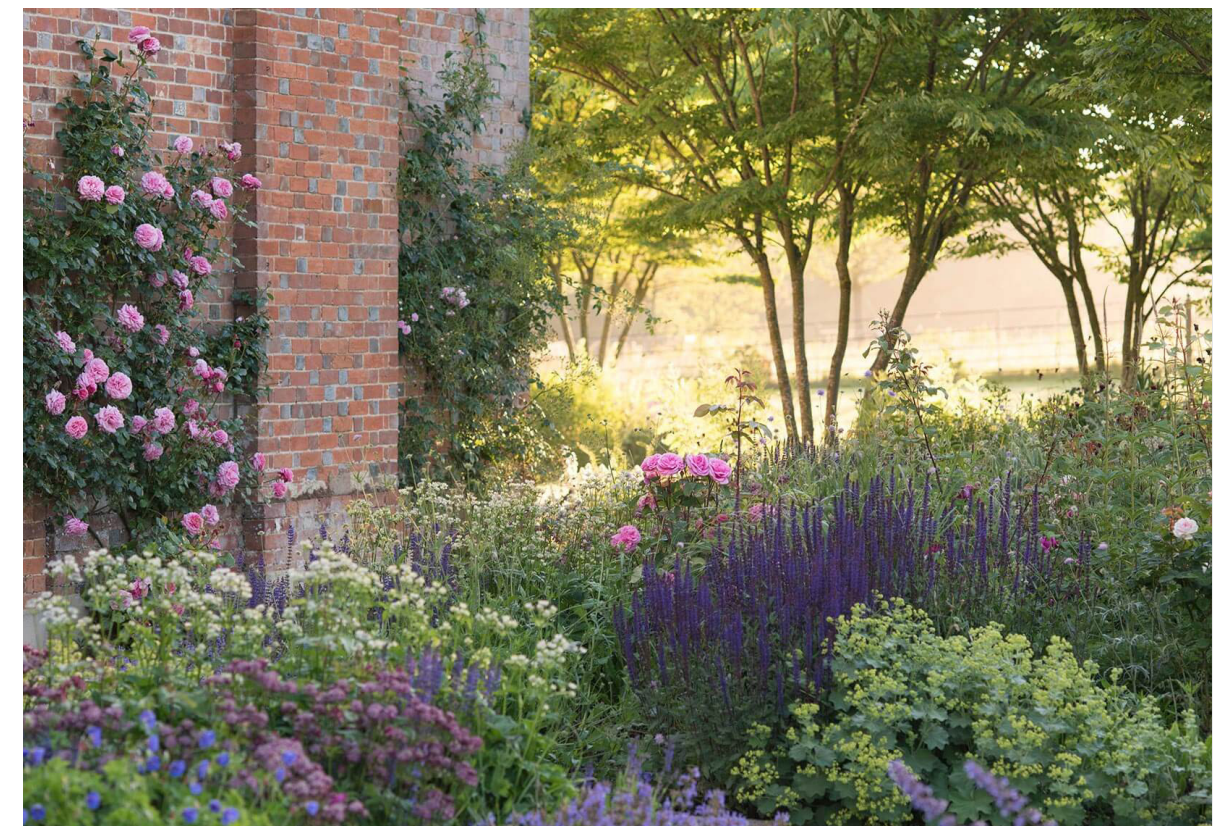
We also propose porous hard surfaces in the garden to prevent water pooling, reduce flooding risk, promote groundwater recharge, improve soil health, and reduce the need for artificial drainage systems.



External seating areas surrounded by planting



Mixed shrubs, perennials, climbers against the building facade



Mixed perennials, shrubs and multi-stem trees

LANDSCAPE REFERENCE IMAGES



Stone paved terrace



Vegetable garden



Mixed layered vegetation



Informal gravel paths



Fire pit area



Building surrounded by mixed planting



Natural playground

CONCLUSION

The consolidation of No 43 and 45 Park Road aims to elevate the residence into a single, more functional family home, addressing both current needs and future growth. This amalgamation, alongside proposed adjustments to the garage and conservatory, are intended to create an integrated home that enhances accessibility, with the capacity for the family's future .

The modifications planned for the conservatory aim to improve their practicality while making access to the garden easier.

These changes are part of a deliberate effort to enhance the building's visual appeal enhance the appearance and character of the original building and surrounding area.

Currently, the main house limits views from the road to the rear, with the extension designed to sit directly on the existing footprint of the garage and conservatory limiting disruption or intrusion to the neighbouring dwelling.

Careful attention has been given to the materials and proportions of the extension to ensure they seamlessly fit with the original house and wider conservation area, with the ultimate objective to enrich both the appearance and character of the original building and its environment.



Visual of rear extension (please refer to landscape proposals for landscape design)

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