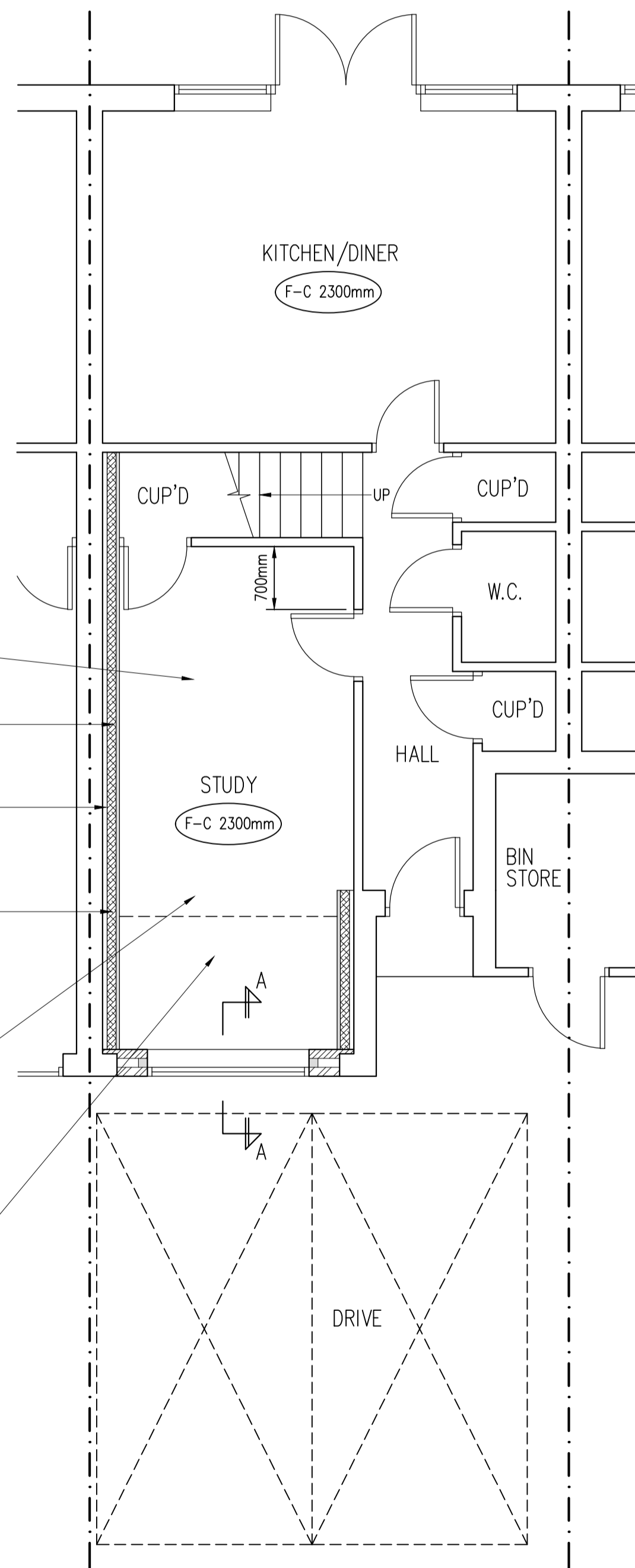
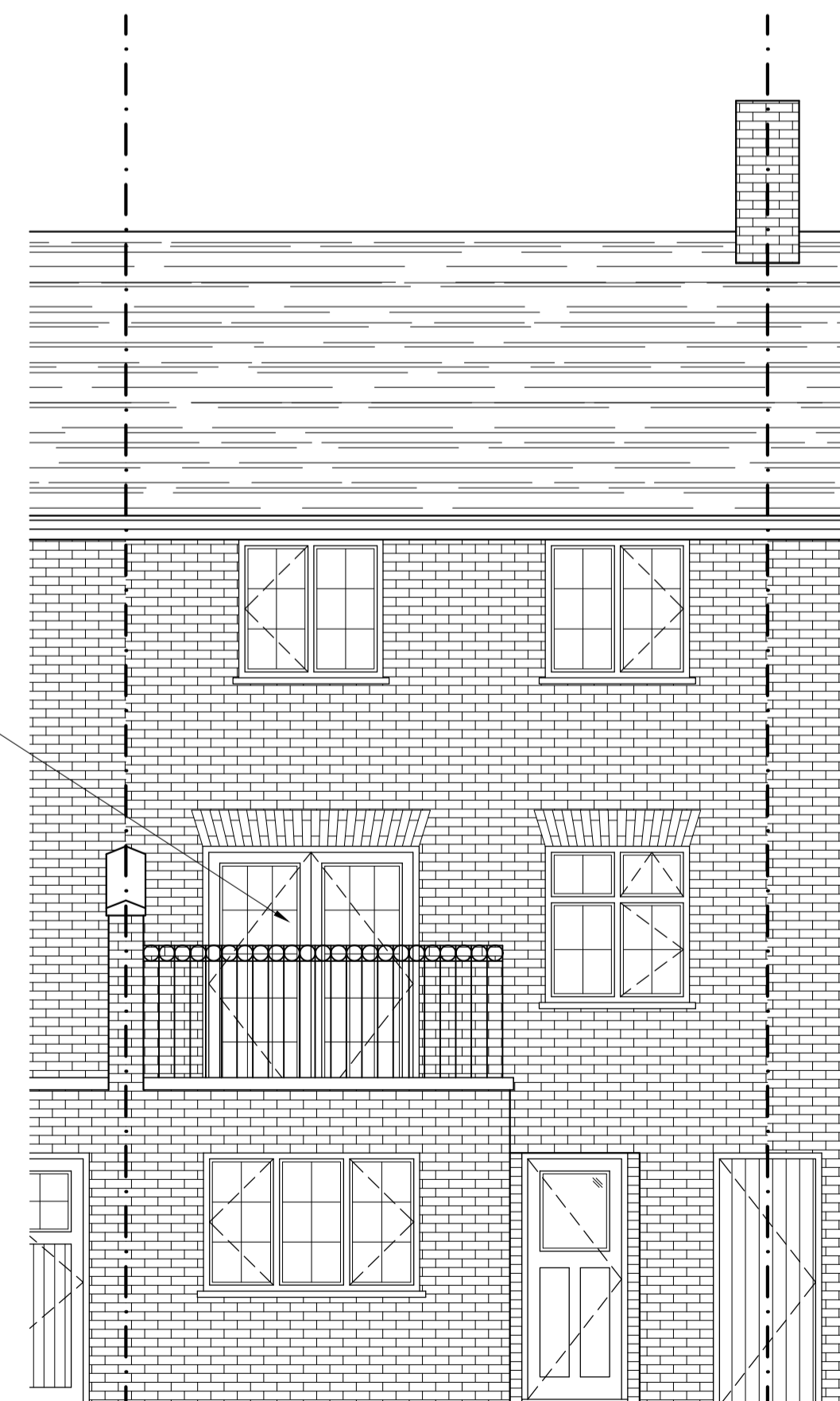


PROPOSED SECTION A-A THROUGH  
NEW WALL/FLOOR TO GARAGE CONVERSION  
SCALE 1:20



PROPOSED GROUND FLOOR PLAN  
SCALE 1:50



PROPOSED FRONT ELEVATION  
SCALE 1:50

Standard items

Any key elements of the existing structure such as foundations &/or lintels, which by virtue of the proposed works, will be accepting greater loadings will need to be exposed for consideration by the building control surveyor and upgraded or replaced if found necessary.  
All measurements are to be checked on site prior to ordering any materials.  
The party wall act 1996 must be adhered to wherever relevant. Anderson North do not advise on Party Wall matters and do not claim to know in which circumstances the Party Wall award should be applied for. It is the client's responsibility to seek expert advice from a professional party wall surveyor to ensure full compliance with the regulations.  
Water board agreement must be provided in writing when necessary, prior to commencement of works.  
Heating, lighting and internal finishes are to be agreed between the owner and chosen builder.  
All structural timber members are to be grade c24 treated softwood marked KD (kiln dried or Dry to ensure the timbers have been properly stored.  
All lead work should be fixed and installed in accordance with the Lead Development Associations Handbook - 'Lead sheet building - a guide to good practice'.  
No works should commence on site until planning and building regulation permissions have been approved. Anderson North Ltd accept no responsibility for drawings until fully approved by planning or building regulations. Any works carried out by the client prior to approvals is fully at the clients risk.

Electrics

All new light fittings are to have a low energy rating of 40 watts per circuit lumen. Any wiring run through fibreglass quilt to be fully ducted. All new, extended or modified electrical installations are to be designed, installed, inspected and tested in accordance with BS 7671 2001. Installation in special locations such as bathrooms, shall before being taken into service, be inspected and tested by a person competent to do so. A person competent to do so is a company or individual registered with a self-certification scheme, which has been approved by the office of the Deputy Prime Minister. A copy of the certificate issued showing full compliance shall be submitted to this office.

Walls

Below DPC to be 2 skins 102mm suitable below ground brickwork using cement mortar 1:3 with 100mm cavity lean mixed to within 225mm of DPC level. DPC to be Hyload or similar approved. DPC to be 150mm above external ground level lapped to existing DPC and new DPM. Walls above DPC to be 102mm facing brickwork with 100mm cavity filled with Earthwool Dritherm 32 Ultimate with inner skin of Celcon Solar blocks. Allow for 42.5mm Kooltherm KI7 insulated plasterboard (12.5mm plasterboard internal finish) with 15mm plasterboard dabs. Cavity to be tied together using stainless steel vertical twist type ties at 750 centres horizontally & 450 vertically. Wall ties are to be spaced no more than 300mm apart within 225mm of unbonded jambs. Cavity to be closed at head. Cavity to be closed at reveals using Thermabate closers. Walls to be connected to existing using s/s Furfix profiles. Provide a vertical DPC where new walls connect to existing for the outer leaf beneath the Furfix profile. U Value achieved is 0.18.

Lintels

To be Catnic insulated lintels with a minimum end bearing of 150mm to be installed in accordance with manufacturers literature. Cavity trays to be provided over all new openings with stop ends, lap joints and weep holes.

Ventilation

All rooms to be provided with 1/20<sup>th</sup> of the floor area for rapid ventilation with some part of the ventilation at least 1.75m high. All rooms to be provided with 8000 square millimetres of controllable trickle ventilation positioned 1700mm above finished floor level.

Glazing

All units to be double glazed in white PVCU to match existing. Glazing to windows and doors to achieve a u-value of 1.4w/m2k.

Heating

Study to be heated using a low energy electric wall unit with thermostat.

Rev	Date	By	Check	Revisions

Client  
MR & MRS PAUL MACKIE

Job Title  
PROPOSED GARAGE CONVERSION  
AT 8 RAPSON END  
SITTINGBOURNE  
KENT ME10 3GW

**ARCHITECTURAL CONSULTANTS**

ANDERSON NORTH LIMITED  
Glen Lodge  
Priory Close, East Farleigh  
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Mob: 07957 627 440

Scale AS SHOWN @ A1 Date 06/03/24

Drawing Title  
PROPOSED FLOOR PLAN AND ELEVATION

Drawing No. 8-RAPSON-END-02 Rev. A

