
Planning and design statement

The Old Rectory Polegate East Sussex BN26 5SD

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Use and history of the site

The building was listed on 11 August 1981.

This building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest.

FOLKINGTON FOLKINGTON ROAD 1. 5208 The Old Rectory TQ 50 SE 24/200

2. L-shaped Tudor-Gothic house of 1840 circa. Two storeys and attic. Four windows. Two dormers. Red brick and grey headers in alternate courses on a stuccoed base with stuccoed long and short window surrounds and quoins. Tiled roof. East wing has a shaped gable containing a cartouche. Southernmost window-bay also projects with gable over. Sash windows with glazing bars intact, some with dripstones over. Stuccoed porch in the angle of the L.

Reference to Historic England

<https://historicengland.org.uk/listing/the-list/list-entry/1193454?section=official-list-entry>

The building has undergone many alterations in the past. External wall retention and rebuilding of existing walls in 1993. Holiday let approval for Woods Barn in 2005. New single storey garden room to rear elevation in 2007 and demolition of side porch with associated work in 2008. Turning and parking area with associated works in 2009. Approved planning and listed building consent in 2023 for construction of glass two storey building with glazed links.

The outbuilding conversion into a habitable home gym was previously a garage for motor car storage. The existing building has been modified over the years with infill panels and new timber rafters installed with a modern rooflight installed into the rear elevation.

Amount

Single storey extension

This application proposes an additional single storey extension to the rear of the existing property. The existing property contains 400m² of domestic floor space over three floors. 24.7m² of the existing floor space is utilized within the conservatory that was approved in 2008 via application no WD/2008/2366/7 and WD/2008/2367/LB. This floor space has been proposed to be lost with demolition and reused within the new additional floor space which is overall extension floor space of 68.2m² with a net gain of 43.5m² of domestic internal floor space.

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Conversion of existing outbuilding

The existing outbuilding is proposed to be retained, repaired, and converted into habitable space for a home gym. The building will not be extended but new floors installed, walls to be insulated and lined with timber framing. The roof will be strengthened and lined with insulation to create habitable space and prolong the life span of the existing building.

Scale

Single storey extension

The scale of the extension has been designed to minimise the effect upon the listed building in many ways. The location has been redesigned over the approved application in 2023 where the proposed building would have been elevated on ground to the rear of the existing building and elevated over two storeys which would not only detract from the rear views of the existing building but would also be visible from the road leading onto the old rectory. This proposal has receded the design into an area hidden from view of the street scene and will protect the visual appearance of the existing building.

Conversion of exiting outbuilding

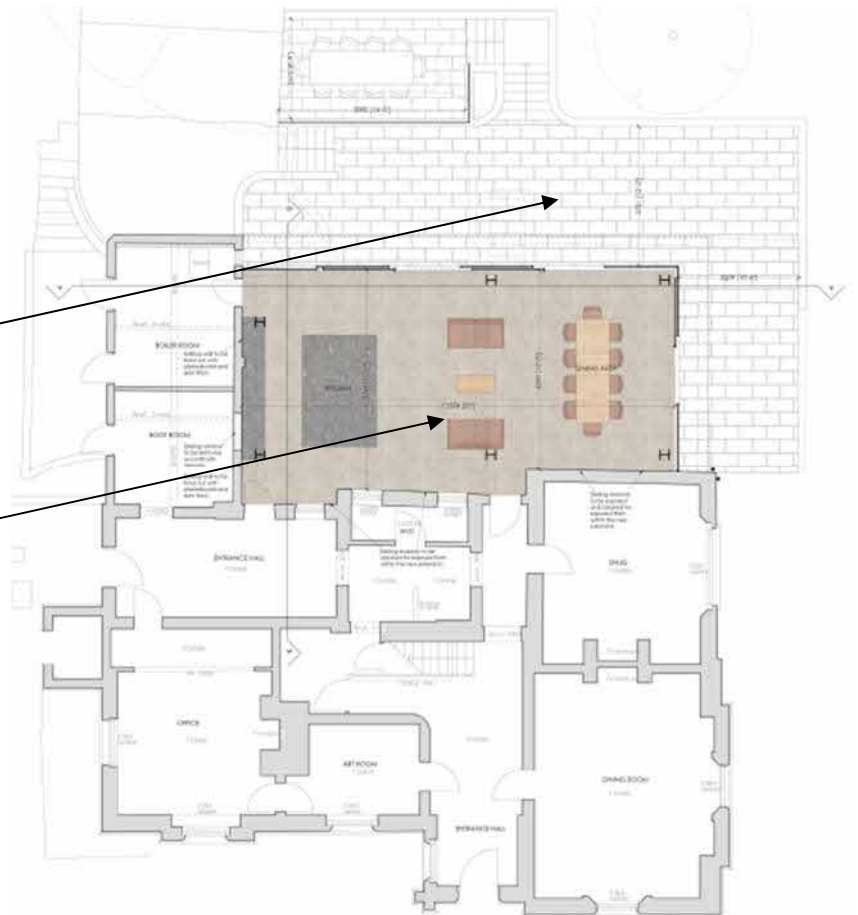
The existing building will be retained with no extension to the existing building.

Landscaping

The hard landscaping around the extension will be contained to the extension area and covering area which has already part been covered by hard landscaping.

New patio area

Shaded area indicating new extension to the rear of the existing building.



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Appearance

Single storey extension

The appearance of the building with all glass walls will create vision from the garden through the extension with the original external wall stone / brick of the main building visible from the inside of the new extension and through to the external garden. This in turn provides a double effect of the old and new combining but not contrasting into a pastiche.



Sketch North elevation.



Sketch West elevation.

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Visual renders



Visual render 1



Visual render 2

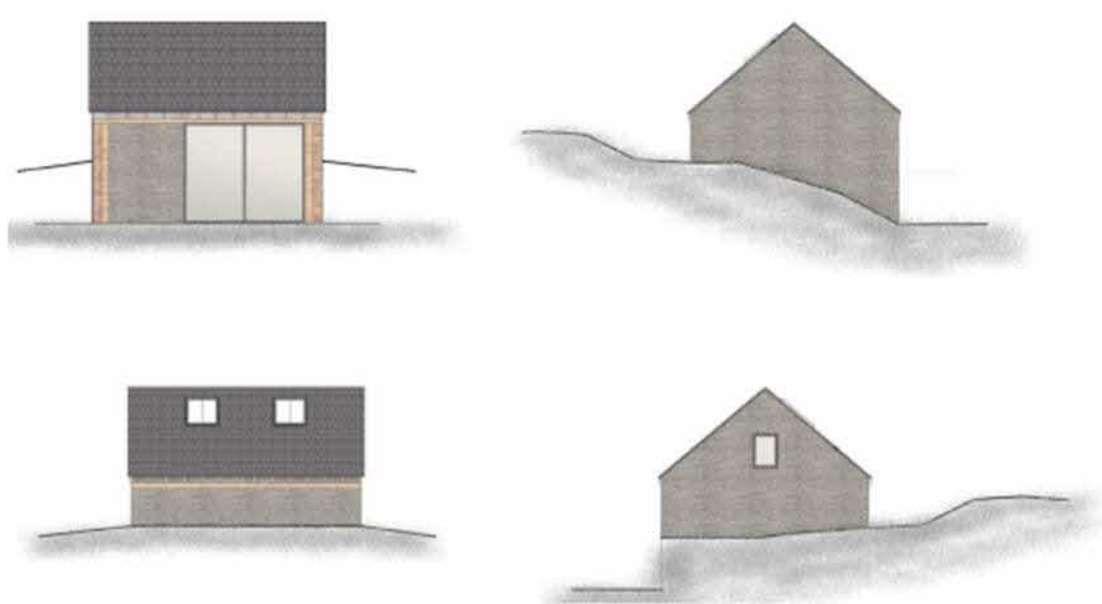


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Conversion of existing outbuilding

The North elevation will change slightly from a single rooflight appearance into two rooflights. This is required for extra light into the building for the habitable use. The insertion of external windows in the existing walls will provide far greater harm and practical complication than providing an additional rooflight within the modern roof construction. The East elevation will retain as existing with the existing window refurbished / renewed. The South elevation will contain the most change with the modern brick infill panel removed and new glazed doors installed within the new extended opening combining the two passage doors. The west elevation will not change.



Access

The site is accessed via Folkington Road. Dirst access onto the A27 near Polegate. The new extension will not increase traffic or effect the existing access road.

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Existing photos



Photo 1



Photo 2



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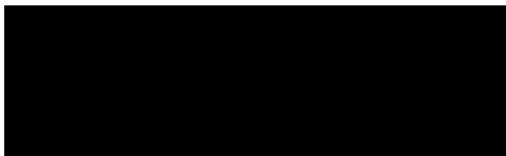
Photo 3



Photo 4



Photo 5



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