



**PROPOSED REPLACEMENT OF MODERN CENTRAL BRICK PIER WITH
SUPPORTING FRAMEWORK TO PLAYROOM**

AT

MILL HOOK FARMHOUSE, GRANBOROUGH MK18 3NJ

HERITAGE STATEMENT

March 2024



Image 1
Front elevation of Mill Hook Farmhouse

Rory Cullen, Director of Cullen Conservation
MSc (Bldg Cons), IHBC, FCIQB, Heritage Certified Professional (Bldg Surv)

Historic Building Consultant

SECTION 1.0

CONTENTS

	PAGE NUMBER
COVER SHEET	1
1.0 CONTENTS	2 - 3
2.0 INTRODUCTION	4
3.0 CONTEXT	5
4.0 HISTORY OF GRANBOROUGH	6
• Acknowledgements	6
• Location	6
• Heritage Significance	6-8
5.0 PROPOSALS	9
• Introduction	9
• Scope of Works	9
○ Removal of Central Brick Pier	9-10
○ Insertion of RSJ to Ceiling, with Supporting Piers to Sides of Room	10-11
• Justification for Works	12
○ Removal of Central Brick Pier	12
○ Insertion of RSJ to Ceiling, with Supporting Piers to Sides of Room	12
6.0 ASSESSMENT OF SIGNIFICANCE	13
• Introduction	13
• Mill Hook Farmhouse	13-14
○ Summary of Construction Evolution	14-15
7.0 HERITAGE IMPACT ASSESSMENT	16
• Introduction	16
• Heritage Impact on Mill Hook Farmhouse	16
○ The Significance of the Asset	16
○ Assessment of Significance	16-17
○ Heritage Values	17-18
○ Determination of the Magnitude of Impact	18-19
○ Conservation Principles Adopted	19-20
8.0 DESIGN	21
• Key Design Principles	21
○ Removal of Central Brick Pier	21
○ Insertion of RSJ to Ceiling, with Supporting Piers to Sides of Room	21
9.0 CONCLUSION	22
LIST OF IMAGES	23
LIST OF APPENDICES	24

SECTION 2.0

INTRODUCTION

This Heritage Statement forms the main part of the Listed Building Consent Application for the proposed replacement of the modern central brick pier with a steel beam within the ceiling, with supporting brick piers to the sides of the Playroom.

The proposed drawings and calculations for the works by the Structural Engineer are provided as Appendices D and E.

Permission was granted for the existing pier as part of a 2014 application to support a single storey extension, so it has no historic significance. Its replacement represents a significant improvement to the space as it will open it up to be usable, whilst it will involve no loss of historic fabric – a key Conservation Principle as set out within BS 7913: *Guide to the Conservation of Historic Buildings*.

This Statement explains the Heritage Values behind the proposals, and needs to be considered in relation to the following documents:

- Appendix A - 1:500 Site Plan & 1:1250 Location Plan
- Appendix B - Historic England Listing for Mill Hook Farm (17 Winslow Road)
- Appendix C - Schedule of Listed Buildings in Granborough
- Appendix D - Proposed Drawings from Structural Engineer
- Appendix E - Design Calculations from Structural Engineer
- Appendix F - Planning History

SECTION 3.0

CONTEXT

The Historic England listing for Mill Hook Farmhouse (referred to as 17 Winslow Road in the list description) can be found as Appendix B, and is highlighted in the Assessment of Significance section below.

The building provides a significant contribution to the streetscape and the local community, with appropriate heritage values that apply, and its listing also highlights that it is a significant local Heritage Asset.

The proposed works in this application relate to minor internal alterations only which will improve the function and usability of the Ground Floor Playroom by opening up an awkward 'dead' space. The re-arrangement of the supporting structure will be undertaken in accordance with best Conservation Principles, in particular in relation to minimal loss of historic fabric.

This Heritage Statement highlights the positive impact that the proposals will have on the listed building itself. As the proposal involves internal work only there will be no impact on the setting of Mill Hook Farmhouse itself, nor on any other Designated Heritage Assets within the vicinity.

A history of Granborough is outlined within this Statement, together an Assessment of Significance of Mill Hook Farmhouse, and a Heritage Impact Assessment of the proposals. This includes the Conservation Principles adopted in the design of the proposals and the materials specified - all based on BS 7913 and the requisite Historic England guidance.

The Design and Access Statement and the attached Appendices should be read in conjunction with this Heritage Statement, as they provide relevant information hereafter referred to.

SECTION 4.0

HISTORY OF GRANBOROUGH

ACKNOWLEDGEMENTS

I would like to acknowledge Claire Truman, RIBA Accredited Conservation Architect from Heritage Revival, for her kind permission to use extracts from the Heritage Statement she devised for the previous 2021 Listed Building Consent application.

Other Documents

- Historic England (2008) Conservation Principles Policy and Guidance: for the Sustainable Management of the Historic Environment. [Online]. Available from www.historicengland.org.uk [Accessed: 20.05.2021].
- Ministry of Housing, Communities & Local Government (2019) National Planning Policy Framework [on-line]. Available from www.assets.publishing.service.gov.uk [Accessed: 20.05.2021].
- Page, W. (ed). (1927) Parishes: Grandborough, in A History of the County of Buckingham: Volume 4. pp. 48-50 [on-line]. Available from British History Online www.british-history.ac.uk/vch/bucks/vol4/pp48-50 [Accessed 20 May 2021].

Websites

- Buckinghamshire's Heritage Portal: www.heritageportal.buckinghamshire.gov.uk
- Historic England: www.historicengland.org.uk
- Mills Archive: www.new.millsarchive.org
- National Library of Scotland: www.maps.nls.uk
- Wikipedia www.wikipedia.org
- Winslow History: www.winslow-history.org.uk
- Granborough Parish: www.granborough.org

LOCATION

Granborough is a Parish of 1580 acres in the Buckinghamshire Hundred of Waddesdon (Granborough Parish, 2021). Its location can be seen from image 1 below.

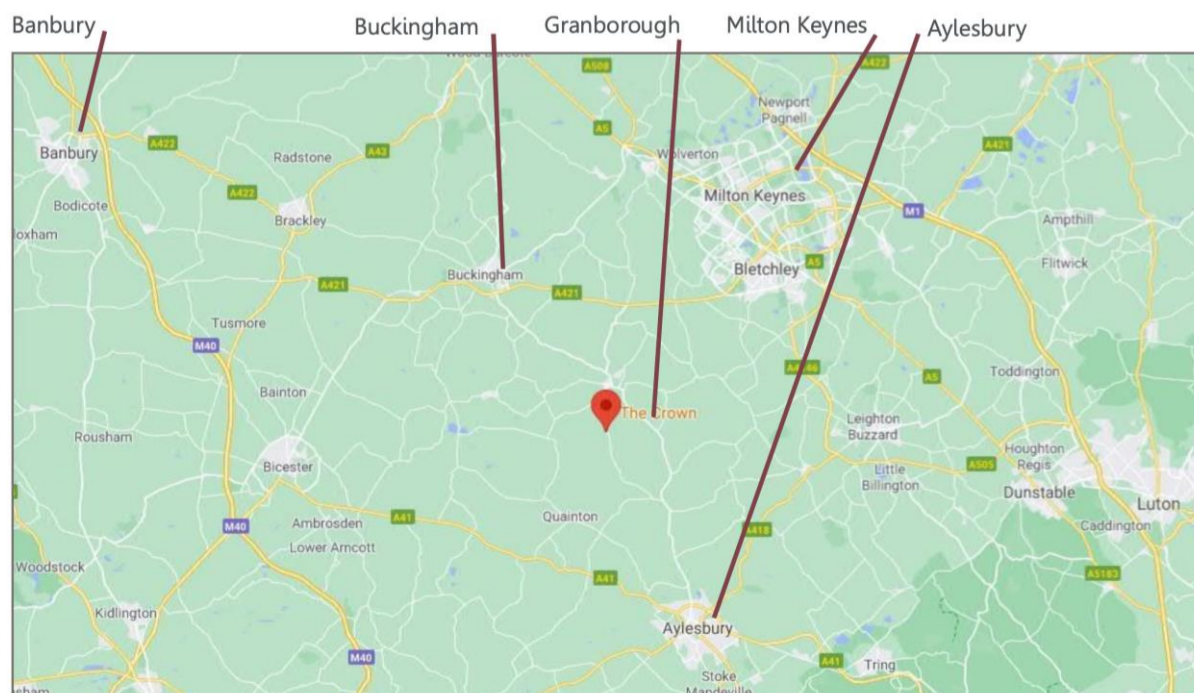


Image 2
Location of Granborough (Google Maps, 2021)

HERITAGE SIGNIFICANCE

Granborough appears in the Domesday Book 1086 as 'Grenesberga', meaning 'green hill' (ibid), and the History of the 1927 County of Buckinghamshire (Volume IV) describes it as sitting on a ridge (British History Online, 2021). Granborough, held by St. Alban's Abbey in 1086, and the local centre from which the Abbot ran the demesne was known as 'Biggin'. It is recorded as passing to the Crown after the dissolution of the monasteries, in 1547 (Wikipedia, 2021) after which time it became a farm in its own right (Winslow History, 2021) however it is believed to have been demolished in 1680. The

Buckinghamshire's Heritage Portal (2021) describes the site of Biggin as Earthworks of 'Medieval moated grange of Biggin' and noted as being a Manor in its own right by 1330 (ibid). The present day earthworks are north of Mill Hook Farm - see Image 2 below - along the Claydon Brook. Biggin Manor is possibly part of a deserted medieval village (ibid).



Image 3
Extract from Buckinghamshire's Heritage Portal

The Church of St. John the Baptist, dates from the 14th century, but substantially destroyed during the English Civil War (1642–1651) (Wikipedia, 2021). It was rebuilt after the Restoration of the Monarchy, in 1685 (ibid), and more latterly restored in 1881 by Sir Gilbert Scott (British History Online, 2021).

Granborough and its surrounding area developed from its dependence on arable farming. However, after the Enclosure Act for the Parish was passed in 1796 (British History Online, 2021) the local economy changed to be based on pastoral farming (Granborough Parish, 2021). Several farms are evident in building names today such as Rookery Farm immediately to the west of Mill Hook Farm, and Green End Farm on the road east out of Granborough. The Buckinghamshire's Heritage Portal (2021) states medieval settlement earthworks have been recorded at Rookery Farm - this may suggest owing to the immediate proximity of Mill Hook Farm and its slightly later date (C17), that Mill Hook Farm could have comprised ancillary buildings for Rookery Farm - possibly as farm cottages.

The Mills Archive records there was once a water-powered mill "...thought to be located on a branch of the Claydon Brook" (2021). It also indicates that there is no clear evidence as to whether Winslow and Granborough had separate mills or shared one. Its purported location is to the east of Biggin Bridge along the stretch of river upon which Biggin Manor was sited - Buckinghamshire's Heritage Portal suggests a mill to this location was part of the 1599 Salden Estate Map (2021). There appears to be no evidence, however, that 'Mill Hook Farm' was an independent farm or associated with a mill.

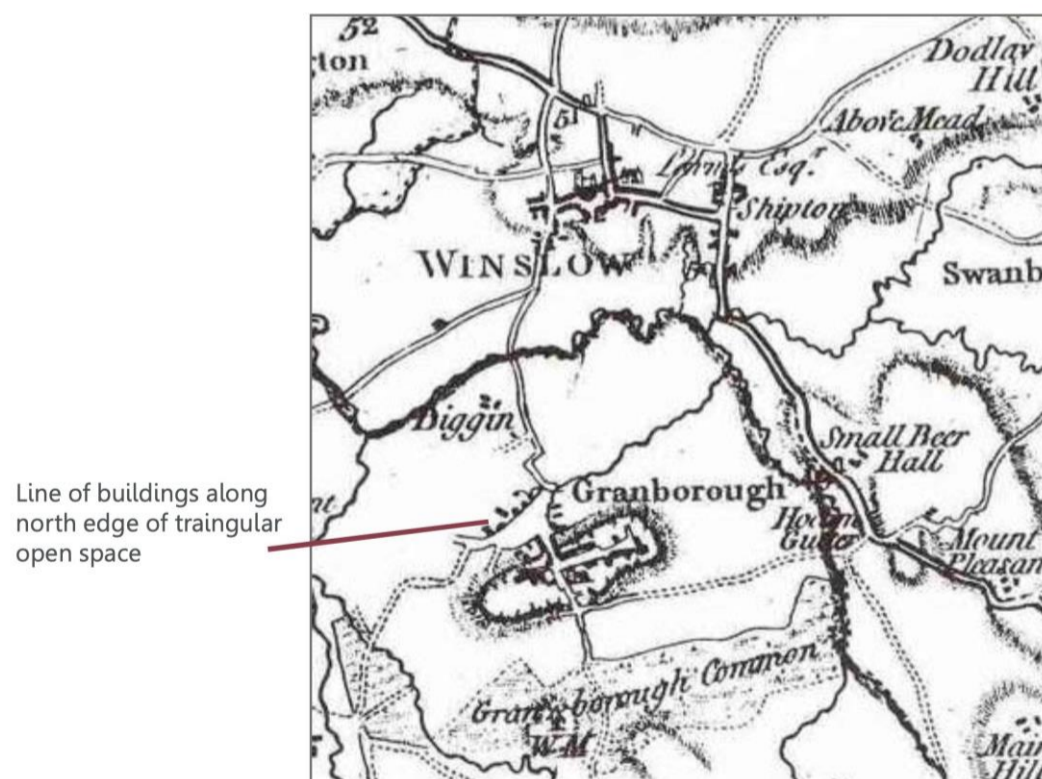


Image 4
Extract from Granborough History

The Thomas Jeffreys' Map of Buckinghamshire of 1770 indicates part of Granborough as having an open triangular space where roads met. The row of buildings along this northern edge appear to align with the front face (facade) of Rookery Farm and Mill Hook Farm. It is possible these buildings faced directly onto the village centre - as shown from the blue dashed line on image 6 below.

The Ordnance Survey map of 1883 shows Mill Hook Farm as a long building facing south. By the 1898 map the western end of the building has been extended. This corresponds with the older timber framed extension north, before its subsequent further extension in the early 20th century.

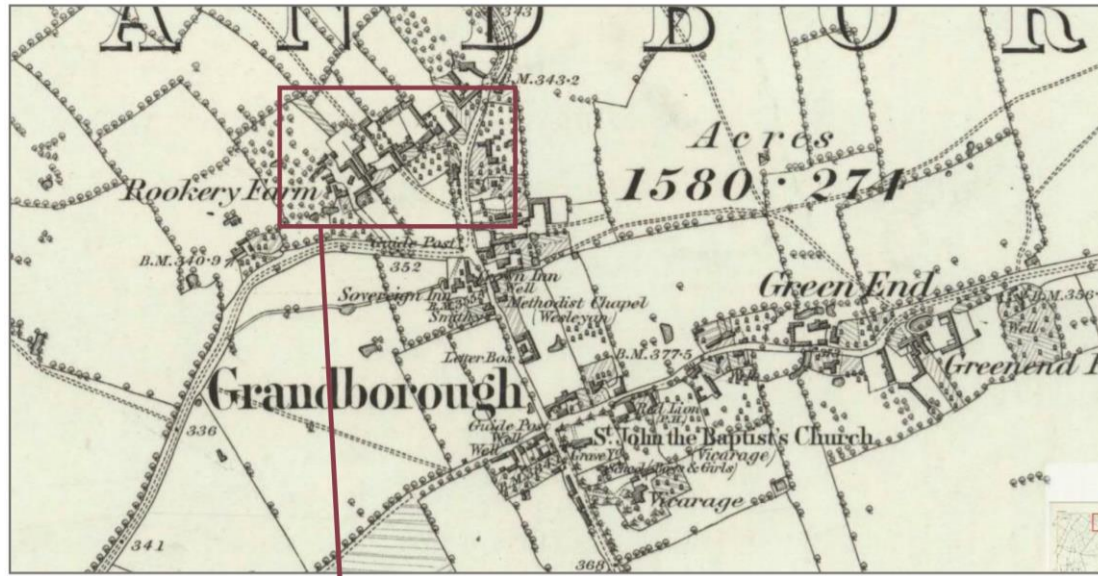


Image 5
Ordnance Survey Map 1883 (National Library of Scotland, 2021)



Image 6
Detail from Ordnance Survey Map 1883 (National Library of Scotland, 2021)

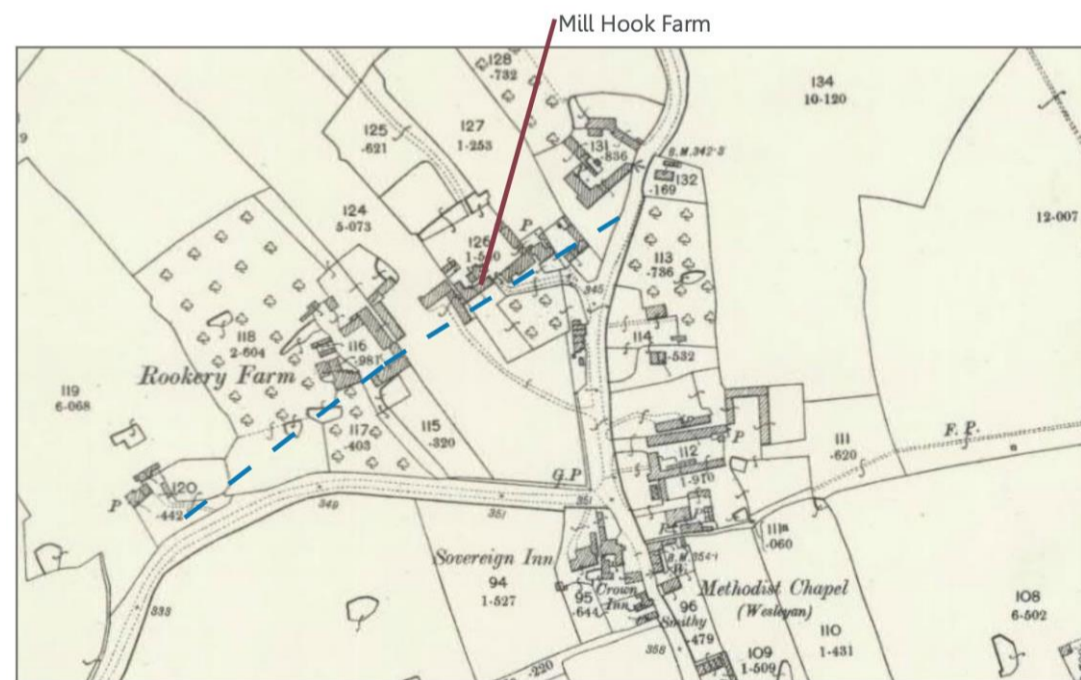


Image 7
Ordnance Survey Map 1898 (National Library of Scotland, 2021)

SECTION 5.0

PROPOSALS

INTRODUCTION

There are two elements of works for the proposals, with Listed Building Consent required as they represent alterations to the building (albeit to modern elements).

The design of the replacement of the modern central brick pier has been carefully considered by the Structural Engineer to ensure that the space can be altered sympathetically to ensure a proper function, as shown in the drawings and calculations attached as Appendices D and E. The existing pier was inserted in 2014 and therefore has no historic significance, whilst the new piers acting as foundations for the concealed RSJ within the ceiling will also be inserted within the modern concrete floor. This will create a proper functional space, opening up the room which will also improve its aesthetics.

As the works are internal only there will be no impact in terms of the setting of Mill Hook Farmhouse nor on either of the two adjacent Designated Heritage Assets.

SCOPE OF WORKS

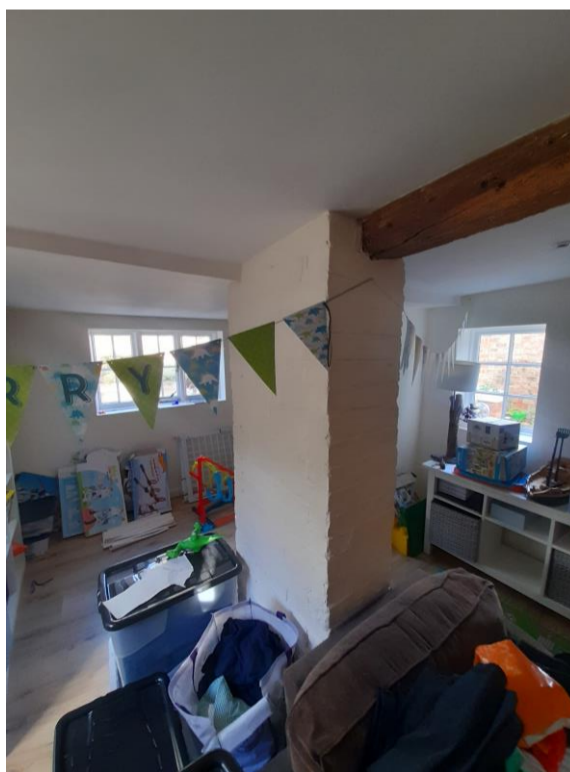
There are two basic elements to the proposals:

- Removal of central brick pier
- Insertion of RSJ to ceiling, with supporting piers to sides of room

Full details of the Scope of Works is set out below, together with a detailed explanation/ justification for them in the section below this.

Removal of Central Brick Pier

Image 8 below shows brick pier, which is located in the centre of the room, creating an awkward space and preventing the room being used to its full potential.



*Image 8
Central brick pier is modern addition & will be removed*

Image 9 below this highlights how its central location limits the surrounding space, making the room appear far narrower and confined than it actually is.



Image 9
View of side of brick pier from extension highlighting awkward space

Insertion of RSJ to Ceiling, with Supporting Piers to Sides of Room

Image 10 below shows the junction at the top of the pier separating the historic ceiling of the Playroom from the recent ceiling of the extension, with its step de-lineating the areas.



Image 10
Side view of brick pier showing ceiling height differential between Playroom & Extension

Images 11 and 12 below show the ceilings to the left and right of the pier from the Playroom - the historic beam will be retained as part of the alterations to ensure no historic fabric is lost. The RSJ itself will run the full length of the ceiling, as shown in the drawings by the Structural Engineer in Appendix D, concealed within the ceiling itself.



Image 11
View to left of brick pier showing historic beam (to be retained)



Image 12
View to right of brick pier showing Extension

Support for the RSJ will be by two new piers to the sides of the walls, in the locations shown in images 13 – 14 below. The Structural Engineer's drawings in Appendix D shown the calculated size for the foundations, which will be inserted into the modern concrete floor and thus result in no loss of historic fabric.



Image 13
Location of new pier to internal face of front wall



Image 14
Location of new pier to internal face of rear wall

JUSTIFICATION FOR WORKS

Removal of Central Brick Pier

The central brick pier between the Playroom and the single storey extension was added as part of the works undertaken in 2014 to provide more space on the ground floor.

This objective was only partially met, as the pier has created an awkward space and limits the use of a space in terms of function. In aesthetic terms it also detracts from the layout of the ground floor, with the ceiling height differentials on either side adding to a sense of disconnection.

The removal of the pier will therefore enhance the space in terms of aesthetics and function, and can be fully justified on the grounds that there will be no loss of historic fabric to the structure.

Insertion of RSJ to Ceiling, with Supporting Piers to Sides of Room

The installation of the RSJ to the details provided by the Structural Engineer in Appendix D incorporates a 'goal post' design which will run across the ceiling by the side of the existing historic floor beam, and be concealed within the ceiling void - in line with the Conservation Principles set out within this Heritage Statement and with Section 5.2 of BS 7913: *Guide for the Conservation of Historic Buildings* which states:

"The approach taken to that justification should be proportionate to the nature and significance of the historic building and the scale and impact of the proposed works."

This will improve the aesthetics of the space and open it up so it can be used properly – a minor change which will provide significant benefit for current and future owners.

The insertion of the RSJ can be justified on the basis of the aesthetic benefit and also that there will be no resultant loss of historic fabric; this will also be the case for the two supporting piers to the side walls, as their foundations will be to a modern concrete floor.

This element of the proposals is therefore also in line with best conservation practice and the NPPF.

SECTION 6.0

ASSESSMENT OF SIGNIFICANCE

INTRODUCTION

Significance is defined within the National Planning & Policy Framework in Planning Policy Statement 5: *Planning for the Historic Environment* (PPS 5) (Annex 2) as:

“The value of a heritage asset to this and future generations because of its heritage interest. That interest may be archaeological, architectural, artistic or historic.”

Section 4.1 of BS 7913 states that:

“Research and appraisal into the heritage values and significance of the historic building should be carried out to ensure that decisions resulting in change are informed by a thorough understanding of them. The level of the research appropriate is dependent on the nature and history of the historic building, (for example, any statutory protection) and any proposed works. Understanding the significance of a historic building enables effective decision making about its future.”

The removal of the central brick pier will open up the Playroom area and as such represents an aesthetic improvement. As there will be no loss of fabric this is also in line with best conservation practice as set out within the ICOMOS Articles, Historic England guidance, BS 7913 and the NPPF.

The details for the alteration has also been very carefully considered to follow best practice – the RSJ for example is a modern material but will be concealed within the ceiling alongside the existing historic floor beam; whilst the piers will be positioned against the side walls to maximise useable space.

All works are also based on a sound understanding of the significance of the building, and the potential impact on Mill Hook Farmhouse itself. The proposals follows best practice guidance set out by Historic England and consideration of the main four conservation values as set out within BS 7913: *Guide for the Conservation of Historic Buildings*:

- *Aesthetic Value* - derived from ways in which people draw sensory and intellectual stimulation from a place.
- *Communal Value* - derived from the meanings of a place for people who relate to it in different ways, associations with social groups and individuals.
- *Evidential Value* - derived from the potential of a place to yield evidence about the past.
- *Historical Value* - derived from the ability of a place to demonstrate or illustrate an aspect of the past or association with historic figure or event.

The Significance Assessment that follows considers the significance of Mill Hook Farmhouse, with the Heritage Impact Assessment highlighting what effects the works could have on these heritage elements, and the benefits that the proposal will add to the Heritage Values.

MILL HOOK FARMHOUSE

As with the History of Granborough Section of this Heritage Statement above, I would like to acknowledge Claire Truman, RIBA Accredited Conservation Architect from Heritage Revival, for her kind permission to use extracts from the Heritage Statement she devised for the previous 2021 Listed Building Consent application.

Mill Hook Farmhouse is set well back from the Winslow Road to the North of the centre of Granborough. The village centre has a cluster of listed buildings, and although relatively isolated from this group Mill Hook Farm is located close to two other listed buildings - Rookery Farmhouse to the West, and Rose Cottage to the East.

The National Grid Reference (NGR) of Mill Hook Farmhouse is SP 7657425318. Its picturesque front elevation can be seen from the cover sheet of this Heritage Statement in photograph 1, whilst its rear elevation can be seen from image 11 below.



Image 15
Rear elevation of Mill Hook Farmhouse

It one of 17 listed buildings in the village. It was originally listed on 17th May 1984, where its significance as a building of regional importance was confirmed.

The Historic England listing (Source ID reference: 1212890) has the following citation for the building:

“House. C17 L-plan house, altered C18 and C19, extended C19. Timber frame with brick infill to rear, front refaced, the left bay in C18 vitreous brick with vertical strips of red brick, the right bay in C19 red and pale brick. Old tile roof, brick chimney to left. One storey and attic, 2 bays. Left bay has 2 late C19 sash windows to ground floor, right bay has C19 canted bay window with sashes and slate roof. First floor has gabled eaves line dormers, with paired barred casements, glazed gables and decorative bargeboards. C19 extension to right is of pale and red brick with old tile roof and flanking brick chimneys. 2 storeys, 1½ bays. Canted bay window to right, tripartite and single sash windows with gauged brick heads to first floor, door to left in gabled porch. Brick pilaster at junction with older house.”

Summary of Construction Evolution

A diagram showing the phases of development of Mill Hook Farmhouse is shown in image 12 below.

Mill Hook Farm has evolved over time from its ‘nucleus’ as a post-and-truss timber frame (box) cottage construction in the 17th century (Phase 1), then extended East wards with a second cottage in the 18th century (Phase 2). The rear extension may have occurred at the same time, or later within the 18th century. It seems likely the first cottage was over-clad on its south and west facades with bricks in the Georgian period: the brickwork is of Flemish bond, incorporating Queen closer bricks either side of three of the total four sides to the two window openings at the South elevation.

The timber frame to the rear North elevations of the Phase 1 and 2 construction is visible at the first floor level: a rear elevation was deemed less important and therefore not over-clad in this instance. This hierarchy of brick investment to the front and west elevations may support the theory that the building once was very visible as part of the central triangle of the village.

The rear Phase 2 extension is at a lower level than the principle cottages and joins rather awkwardly to the Phase 1 cottage with a half-landing access to the first floor. The timber frame shows signs of considerable deterioration, having been left exposed to the prevailing weather. The rear location and lower level suggests this part of the building may have been an auxiliary space - such as a kitchen or store - or both. The dormer window has been inserted later.

The dormer windows to the C17 and C18 cottages’ South elevation may have been created during Phase 2 as this would have created a ‘balanced’ facade favoured by the Georgians. The existing windows are modern replacements.

Substantial development occurred in the 19th century - Phase 3. This saw the 18th century cottage overclad at its South elevation, and the distinctive bay window created to the centre of the second cottage width, to mirror the new bay window to the East. The Phase 3 construction incorporates distinctive brick buttress details along the South and East elevations. Rear additions were also created, during which the C18 rear timber frame construction was extended, with the tie beam at the first floor cut to create a doorway. The stand-alone outbuilding with its own fireplace and chimney was created at this time. It has a ‘rat-trap’ brick bond which was common to utility buildings of lower hierarchy within the domestic property arrangements.

The Phase 4 developments appear to be of low construction quality of the 20th century. These appear to have been added for purely practical purposes - as a WC, door porch, and store - with little consideration as to their incongruous nature.

The Phase 5 development - the extension constructed in 2015, and the entrance porch - are sensitive to their host building and support its long term evolution as a property.

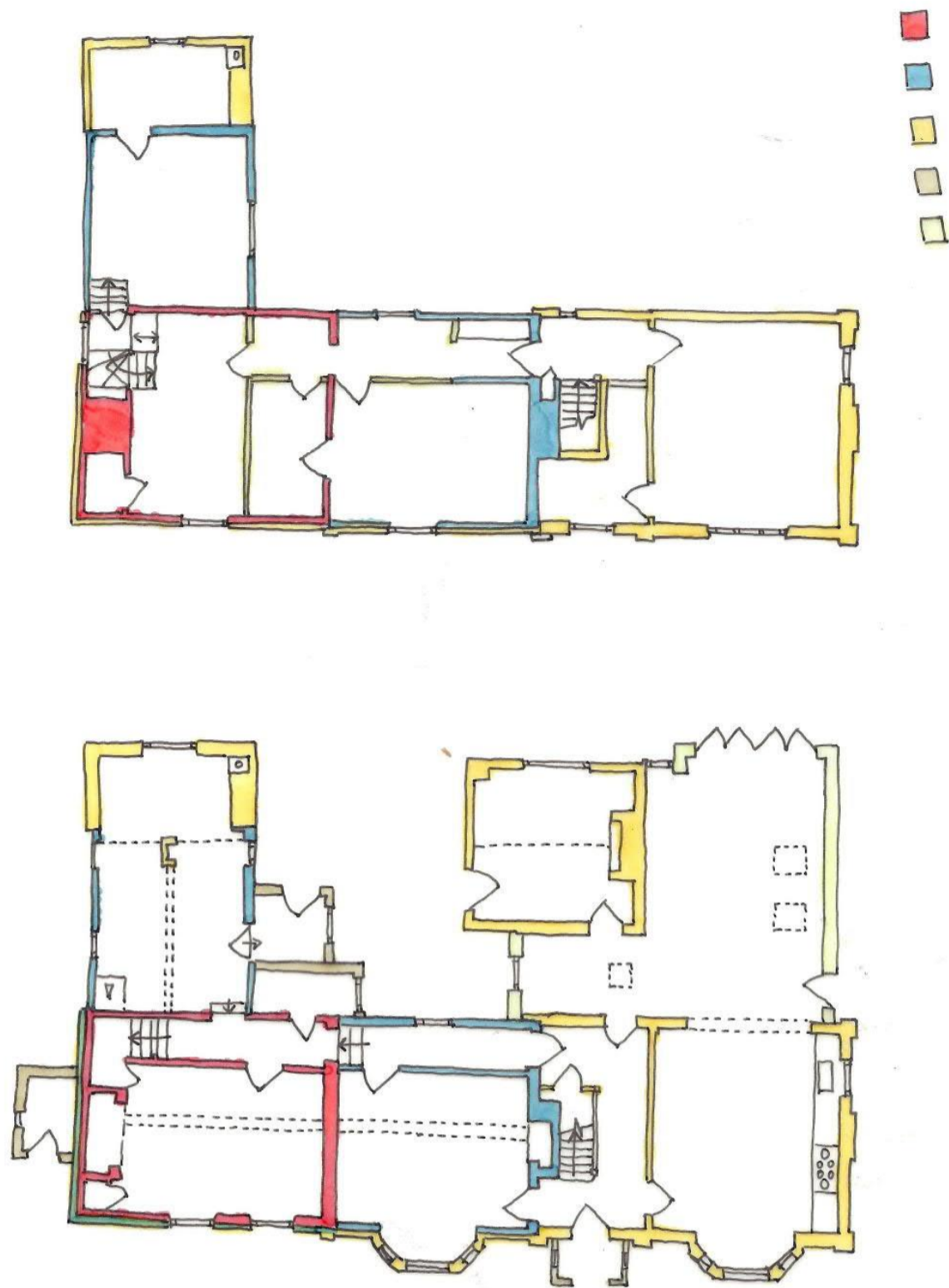


Image 16
Phased plans to describe distinct periods of construction

The philosophy and approach to be taken for the all of the proposed works is set out under the Design section below, ensuring that the significance of all aspects of the building have been recognised, conserved/ retained as far as appropriate, retained and indeed enhanced where possible – all with a view to ensuring the wellbeing of the building, to ensure subsequent owners and indeed the community will continue to have a building to be proud of, that will be fit for purpose so that future generations can utilize and enjoy it.

SECTION 7.0

HERITAGE IMPACT ASSESSMENT

INTRODUCTION

The location of Mill Hook Farmhouse can be seen in Appendix A. As the proposed works are internal only there will be no impact on the setting of Mill Hook Farmhouse itself, nor on any adjacent Designated Heritage Assets.

The Heritage Impact Assessment set out below therefore relates to any potential impact that the proposed works might have on Mill Hook Farmhouse itself.

It therefore demonstrates that there will be no detrimental impact to any of the Heritage Values of Mill Hook Farmhouse, and indeed shows how the design considerations for the minor alteration can in fact only enhance the special character and use of this significant building.

HERITAGE IMPACT ON MILL HOOK FARMHOUSE

The Significance of the Asset

Significance needs to be understood in order to reduce the risk of losing or compromising the components of the site which are of value. Significance is defined within the National Planning & Policy Framework in Planning Policy Statement 5: Planning for the Historic Environment (PPS 5) (Annex 2) as:

“The value of a heritage asset to this and future generations because of its heritage interest. That interest may be archaeological, architectural, artistic or historic.”

Section 4.1 of BS 7913 states:

“Research and appraisal into the heritage values and significance of the historic building should be carried out to ensure that decisions resulting in change are informed by a thorough understanding of them. The level of the research appropriate is dependent on the nature and history of the historic building, (for example, any statutory protection) and any proposed works. Understanding the significance of a historic building enables effective decision making about its future.”

The Significance Assessment that follows therefore considers the significance of Mill Hook Farmhouse as a listed building for the potential on its historic fabric. The Heritage Impact Assessment highlights what effects the works could have on the heritage elements, and the benefits that the proposals will add to the Heritage Values described below.

The table overleaf sets out thresholds of significance which reflect the hierarchy for national and local designations, based on established criteria for those designations. The table provides a general framework for assessing levels of significance, but it does not seek to measure all aspects for which an asset may be valued - which may be judged by other aspects of merit, discussed in the paragraphs following.

Assessment of Significance

Table 1 below sets out how significance should be assessed.

SIGNIFICANCE	EXAMPLES
Very High	World Heritage Sites, Listed Buildings and Scheduled Monuments of exceptional quality, or assets of acknowledged international importance or can contribute to international research objectives. Grade I, Grade II* & Grade II Registered Parks & Gardens & historic landscapes & townscapes of international sensitivity.
High	Grade I, Grade II* & Grade II Listed Buildings and built heritage of exceptional quality. Grade I, Grade II* & Grade II Registered Parks and Gardens & historic landscapes and townscapes which are extremely well preserved with exceptional coherence, integrity, time-depth, or other critical factor(s).

Good	Scheduled Monuments, or assets of national quality and importance, or that can contribute to national research objectives. Grade II* & Grade II Listed Buildings, Conservation Areas with very strong character and integrity, other built heritage that can be shown to have good qualities in their fabric or historical association. Grade II* and II Registered Parks and Gardens, Registered Battlefields & historic landscapes & townscapes of good level of interest, quality & importance, or well preserved & exhibiting considerable coherence, integrity time-depth or other critical factor(s).
Medium/ Moderate	Grade II Listed Buildings, Conservation Areas, locally listed buildings & undesignated assets that can be shown to have moderate qualities in their fabric or historical association. Grade II Registered Parks & Gardens, Registered Battlefields, undesignated special historic landscapes and townscapes with reasonable coherence, integrity, time-depth or other critical factor(s).
Low	Assets compromised by poor preservation integrity &/or low original level of quality of low survival of contextual associations but with potential to contribute to local research objectives. Historic buildings or structures of low quality in their fabric or historical association. Locally-listed buildings and undesignated assets of low quality. Historic landscapes & townscapes with modest sensitivity or whose sensitivity is limited by poor preservation, historic integrity &/ or poor survival of contextual associations.
Negligible	Historic buildings or structures which are of limited quality in their fabric or historical association. Historic landscapes and townscapes of limited sensitivity, historic integrity &/or limited survival of contextual associations.
Neutral/ None	Assets with no surviving cultural heritage interest. Buildings of no architectural or historical note. Landscapes & townscapes with no surviving legibility &/ or contextual associations, or with no historic interest.

Table 1
How to Assess Significance

Heritage Values

Historic Significance of Mill Hook Farmhouse

Beyond the criteria applied for national designation, the concept of value can extend more broadly to include an understanding of the heritage values a building or place may hold for its owners, the local community or other interest groups. These aspects of value do not readily fall into the criteria typically applied for designation and require a broader assessment of how a place may hold significance. In seeking to prompt broader assessments of value, Historic England's Conservation Principles categorises the potential areas of significance (including and beyond designated assets) under the following headings:

Evidential Value - 'derives from the potential of a place to yield evidence about past human activity....physical remains of past human activity are the primary source of evidence about the substance and evolution of places, and of the people and cultures that made them....the ability to understand and interpret the evidence tends to be diminished in proportion to the extent of its removal or replacement' (Historic England Conservation Principles - page 28).

Evidential Value therefore relates to the physical remains of a building/structure and its setting, including the potential for below ground remains, and what this primary source of evidence can tell us about the past.

Mill Hook Farm is close to the location of Rookery Farm and there may be evidence within this area between the two buildings of medieval village remains.

Although the building itself retains its original core, the most recent extensions and alterations to the rear have diminished some of its overall significance, so its evidential value is more limited than it otherwise would be. These changes are set out in the Assessment of Significance section above.

Based on the above table, the building is therefore assessed as having **medium/ moderate** Evidential Value.

Aesthetic Value - 'Aesthetic values can be the result of the conscious design of a place, including artistic endeavour. Equally, they can be the seemingly fortuitous outcome of the way in which a place has evolved and been used over time. Many places combine these two aspects....aesthetic values tend to be specific to a time cultural context and appreciation of them is not culturally exclusive' (page 30-31).

Aesthetic Value therefore relates to the visual qualities and characteristics of an asset (settlement site or building), long views, legibility of building form, character of elevations, roofscape, materials and fabric, and setting (including public and private views).

The most recent extensions are to the rear of the building and are not unattractive, whilst the other phases can be easily perceived and now form an important part of the whole, although aesthetically this is diminished by the encroached development to all sides.

Based on the above Mill Hook Farmhouse is assessed as having **medium/ moderate** Aesthetic Value.

Historic Value - 'derives from the ways in which past people, events and aspects of life can be connected through a place to the present. It tends to be illustrative or associative...association with a notable family, person, event, or movement gives historical value a particular resonance.....the historical value of places depends upon both sound identification and direct experience of fabric or landscape that has survived from the past, but is not as easily diminished by change or partial replacement as evidential value. The authenticity of a place indeed often lies in visible evidence of change as a result of people responding to changing circumstances. Historical values are harmed only to the extent that adaptation has obliterated or concealed them, although completeness does tend to strengthen 'illustrative value' (page 28-30).

Historic Value therefore relates to the age and history of the asset, its development over time and the strength of its tie to a particular architectural period, person, place or event. It can also include the layout of a site, the plan form of a building and any features of special interest.

Mill Hook Farmhouse is one of a group of properties that once faced directly onto the village's central triangle whose collective create a discernible consistent building line.

The building holds interest in its phases of evolution, barring the Phase 4 works of low quality design and construction, in particular relating to the remaining 17th and 18th century timber frame construction, the 17th century chimney and the 19th century extension and comprehensive brick construction.

The core of the original building has been retained, albeit with various internal and external changes. Although the most recent extensions have diminished its historic value to an extent, they have served to bring it up to modern standards and all have left their mark on the local people and events that have lived and taken place.

Therefore, Mill Hook Farmhouse is again assessed as having relatively **medium/ moderate** Historic Value.

Communal Value - "Commemorative and symbolic values reflect the meanings of a place for those who draw part of their identity from it, or have emotional links to it....social value is associated with places that people perceive as a source of identity, distinctiveness, social interaction and coherence. Some may be comparatively modest, acquiring communal significance through the passage of time as a result of a collective memory of stories linked to them...they may relate to an activity that is associated with the place, rather than with its physical fabric...spiritual value is often associated with places sanctified by longstanding veneration or worship, or wild places with few obvious signs of modern life. Their value is generally dependent on the perceived survival of the historic fabric or character of the place, and can be extremely sensitive to modest changes to that character, particularly to the activities that happen there" (page 31-32).

Communal value therefore relates to the role an asset plays in a historic setting, village, town or landscape context, and what it means to that place or that community. It is also linked to the use of a building, which is perhaps tied to a local industry or its social and/or spiritual connections.

Granborough has always been a close knit community, with Mill Hook Farmhouse once part of the heart of this as one of the oldest buildings within the village centre, not far from the focal community point of the Church. It has communal value as part of the landscape and its association with local events in the past. It can also be said to hold Group Value in relation to Rookery Farmhouse in particular within its surrounding historic setting.

Therefore, Mill Hook Farmhouse is also assessed as having **medium/ moderate** Communal Value.

Determination of Magnitude of Heritage Impact

Once the value and significance of an asset has been assessed, the next stage is to determine the 'magnitude' of the impact brought about by proposed works. This impact could be a direct physical impact on the asset itself or an impact on its wider setting, or both. The table below sets out the levels of impact that may occur and to what degree their impacts may be considered to be adverse or beneficial.

MAGNITUDE OF IMPACT	TYPICAL CRITERIA DESCRIPTORS
Very High	Adverse: Impacts will destroy cultural heritage assets resulting in their total loss or almost complete destruction.

	Beneficial: The proposals would remove or successfully mitigate existing & significant damaging and discordant impacts on assets; allow for the substantial restoration or enhancement of characteristic features.
High	Adverse: Impacts will damage cultural heritage assets; result in the loss of the asset's quality & integrity; cause severe damage to key characteristic features or elements; almost complete loss of setting and/or context of the asset. The assets integrity or setting is almost wholly destroyed or is severely compromised, such that the resource can no longer be appreciated or understood. Beneficial: The proposals would remove or successfully mitigate existing damaging & discordant impacts on assets; allow for the restoration or enhancement of characteristic features; allow the substantial re-establishment of the integrity, understanding & setting for an area or group of features; halt rapid degradation &/ or erosion of the heritage resource, safeguarding substantial elements of the heritage resource.
Medium	Adverse: Moderate impact on the asset, but only partially affecting the integrity; partial loss of, or damage to, key characteristics, features or elements; substantially intrusive into the setting &/or would adversely impact upon the context of the asset; loss of the asset for community appreciation. The assets integrity or setting is damaged but not destroyed, so understanding and appreciation is compromised. Beneficial: Benefit to, or partial restoration of, key characteristics, features or elements; improvement of asset quality; degradation of the asset would be halted; the setting &/or context of the asset would be enhanced & understanding & appreciation is substantially improved; the asset would be brought into community use.
Minor/ Low	Adverse: Some measurable change in assets quality or vulnerability; minor loss of or alteration to, one (or maybe more) key characteristics, features or elements; change to the setting would not be overly intrusive or overly diminish the context; community use or understanding would be reduced. The assets integrity or setting is damaged but understanding & appreciation would only be diminished not compromised. Beneficial: Minor benefit to, or partial restoration of, one (maybe more) key characteristics, features or elements; some beneficial impact on asset or a stabilisation of negative impacts; slight improvements to the context or setting of the site; community use or understanding & appreciation would be enhanced.
Negligible	Barely discernible change in baseline conditions.
Nil	No discernible change in baseline conditions.

*Table 2
How to Assess Magnitude of Heritage Impact*

Using the tables above to quantify the asset, Mill Hook Farmhouse can be considered to hold a **medium/ moderate** level of Heritage Value.

The proposed impact of works could be considered to have a **minor beneficial** overall impact on the heritage values of the building, as the works will create an improved space for current and future occupants in aesthetic as well as functional terms, which will be beneficial to the current and future Occupants and users of the property, with no loss of historic fabric.

The following section describes the impact that each element of works will have on the building.

Conservation Principles Adopted

The over-arching Conservation Principles embedded into the proposals follow best conservation practice emanating from the ICOMOS Articles and set out within BS 7913; Guide to the Conservation of Historic Buildings as follows:

- The works will be carried out to increase longevity of the building's use.
- The works should result in minimal loss of historic fabric.
- New materials should be sensitive to the existing historic fabric.
- The materials used should be sustainable as far as possible.
- Any works should be honest.
- A detailed record of the works will be undertaken.

The works are being undertaken to improve the usability of the Playroom space, so should help enhance the longevity of the building.

There will be no loss of historic fabric as the existing pier is a modern insertion and the ceiling has been altered and is plasterboarded on both sides of the pier. Similarly the foundations for the side piers will be inserted into a modern concrete floor.

Although the materials to be used will be modern they will be sensitively located in terms of historic fabric – the RSJ for example will be concealed within the ceiling and the side piers more discreetly located. Thus the approach taken will also be honest in terms of both design and use of materials.

The new materials will also be sourced from local Suppliers to reduce the Carbon footprint and achieve sustainability, with the recycled RSJ used for the main support.

A detailed record of all of the works will also be undertaken, prior to, during and on their completion.

SECTION 8.0

DESIGN

KEY DESIGN PRINCIPLES

Both elements of the proposals have involved careful consideration of design, to ensure full function of the space and consideration of aesthetics.

Care has therefore been taken in considering the elements to ensure that they will sit more harmoniously with their surroundings. The aesthetics and materials relating to the works have therefore been carefully considered in terms of their design to best practice conservation and sustainability principles, as set out within BS 7913.

The following Design Principles have therefore been adopted to ensure that these objectives have been met:

- The design should ensure maximum use of the available open space.
- Modern materials will be used to differentiate between historic and modern fabric.
- The bricks will be sourced locally to reduce the Carbon footprint and help ensure sustainability.
- Recycled steel will be used for the RSJ, in line with BS 7913 Section 5.3.
- The RSJ will be inserted alongside the existing historic floor beam
- The RSJ should be concealed within the ceiling to ensure they are unobtrusive.
- Enhance the appearance of the room.
- The piers to the side walls have been kept to a minimum depth to enable maximum creation of available space.

SECTION 9.0

CONCLUSION

The proposals set out within this Heritage Statement relate to the removal of a modern supporting central pier which has had the effect of reducing the function of a useful ground floor space; its replacement with a goal post structure will enable this space to be properly utilised and will result in no loss of historic fabric.

Careful consideration in terms of Conservation and Design Principles has been undertaken to ensure that the two elements of work are not detrimental to the character of the historic building; and indeed will enhance its internal use and aesthetics.

From a heritage perspective, the proposals are therefore in line with the NPPF - the works will cause no undue damage to historic fabric and will not just cause '*less than substantial harm*' to accord with the NPPF, but will exceed this minimal requirement, as per best conservation practice set out within BS 7913: *Guide for the Conservation of Historic Buildings*.

Respect for best Conservation and Design Principles will also ensure that the works will provide positive benefit in terms of the Heritage Values set out by Historic England and within BS 7913.

LIST OF IMAGES

IMAGE 1

Front Elevation of Mill Hook Farmhouse

IMAGE 2

Location of Granborough (Google Maps, 2021)

IMAGE 3

Extract from Buckinghamshire's Heritage Portal

IMAGE 4

Extract from Granborough History

IMAGE 5

Ordnance Survey Map 1883 (National Library of Scotland, 2021)

IMAGE 6

Detail from Ordnance Survey Map 1883 (National Library of Scotland, 2021)

IMAGE 7

Ordnance Survey Map 1898 (National Library of Scotland, 2021)

IMAGE 8

Central Brick Pier is Modern Addition & Will be Removed

IMAGE 9

View of Side of Brick Pier from Extension Highlighting Swkward Space

IMAGE 10

Side View of Brick Pier Showing Ceiling Height Differential Between Playroom & Extension

IMAGE 11

View to Left of Brick Pier Showing Historic Beam (to be Retained)

IMAGE 12

View to Right of Brick Pier Showing Extension

IMAGE 13

Location of New Pier to Internal Face of Front Wall

IMAGE 14

Location of New Pier to Internal Face of Rear Wall

IMAGE 15

Rear Elevation of Mill Hook Farmhouse

IMAGE 16

Phased Plans to Describe Distinct Periods of Construction

TABLE 1

How to Assess Significance

TABLE 2

Determination of the Magnitude of Impact

LIST OF APPENDICES

APPENDIX A

1:500 Site Plan & 1:1250 Location Plan

APPENDIX B

Historic England Listing for Mill Hook Farmhouse (17 Winslow Road)

APPENDIX C

Schedule of Listed Buildings in Granborough

APPENDIX D

Proposed Drawings from Structural Engineer

APPENDIX E

Design Calculations from Structural Engineer

APPENDIX F

Planning History