



Proposed Right Elevation (East)
Scale 1:50

Existing roof cladding to be kept as per the existing finish (any replacement to match although assumed existing can be utilised and cleaned).

A collection of existing openings utilised.

Materials to be as per the existing styling (i.e. timber cladding).

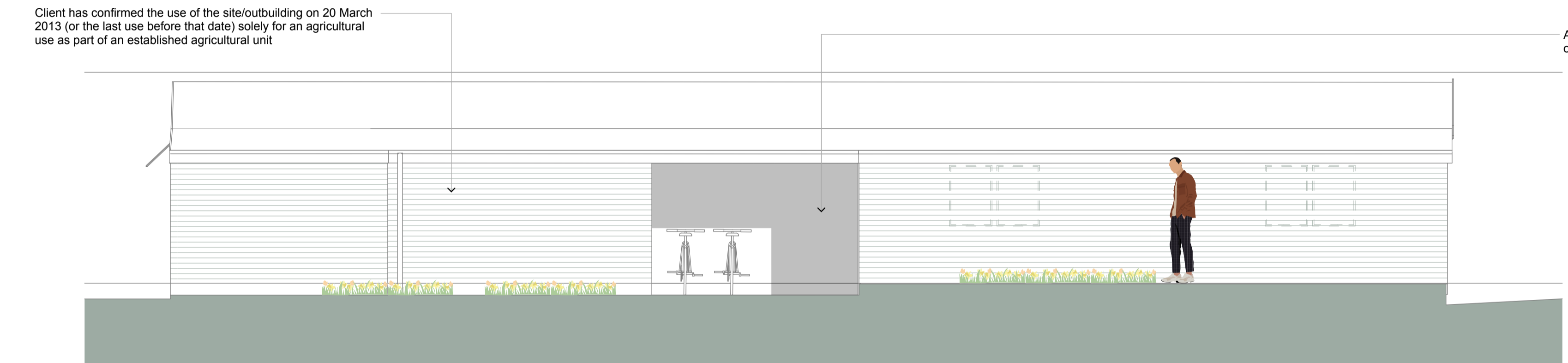
Windows and doors are suggested to be powder coated aluminium.

Ground shading cut lines kept as per the existing drawings produced by ALS. To be checked on site to understand exact positioning although not amended as the existing were produced by others.



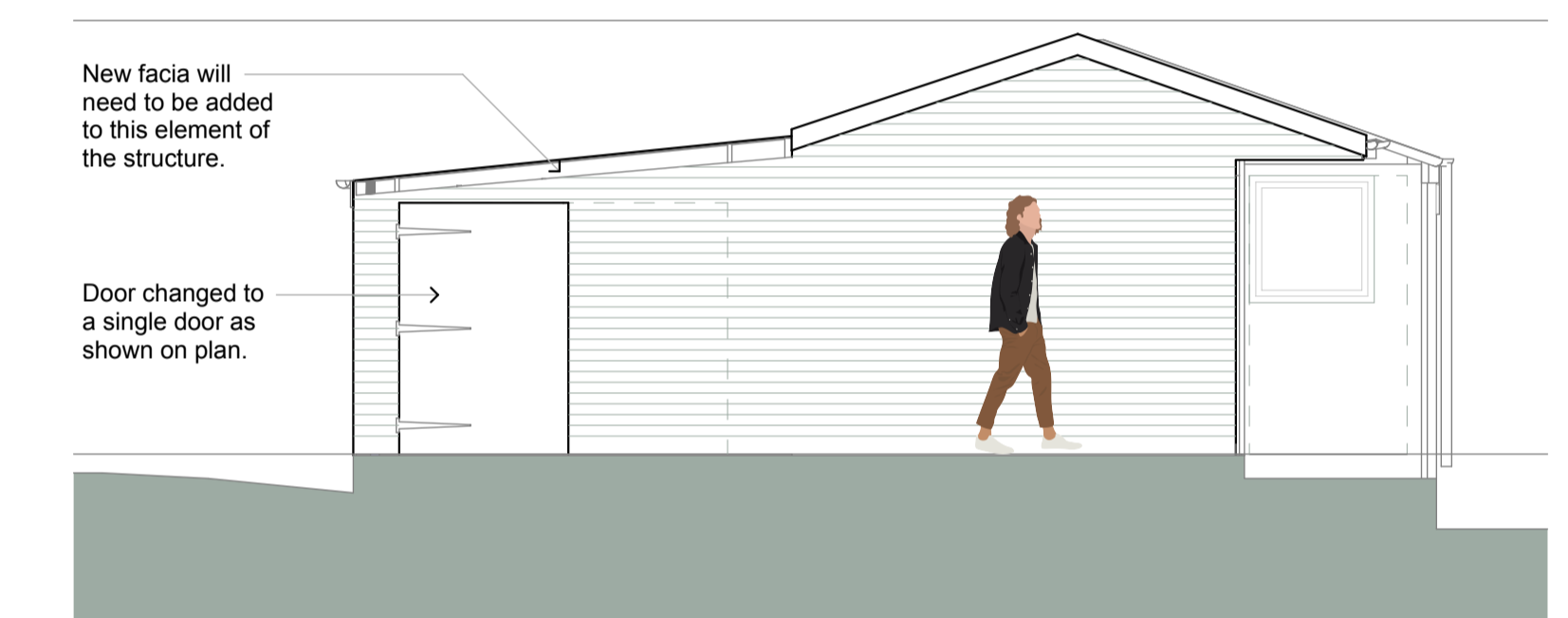
Proposed Rear Elevation (North)
Scale 1:50

Data lines as per surveyors existing drawing.



Proposed Left Elevation (West)
Scale 1:50

A collection of existing openings utilised.



Proposed Front Elevation (South)
Scale 1:50

New fascia will need to be added to this element of the structure.

Door changed to a single door as shown on plan.

A collection of existing openings utilised.

Client has confirmed the use of the site/outbuilding on 20 March 2013 (or the last use before that date) solely for an agricultural use as part of an established agricultural unit



Shared access drive at the front. Refer to site plan.

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Location Plan - Proposed Concept
scale - 1:1250

Note: Drawing to be read in strict accordance with Quantifi Partners report. Drawing is not transferable and for clients use only.

Note: This drawing is a sketch scheme and is not for construction purposes. The purpose of this drawing is to start design discussions with the clients prior to a formal planning submission. All designs and layouts are therefore conceptual only and all dimension shown are subject to final construction methods and could therefore change.

Note: Drawing not to be scaled. Contact Sterne Design for any additional dimensions needed.

Note: Contractor to check all dimensions and levels on site before any works are commenced. This Drawing is not for construction purposes and for planning submission only as part of a feasibility study. Report back any queries immediately, if found.

Amendments:

Job Title: Proposed conversion of outbuilding at Staithe Farm House, Staithe Road, Burgh St Peter, Beccles, NR34 0DE.

Client: Mr & Mrs Coulbly

Drawing Title: Sketch Concept Drawing - Elevations (A1 paper size)

STERNE
DESIGN
Architecture | Design | Studio

Drawn: LS
Date: 13.03.2024
Job No: 23.198.46
Drawing no: SK02
Rev.

