

Introduction

This formal Planning and Listed Building submission to Mid Devon DC is made by Atkinson Architects on behalf of the client / owners of Craddock Lodge, Neil & Louise Bannister. We are an RIBA chartered practice and fully accredited conservation architects specialising in works to historic buildings set within conservation areas.

The proposed works are for listed building repairs and replacements to the main house:

1. North Wall facing the public road - Remove hard cement render and form new facade with exposed natural stone at ground plinth closest the road and lime render above at first floor.
2. North wall internal lime plaster to form breathable layer and minimise existing damp problem.
3. Northern part of the roof - replacement of fibre cement tiles with natural slate.
4. Window replacement of non-historic 20th C casements with high quality, traditional joinery flush casements using conservation grade double glazing.
5. Modification to the second staircase which is a late 20th C softwood element in the NW corner. The new stair will have the flight direction changed to better suit the principal ground floor room and also improve first floor bedroom access. Minor changes to non-historic internal partitions.

A detailed set of existing survey plans, elevations is provided for the whole building.

These have been marked up to show the areas of work, removal and intervention.

The full set of proposed scheme drawings; plans, sections and elevations illustrate the new architectural works and are to be read alongside this heritage report.

The listed building schedule of works are annotated on the combined survey and proposed drawings with each item of work being clearly described.



Photograph circa 1900. West facing facade. Showing the original entrance door location and sash window arrangement. Existing first floor windows are 20th C replacements now.



1840 Devon Tithe Map. The original 17th C block visible along with stables outbuildings east.



1888 Ordnance Survey. Larger south wing added 19th C and some outbuildings removed.



2022 Ariel Photograph. The original 17th C block and the main 19th C south wing now form the body of the house. The lane side stables outbuildings form part of the house annexe.

Project Ref: 24.41	Proposed Listed Building Repairs to Walls, Roof and Replacement of Internal Elements.
Drawing No: HR_01	Craddock Lodge, Craddock, Devon, EX15 3LL

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Heritage Statement

Craddock Lodge is located on the road running through the village of Craddock which is approximately 2 miles east of the larger Uffculme village centre. The main Mid Devon towns of Tiverton, approximately 9 miles away and Cullompton, approx 7 miles to the south west.

Craddock Lodge is an imposing detached villa, originating from a 17th C Devon longhouse with significant enlargement during the Georgian Period on the south and west aspects. Around the courtyard there are several mid 19th C Victorian interventions

The property is Grade II listed and set within mature landscape gardens. The north side to the public lane is a combination of the old house end wall and the former stables now connected through to the house.



View of the south facing Georgian wing. This will be unaffected by the proposals.



View of the west facing elevation. The first floor casement windows are relatively crude softwood painted type from the mid - late 20th Century.



View of the coach house, garage and courtyard.



View from the public lane. The hard cement render will be replaced with a stone plinth at road level and lime render above at first floor.



View from the public lane and the vehicular entrance on the north western side. The existing stone boundary wall will continue as a plinth at street level along the building.



View of the courtyard, former small stable and lane access. The proposed window replacements are around this area as itemised.

Project Ref: 24.41	Proposed Listed Building Repairs to Walls, Roof and Replacement of Internal Elements.
Drawing No: HR_02	Craddock Lodge, Craddock, Devon, EX15 3LL

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Heritage Analysis (Refer to Annotated Plans Overleaf)

Mid 17th Century - Originated as a traditional three room, cross passage Devon Longhouse running north - south axis. The cross passage walls and ceiling structure remain largely intact and are partially visible in the room interior. The old black and white photo on sheet DR_01 shows the main entrance door in a previous, believed to be original position giving access directly into the cross passage.

The remaining wall thicknesses imply that the 17th century dwelling was either single storey or part roofspace because at ground floor they are 40-60cm thick solid masonry - but the first floor is much thinner and clearly a later addition.

To the north, facing the public road / lane the fireplace features traditional elements including a main hearth, side warming recesses and a separate bread oven.

Mid 18th Century - Early 19th Century - During the Georgian period, Craddock Lodge was extensively altered and enlarged with a first floor above the original longhouse and a major, two storey south wing. These new buildings are well ordered with generous room proportions and consistent sash window openings to produce a formal appearance as befits a 'gentrified' estate country villa. The verandah colonnade runs along the full southern facade with a glazed roof and cast iron columns.

The main staircase located within the east - west running wing separates two formal reception rooms and has an attractive arched feature window up at staircase first floor landing facing the courtyard.

Architectural detailing mouldings found on the sash windows, shutters, architraves and skirtings are consistent with craftsmanship and motifs during this period

The coach house and stables buildings were constructed during this era also along the northern aspect closest the public lane. These are predominantly stone construction but have since been partially over rendered and some later red brick infill areas.

19th Century - During this period, the courtyard and stables parts of the house were altered with the northern wing being largely integrated into the main house for extra bedroom and service spaces. The construction of the courtyard facing walls, particularly the corridor wall facing due east - is a combination of load bearing masonry and brick as only 30cm thick. All has been heavily over rendered with cement and aggregate.

The courtyard features several different types of window - sash, casement and replaced 20th C types.

20th Century - The principal two facades facing south and west were relatively untouched apart from the relocation of the entrance porch on the side west facing part of the main house.

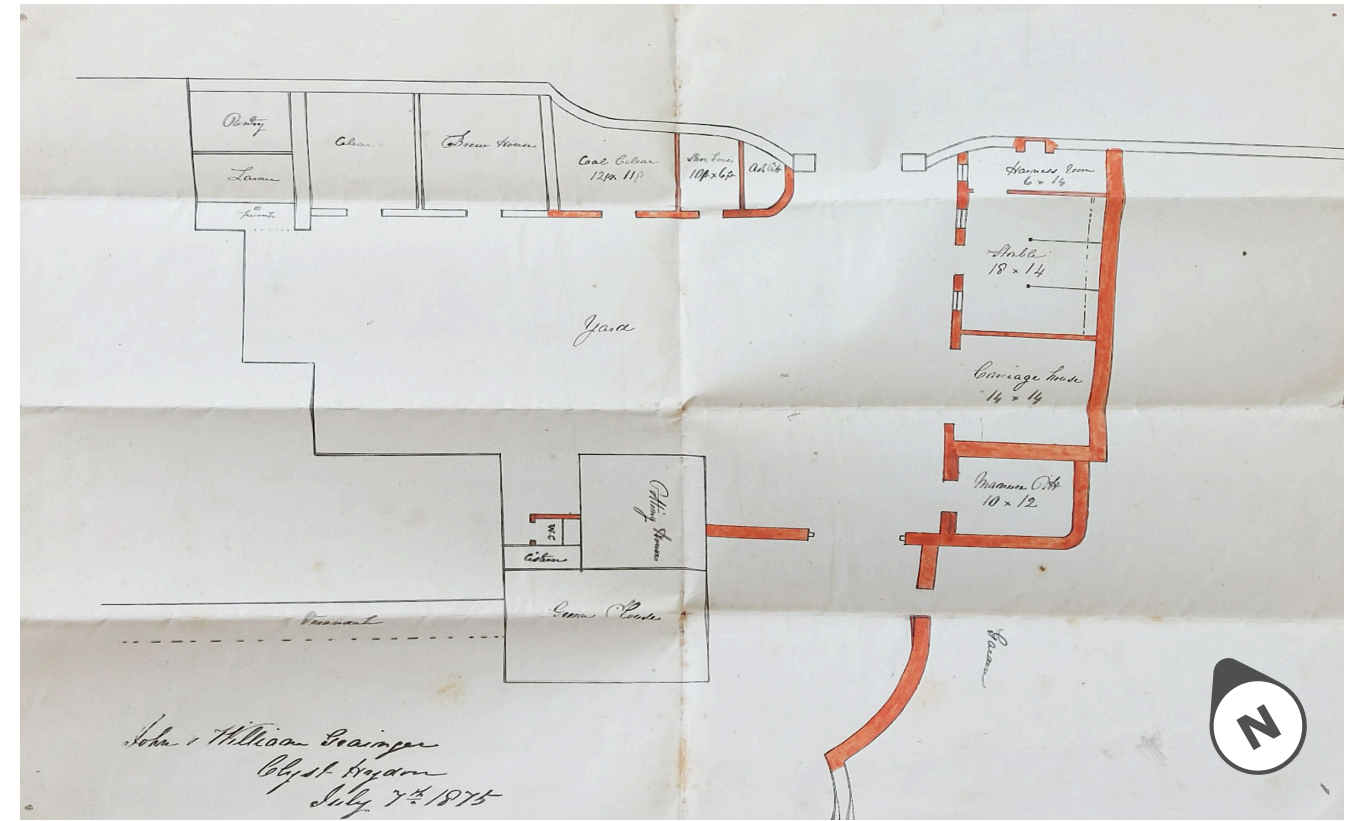
The pitched and hipped roof covering were replaced with natural slate estimated mid 20th c. The original trusses and rafters remain intact, in good condition and stable.

The whole building was heavily over-rendered with hard Portland cement and aggregate, painted in modern masonry paint.

The courtyard porch was added as a simple rendered brick and monopitch slate roof. Also around the courtyard, several doors and windows replaced. The garage is a rendered block work construction from the mid - late 20th C.

Internally, the changes to the main house include the new second stair and opening up of the ground floor drawing room on the north western corner of the plan.

At first floor, many internal wall partitions and the ceiling / roof were replaced with modern gypsum base plasterboard on softwood timber frame walls.





Drawing dated 1875 that illustrates in red the separate stables and carriage house wings. The wing on the right hand side has been demolished. The building affronting the lane remains intact - at ground floor used as storage.



Drawing undated with room dimensions, but was before the courtyard corridor was added. Note also the heavy double wall lines between the original 17th longhouse and the main Georgian south wing. Estimated date 1850.

Project Ref: 24.41	Proposed Listed Building Repairs to Walls, Roof and Replacement of Internal Elements.
Drawing No: HR_03	Craddock Lodge, Craddock, Devon, EX15 3LL

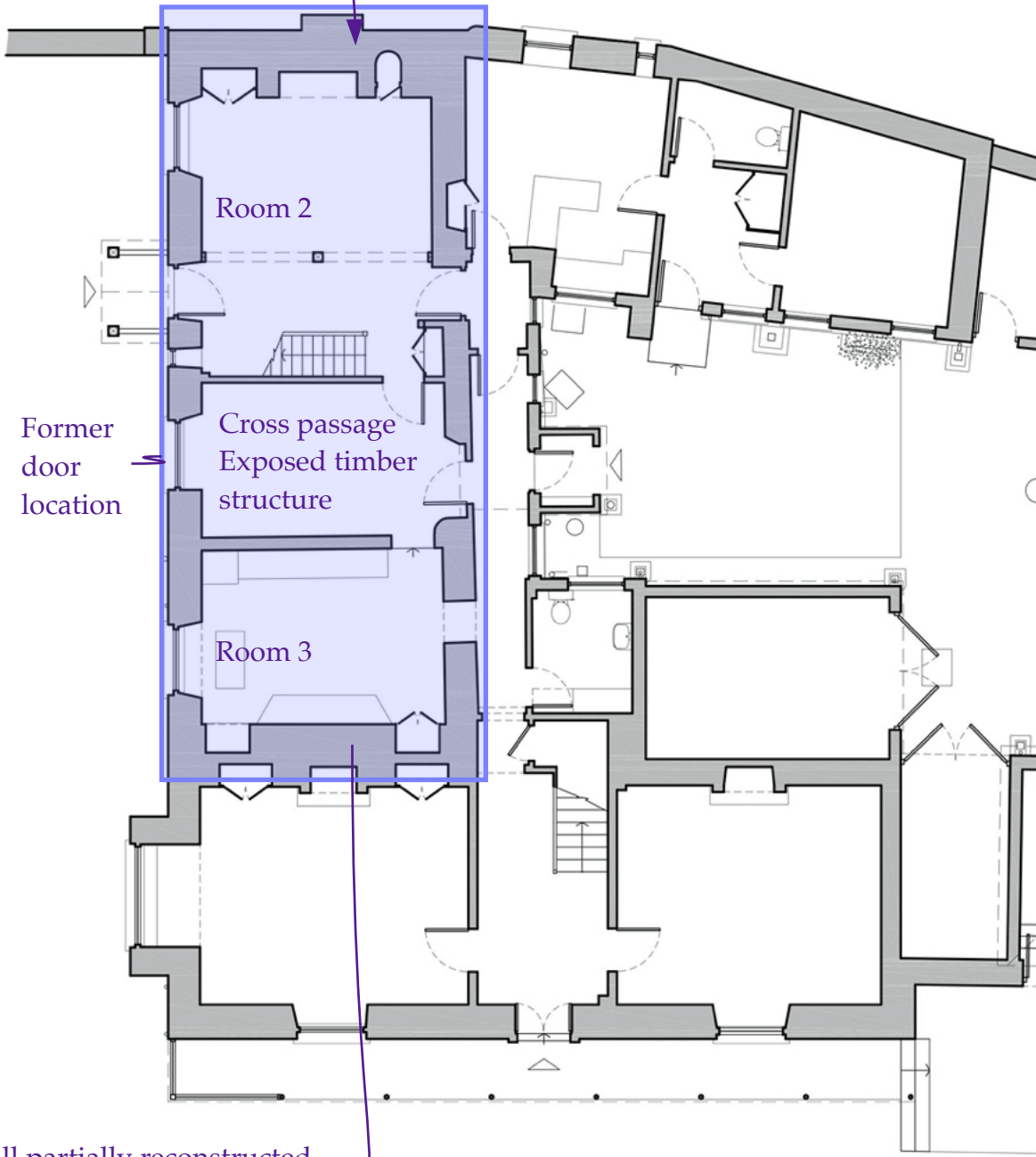
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Public Road / Lane

Original 17th C fireplace, hearth and separate bread oven.



Former door location

Room 2

Cross passage
Exposed timber structure

Room 3

Ground Floor

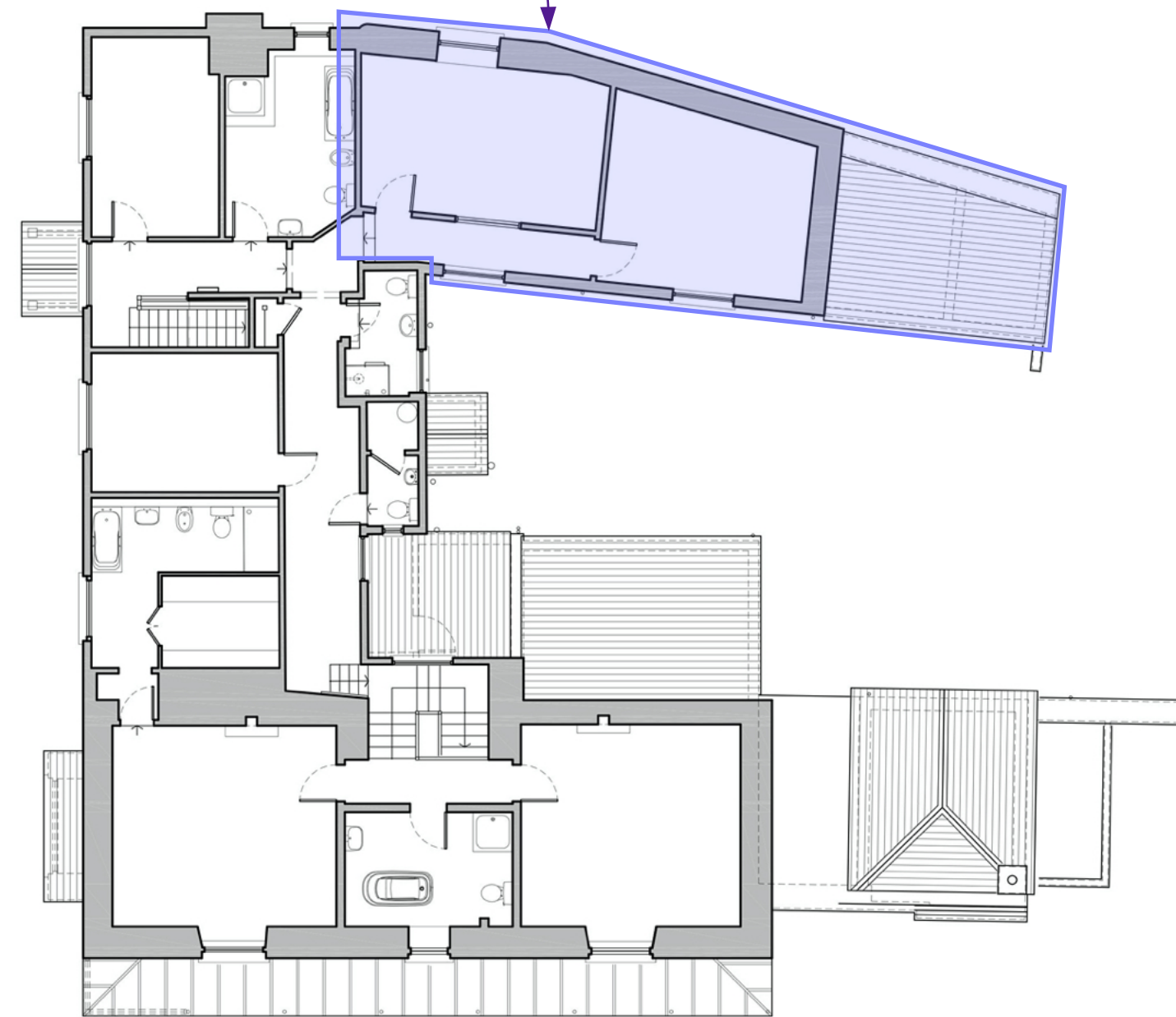
Garden

Wall partially reconstructed with chimney stacks and openings.



Public Road / Lane

Historic stone wall to the lane with evidence of single storey barn, stables outbuildings remaining in this location close to the road for direct cart access.



First Floor

Garden




17th Century Original Devon Longhouse

Three room with cross passage.

Single storey or attic space above (not fully two floors due to very thin first floor wall depth).

Project Ref: 24.41	Proposed Listed Building Repairs to Walls, Roof and Replacement of Internal Elements.
Drawing No: HR_04	Craddock Lodge, Craddock, Devon, EX15 3LL

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Survey Plans As Exist - March 2024
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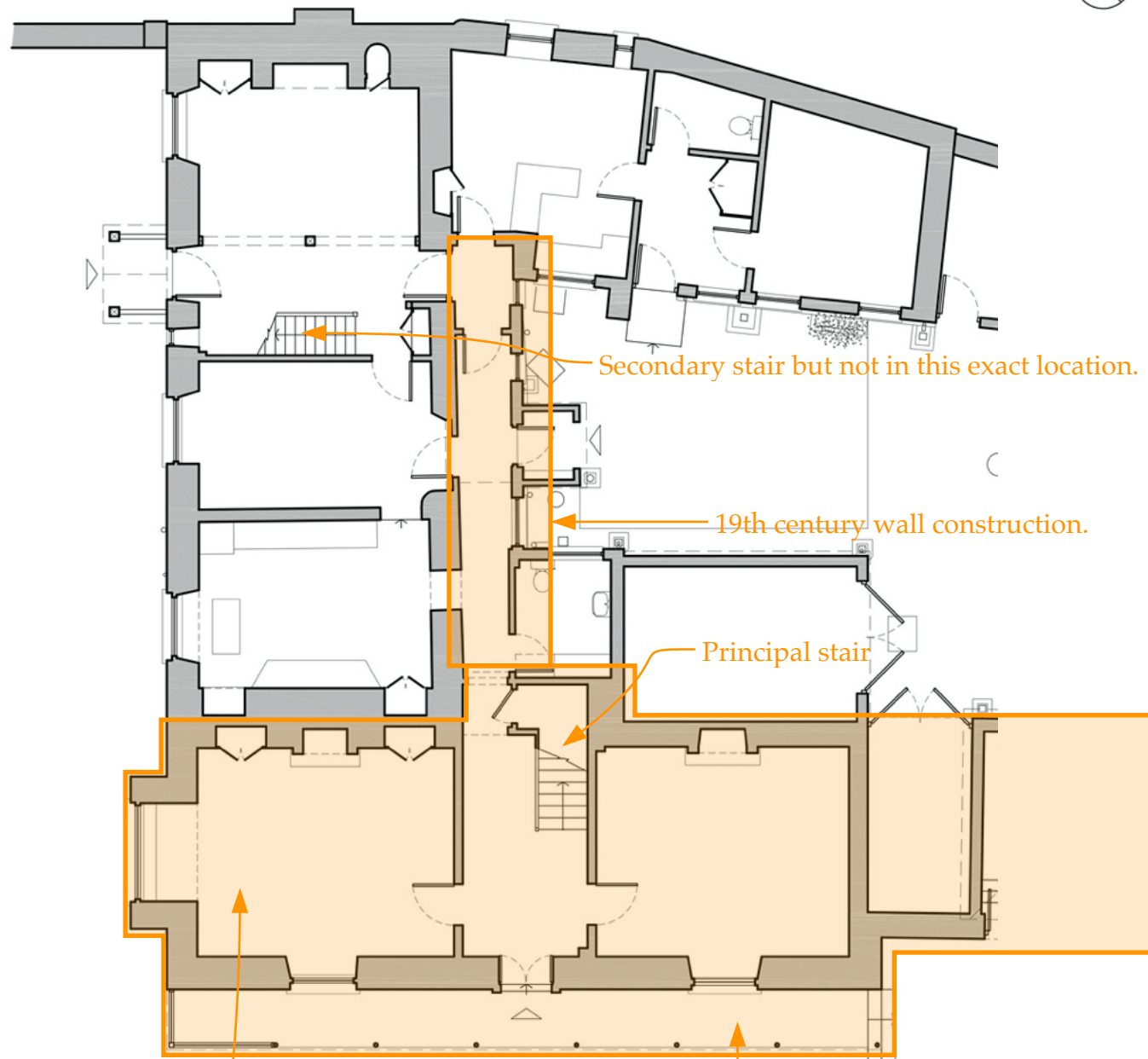
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Public Road / Lane

Public Road / Lane

Thin wall construction at first floor consistent with late 18th century residential enlargement of buildings.



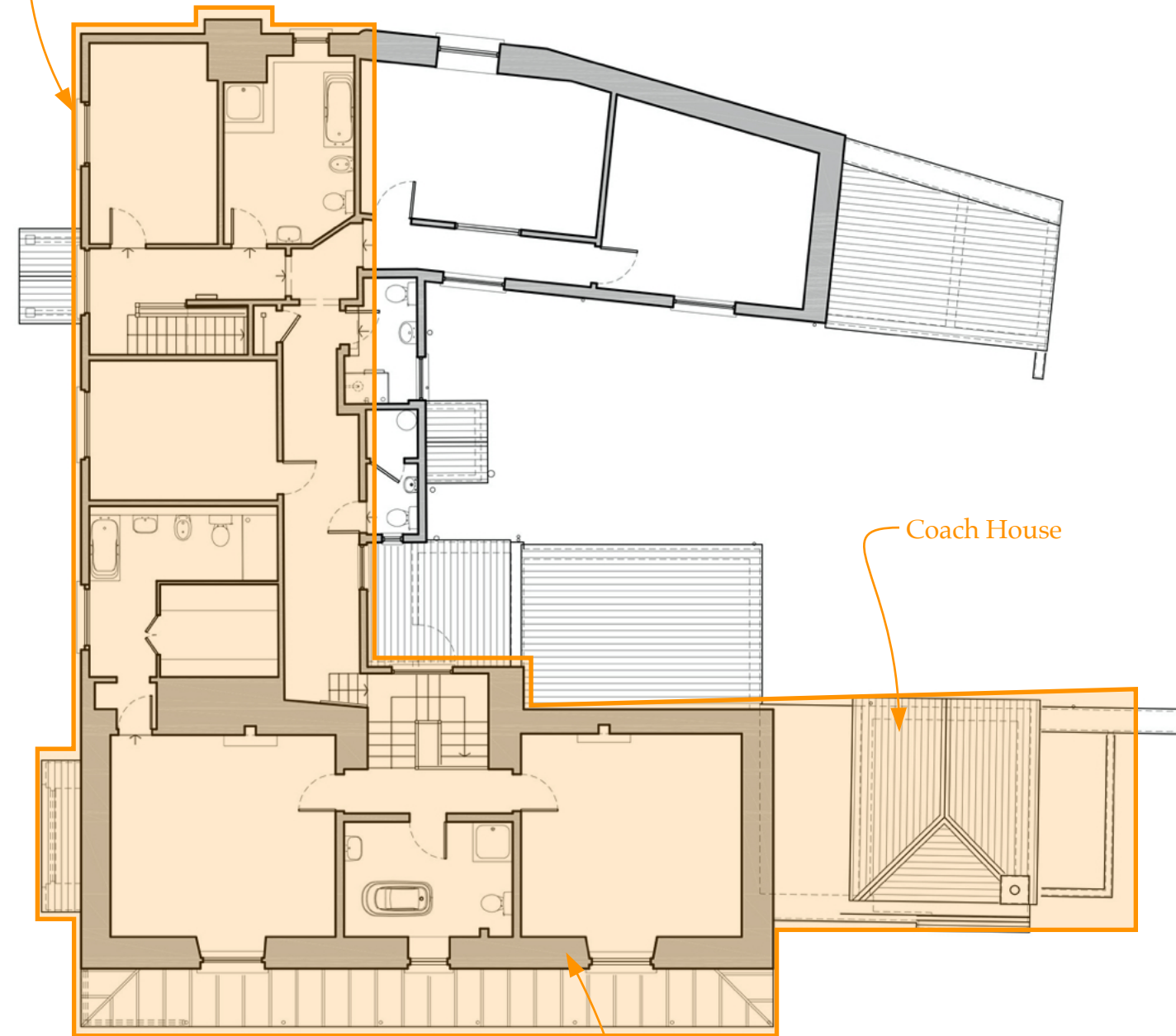
Ground Floor
Garden

South facing two storey wing with formal reception rooms split by the central staircase.

Glazed colonnade verandah



18th Century - Early 19th Century
Georgian Expansion, Main Wings to the South and West




First Floor
Garden

Thick, solid load bearing masonry wall constructed from local shillet stone and lime mortar.
Full two storey building.

Project Ref: 24.41	Proposed Listed Building Repairs to Walls, Roof and Replacement of Internal Elements.
Drawing No: HR_05	Craddock Lodge, Craddock, Devon, EX15 3LL

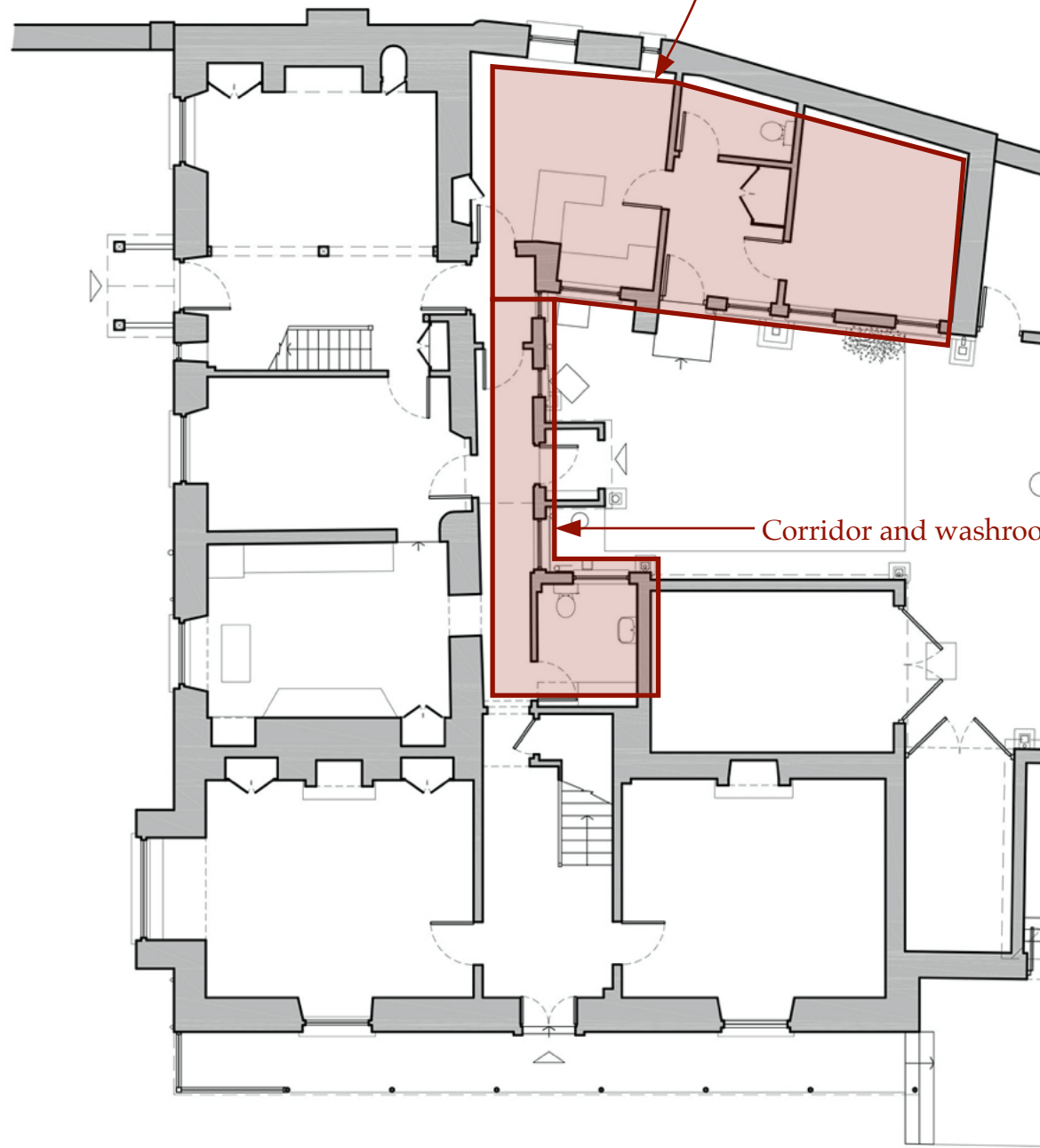
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Public Road / Lane

Internal changes and most likely windows added to habitable rooms facing the public lane



Ground Floor

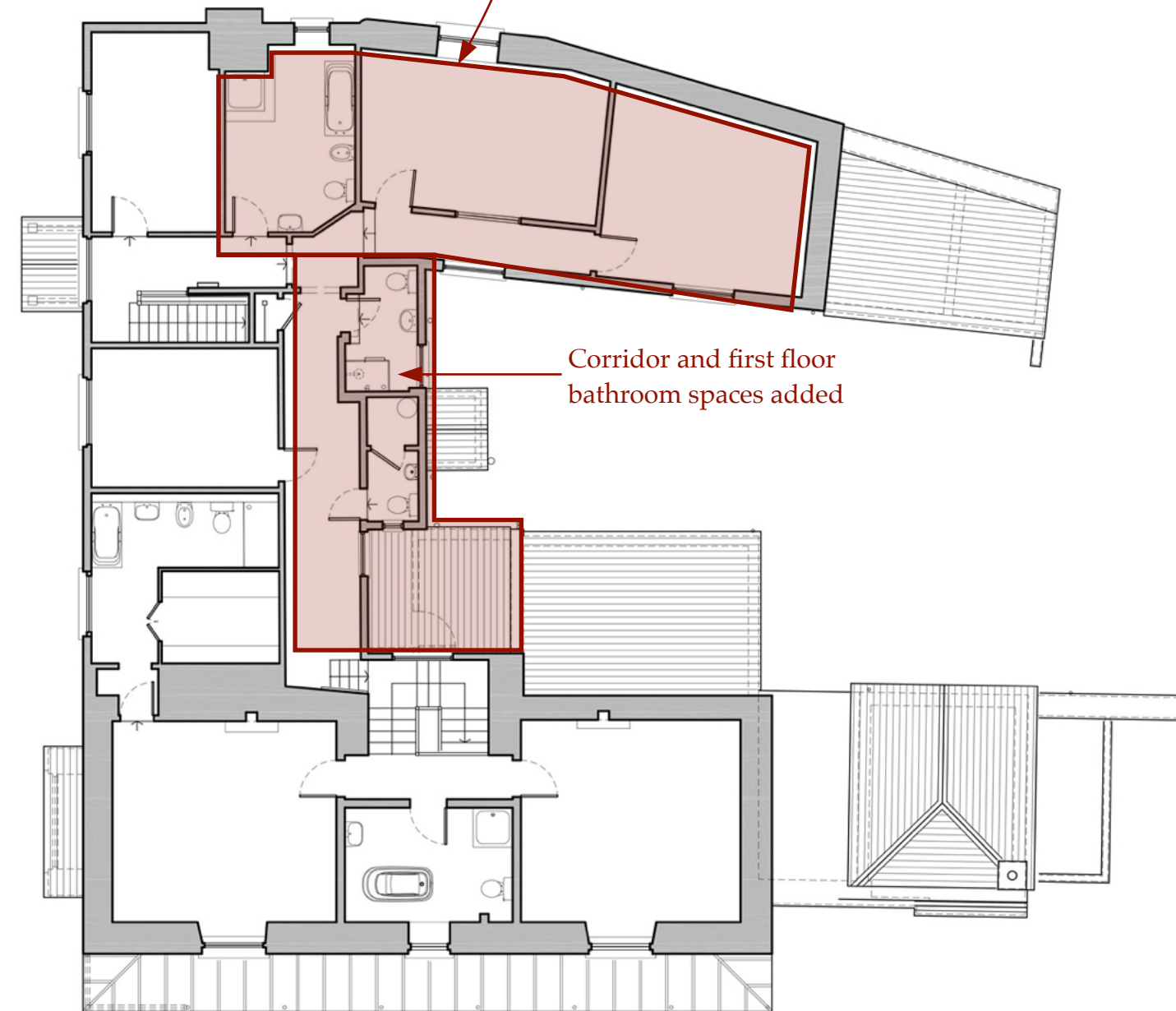
Garden



Corridor and washroom added

Public Road / Lane

Internal changes and most likely windows added to habitable rooms facing the public lane



First Floor

Garden


Corridor and first floor bathroom spaces added



19th Century - Victorian Modifications & Extensions
Further changes to domesticate the interior
and provide additional habitable spaces
at first floor.

Project Ref: 24.41	Proposed Listed Building Repairs to Walls, Roof and Replacement of Internal Elements.
Drawing No: HR_06	Craddock Lodge, Craddock, Devon, EX15 3LL

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Second staircase installed and wall opened up with steel beams dressed in oak fascia cladding

Public Road / Lane

Bathroom and plasterboard partitions on softwood timber frame



Entrance porch moved to here

doorway and kitchen fit out

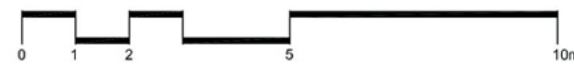
Porch added. Doors and windows replaced

Garage

Outbuilding created with flat roof

Ground Floor

Garden



Public Road / Lane

Bathroom and plasterboard partitions on softwood timber frame

Staircase

Bathroom

Bathroom fit out


First Floor

Garden

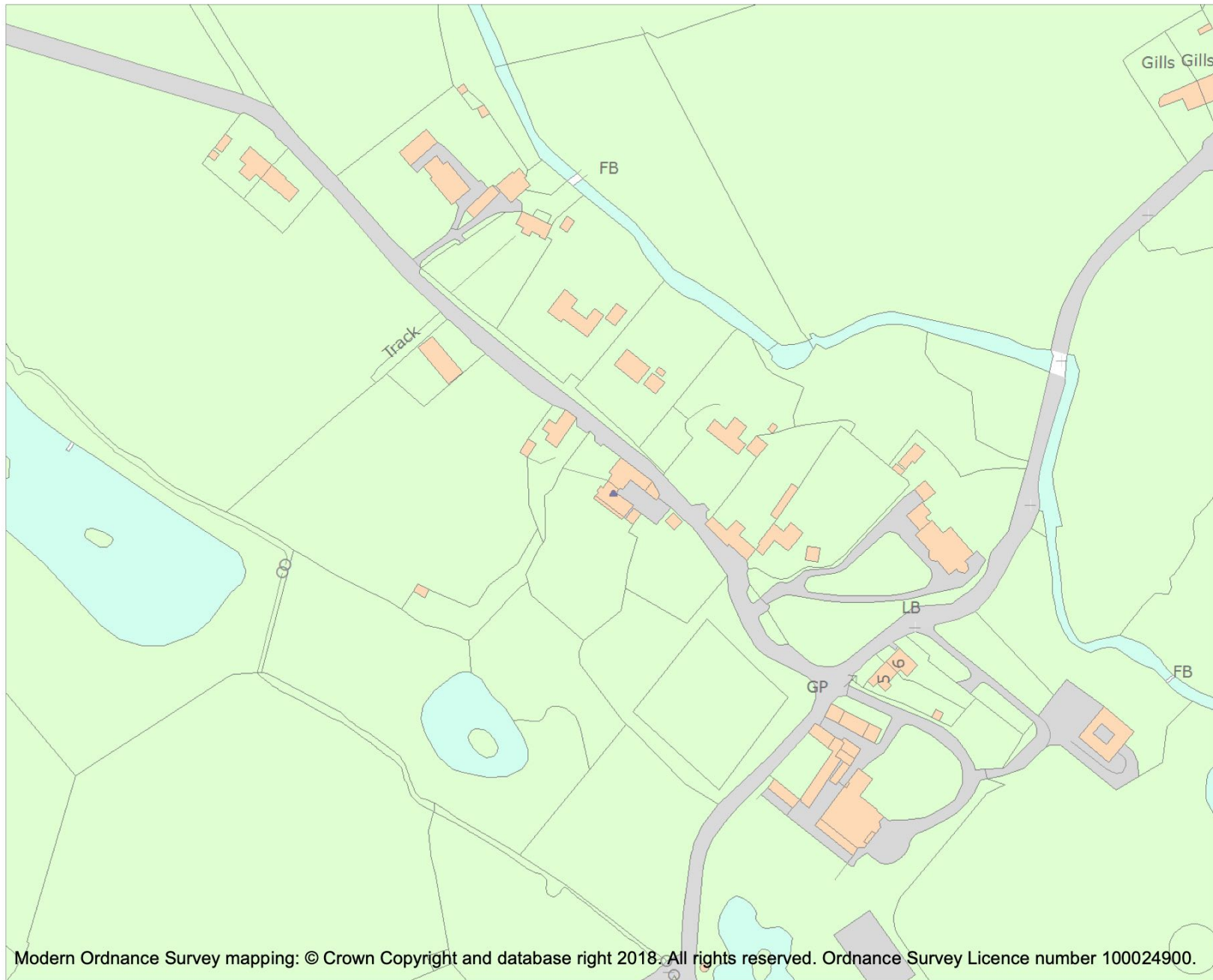
20th Century - Continued Interventions, Modernisation and domestication particularly bathrooms and bedrooms.

Project Ref: 24.41	Proposed Listed Building Repairs to Walls, Roof and Replacement of Internal Elements.
Drawing No: HR_07	Craddock Lodge, Craddock, Devon, EX15 3LL

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This is an A4 sized map and should be printed full size at A4 with no page scaling set.

Name: CRADDOCK LODGE

Heritage Category: Listing
List Entry No : 1170466
Grade: II

County: Devon
District: Mid Devon
Parish: Uffculme

For all entries pre-dating 4 April 2011 maps and national grid references do not form part of the official record of a listed building. In such cases the map here and the national grid reference are generated from the list entry in the official record and added later to aid identification of the principal listed building or buildings.

For all list entries made on or after 4 April 2011 the map here and the national grid reference do form part of the official record. In such cases the map and the national grid reference are to aid identification of the principal listed building or buildings only and must be read in conjunction with other information in the record.

Any object or structure fixed to the principal building or buildings and any object or structure within the curtilage of the building, which, although not fixed to the building, forms part of the land and has done so since before 1st July, 1948 is by law to be treated as part of the listed building.

This map was delivered electronically and when printed may not be to scale and may be subject to distortions.

List Entry NGR: ST 08530 12393
Map Scale: 1:2500
Print Date: 12 October 2021



Statutory Address: CRADDOCK LODGE
County: Devon
District: Mid Devon (District Authority)
Parish: Uffculme
National Grid Reference: ST 08530 12393

Details

ST 01 SE UFFCULME CRADDOCK 4/171 Craddock Lodge - II Detached house. Mid C17, much altered and enlarged in the C19. Rendered cob and stone; hipped and gable end slate roof. Plan: The C17 house was of the traditional 3 room, through-passage plan type, the service end to the left of the passage. 2 wings to the rear of the service end and inner room respectively may incorporate earlier fabric. The C17 work is disguised externally by an early C19 refurbishment which made the inner room wing into the main range, with a fashionable symmetrical front facing east over the extensive garden. This is a 2 room, central cross- passage with rear stacks; at the same time the old range was widened to accommodate a rear corridor. External end stack (now largely dismantled) heated old service end; internal lateral and end stacks to service end rear wing. All stacks with brick shafts. 2 storeys. Exterior Main Front (facing garden): symmetrical 3 window range; first floor with 16-pane hornless sash windows flanking 12-pane hornless sash window. Central panelled door with large 16-pane hornless sash windows to either side. South front (the old range): 4 casement window to first floor, all of 3-light, 2 of them C19 with 8 leaded panes per light. Three 16-pane hornless sash windows to ground floor. Rear: Horned sash windows, and some later casements; the stairs to the rear of the main range are contained in a stair turret under a catslide roof, lit by a tall round-headed window, its decorative ferramenta intact. Interior: between the hall and inner room are remains of a plain stud and plaster partition and part of a doorway arch; 2, and 2 half ceiling beams with composite moulded chamfers (cyma reversa and cavetto) to hall.

Listing NGR: ST0853012393



Project Ref: **24.41**
Proposed Listed Building Repairs to Walls, Roof and Replacement of Internal Elements.
 Drawing No: **HR_08**
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Photo of the western facing elevation with the principal entrance door in current location. The proposal is to replace the first floor casement windows with high quality traditional joinery flush casements.



Photo of the southern facing garden facade. This is the late 18th - early 19th C Georgian style wing now containing principal rooms and a symmetrical central entrance. This will not be affected by any of the proposed design interventions.



Photo of the eastern facade - the coach house, courtyard and outbuilding side. Secondary vehicle entrance, former stables and outbuildings with access to the gardens. The roof on the right hand side will be replaced with natural slate.



Photo of the northern facade addressing the public road. The original coach house and stables entrance. Gable end wall of the main house. The proposal being to continue the exposed stone as a plinth at street level with lime render above.



Photo of the northern and western facades from the public road.




Photo of the courtyard showing the typically piecemeal evolution of this type of back of house area. The proposed window replacements are around this courtyard.

Project Ref: 24.41	Proposed Listed Building Repairs to Walls, Roof and Replacement of Internal Elements.
Drawing No: HR_09	Craddock Lodge, Craddock, Devon, EX15 3LL

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Site Photographs - March 2024

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Northern facade addressing the public road. Significant internal damp caused by the hard cement render. This will be removed.



A new plinth of exposed stone will be formed as the existing stone wall to the house. Pointed with NHL 2.5 lime putty mortar and then fully lime rendered first floor above.



The secondary 20th C stair and opened up internal wall. The proposal is to swap the flight of this stair for more efficient circulation up at first floor and be less intrusive at ground floor.



The secondary 20th C stair and opened up internal wall. The posts and beam are also 20th C infill and not wholly structural.




View of the north side wall with inset fireplace and bread oven part of the oldest area of the welling. This suffers from damp and will be remedied by hacking off the internal layers of modern plaster and using breathable lime plaster throughout.

Project Ref: 24.41	Proposed Listed Building Repairs to Walls, Roof and Replacement of Internal Elements.
Drawing No: HR_10	Craddock Lodge, Craddock, Devon, EX15 3LL

**New Single Storey Wing & Courtyard
Existing Site Photographs - March 2024**

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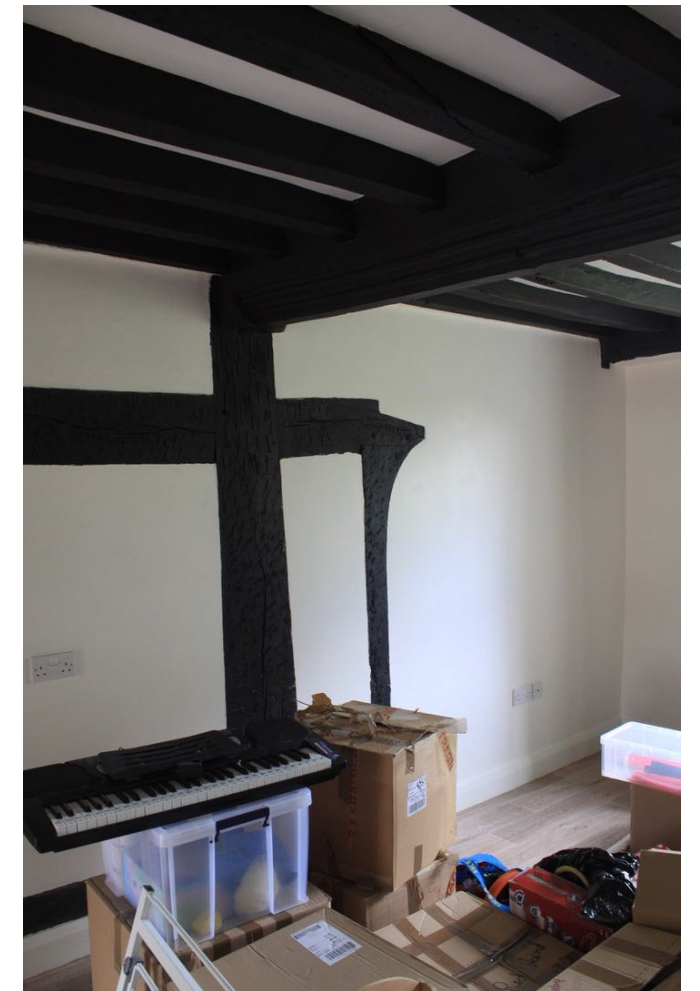
The 19th C corridor on the left, the original 17th C longhouse solid wall on the right. Selection of doors and windows. Modern floor on cement sub base.



The 19th C corridor showing different window types, the early 20th C porch and modern door. These will be removed with the solid wall areas retained.



View of the bread oven located in the north western corner main room form the original Devon longhouse.



The original cross passage now has exposed timber structure.



The original cross passage and remains of former arch opening.




The beams as original elements remain largely intact, the ends have been modified. Ornate moulding on the main ceiling beams.



View looking down the original long house.

Project Ref: 24.41	Proposed Listed Building Repairs to Walls, Roof and Replacement of Internal Elements.
Drawing No: HR_11	Craddock Lodge, Craddock, Devon, EX15 3LL

New Single Storey Wing & Courtyard Existing Site Photographs - March 2024
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