

enclosed timber frame and timber clad shed / external store area [APT 01]

1.8m slatted privacy screen to perimeter of external terrace

external terrace 18sqm

APT 01
55sqm
1b 2p

4 Crown Street

commercial unit
207sqm

REFUSE STORE

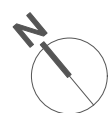
residential:
refuse bin: 1 metal 1100l Eurobin
food bin: 1 wheeled bin 240l with compostable liners
recycling bins: 2 metal 1100l Eurobin
designated area for bulky waste

Pink shaded wall indicates existing party wall to be retained.

GROUND FLOOR AREAS

- 382sqm Total internal footprint area
- 166sqm Residential internal footprint area
- 207sqm Commercial internal footprint area

Measured to inside face of external walls. Including lift, stair and service risers.



7394
1 Mount Place and 6-8 Crown Street, W3

Notes
This drawing is for planning purposes only.
Do not scale off the drawing.
Use figured dimensions only.

No.	Date
E	12/01/24

Revision Notes
revisions following comments from DOC / BI

proposed grd plan
P011
1:100 @ A3
23/07/2021

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