

SCHEDULE OF ACCOMMODATION (BARRATT HOMES):			SCHEDULE OF ACCOMMODATION (DAVID WILSON HOMES):		
OPEN MARKET UNITS	HOUSETYPE	AMOUNT	OPEN MARKET UNITS	HOUSETYPE	AMOUNT
AMBER	2 STOREY 1 BED DUPLEX	12 No.	HALTON	2 STOREY 4 BED DETACHED	7 No.
DEWFOOD	2 STOREY 2 BED SEMI	2 No.	ALDERNEY	2 STOREY 4 BED DETACHED	4 No.
ELLERTON	2 STOREY 3 BED SEMITERRACE	21 No.	RALEIGH	2 STOREY 4 BED DETACHED	4 No.
AMMSTONE SPECIAL	2 STOREY 3 BED SEMI DETACHED	8 No.	OPEN MARKET BARRATT HOMES TOTAL No. 100 No.		
MORESBY	2 STOREY 3 BED SEMI DETACHED	4 No.	SCHEDULE OF ACCOMMODATION (BARRATT HOMES):		
DEBY	2 STOREY 3 BED DETACHED	7 No.	AFFORDABLE UNITS		
CHESTER	2 STOREY 4 BED DETACHED	5 No.	AMBER	2 STOREY 1 BED DUPLEX	2 No.
KINGSVILLE	2 STOREY 3 BED SEMITERRACE	14 No.	T90	2 STOREY 1 BED SEMITERRACE	8 No.
WINDMERE	2 STOREY 4 BED DETACHED	6 No.	T92	2 STOREY 1 BED SEMITERRACE	4 No.
KINGSLEY	2 STOREY 4 BED DETACHED	3 No.	TOTAL No. 14 No.		
BRENTFORD	3 STOREY 3 BED SEMITERRACE	5 No.	FIRST HOME UNITS		
			ELLERTON	2 STOREY 1 BED SEMI DETACHED	6 No.
			TOTAL No. 6 No.		
			WILFORD	2 STOREY 2 BED SEMITERRACE	8 No.
			BURLEIGH	2 STOREY 2 BED SEMI DETACHED	10 No.
			ARCHFORD	2 STOREY 2 BED SEMITERRACE	9 No.
			EDKINGTON	2 STOREY 2 BED DETACHED	3 No.
			HOLLEY	2 STOREY 3 BED SEMI DETACHED	8 No.
			GREENWOOD	2 STOREY 3 BED SEMI TERRACE	6 No.
			PARSON	2 STOREY 3 BED SEMI	2 No.
			HUTTON	2 STOREY 3 BED DETACHED	4 No.
			BRAGATE	2 STOREY 4 BED DETACHED	2 No.
			HOLLINGWOOD	2 STOREY 4 BED DETACHED	8 No.
			OPEN MARKET DAVID WILSON TOTAL No. 80 No.		
			FULL SITE TOTAL No. 200 No.		

- SITE LAYOUT LAYERS KEY:**
- 1800mm HIGH BRICK WALL & FENCE DWG NO. DB-SD13-013
 - 1800mm HIGH TIMBER FENCE DWG NO. DB-SD13-006
 - 900mm HIGH METAL RAILINGS DWG NO. Z7-BT-020
 - 600mm KNEE HIGH RAILS DWG NO. DB-SD13-007
 - LOCKABLE GATE
 - AFFORDABLE PLOTS
 - SPLIT BETWEEN DAVID WILSON AND BARRATT
 - BLOCK PAVING - SHARED SURFACES
 - BLOCK PAVING - DRIVEWAYS/PARKING
 - BLOCK PAVING - PRIVATE DRIVES
 - LIGHTING COLUMNS

- HOUSE TYPE NOTES**
- ALL HOUSE TYPES TAKEN FROM THE FOLLOWING UNLESS SPECIFICALLY SPECIFIED BELOW:
- NOTE: SOME HOUSE TYPE ROOF CONFIGURATIONS HAVE BEEN ALTERED TO MATCH THE REQUESTED ROOF VERTICALITY FROM THE LOCAL COUNCIL.
- HOUSE TYPE TEMPLATES:**
- (The Current Amber Block is of Standard configuration taken from the below Drawing. This may need to be altered to a new NDIS version in the future)
- BARRATT HOMES PARCEL:**
- Barratt 2016 Range - Rev R - 01.04.20.dwg
 - T90 NDIS CAT1 - TYPE 50 END HIPPED CAT1+NDIS_061119.dwg
 - T92 NDIS CAT1+2 - TYPE 52 END HIPPED CAT1+NDIS_061119.dwg
 - T92 NDIS CAT1+2 - TYPE 52 END HIPPED CAT1+NDIS_061119.dwg
 - TYPE 52 END HIPPED CAT1+NDIS_061119.dwg
- DAVID WILSON PARCEL:**
- DWI_CAT 1_100mm (X) - Rev A (04.07.23).dwg
- NOTE: THERE ARE 3 NO. PLAY SPACES THROUGHOUT THE SITE WHICH NEED TO EQUATE TO A MINIMUM OF 558m²**
- PLAY SPACE 1 - 120m²
 - PLAY SPACE 2 - 120m²
 - PLAY SPACE 3 - 337m²
 - TOTAL sqm = 577m²

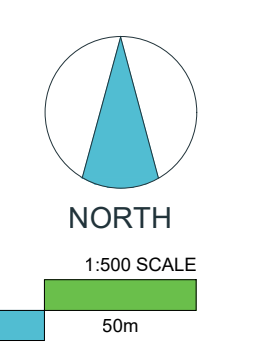


Criteria	Location	Who's At Risk	Consequence	Mitigation
Trenches and excavation	Whole Site	Construction Staff	1. Risk of collapsing excavation 2. Falling debris into excavation 3. Risk associated with working in confined spaces	Contractor to determine safe methods of working in confined spaces, where necessary.
Working Adjacent to Live Traffic	Site boundaries adjacent to Nulbin Drive, Humbley Avenue and Cemetery Lane	1. General Public 2. Construction Staff	1. Risk of Obstruction/Striking Passing vehicles 2. Risk of being struck by Plant machinery	Contractors safe method of working. Implementation of signing and traffic control measures. Contractor to provide appropriate protection barriers. Workers to wear high visibility clothing.
General Public / Children trespassing on site	Whole Site	1. General Public	Risk of public injury on site from trips, falls, falling from height, unsecured manholes etc.	Ensure the site is properly secured and inform the surrounding public of site location and boundaries. Give advance warning of the start of construction.
Effects of noise, dust or vibration of construction works.	Whole Site	1. General Public 2. Adjacent Properties 3. Construction Staff	1. Annoyance to General Public 2. Risk of health problems to General Public 3. Risk of health problems to Construction Staff	Contractor to determine safe methods of working through construction methods/sequences. Site shall be provided with appropriate PPE relative to their nature of work. Work may also be undertaken at specific times, in sensitive areas to minimise disturbance to adjacent properties.
Contaminated Ground	Whole Site	Construction Staff	Health risks to Construction Staff	It is always possible that contaminated land may be uncovered during the construction phase. The contractor should determine safe methods of working if contaminated land is encountered.
Existing Hedgerows	Site Periphery	Construction Staff	Risk of budburst wounds, scratching from machinery	Construction staff to be provided with appropriate Personal Protective Equipment (PPE) relative to their nature of work.
Farm Machinery	Farm land adjacent to North-Eastern site boundary	1. General Public 2. Construction Staff	Risk of serious injury from blades, falls, attachments and flying debris.	Contractor to produce a plan of work that eliminates the danger by avoidance of work at or near the area of danger.
Retained Trees	Site Periphery	1. General Public 2. Construction Staff	Risk of serious injury from falling branches.	Tree survey required to establish condition of trees and recommended works. All recommended works to be carried out with high priority works on unstable trees carried out as soon as is reasonably practicable.

V	04.10.22	PLOTS 168-179 (KINGSVILLE) & 243-244 (AMMSTONE SPECIAL) HAVE BEEN SWAPPED WITH EACH OTHER AT THE REQUEST OF THE CLIENT (RESULTING IN PLOT 172 (KINGSVILLE) BEING TO BE REPLACED WITH A DENBY (PLOT 172) AND THEREFORE BEING REVERTED TO A DENBY. THE SWAPPING OF THE PLOT WIDTHS	RAN	VS
U	26.09.22	THE 3m x 1.5m SIGN ZONE HAS BEEN APPLIED TO THE PERIMETER OF THE ELECTRIC SUB-STATION WITH THE SITE WIDE LIGHTING ADDED TO THE DRAWING	RAN	LB
T	01.09.22	THE 2 AFFORDABLE PLOTS FROM LOCATED AT PLOTS 231-232 HAVE BEEN SWAPPED BACK TO ELLERTON WITH THE FIRST HOME STATUS	RAN	VS
S	31.08.22	THE TENURE OF PLOTS 203-205 HAS BEEN ALTERED FROM 1 STANDARD AFFORDABLE BEING SWAPPED OUT FOR 1 STANDARD AFFORDABLE ELLERTON (PLOTS 231-232)	RAN	VS
R	18.08.22	TWO ADDITIONAL AFFORDABLE PLOTS ADDED TO THE DRAWING	AT	VS
Q	12.08.22	CHANGES TO AFFORDABLE PLOTS IN LINE WITH 2 BROTHERSTON COMMENTS RECEIVED 12.08.22	JP	VS
P	26.07.22	THE PLOT NUMBERS HAVE BEEN ALTERED TO FOLLOW ON FROM PHASE 1	JP	VS
O	15.07.22	HOUSE TYPE CHANGES TO THE FOLLOWING 'KM' AS PER 2 BROTHERSTON COMMENTS RECEIVED 15.07.22	JP	VS
N	15.06.22	3 NO. PLAYSPACES HAVE BEEN INTRODUCED THROUGH THE SITE WITH ADDITIONAL FOOTPATHS BEING ADDED TO THE SOUTHERN SIDE OF THE TWO CENTRAL POS AREAS	RAN	VS
M	09.06.22	THE GARAGES TO PLOTS 46, 47, 48 & 49 HAVE BEEN AMENDED TO MATCH THE CORRESPONDING HOUSE TYPE ROOF ALIGNMENT	RAN	VS
L	08.06.22	PLOTS 168 & 169-173 HAVE BEEN ALTERED TO AFFORDABLE UNITS WITH THE LATER CHANGING FROM ELLERTON TO T92 & T90 WITH HOUSE TYPES BEING CHANGED TO BECOMING OPEN MARKET PLOTS	RAN	VS
K	07.06.22	PLOTS 168 & 169-173 HAVE BEEN CHANGED TO OPEN MARKET UNITS WITH PLOTS 65-68 CHANGING FROM T92 TO T90	RAN	VS
J	07.06.22	PLOTS 140-141, 144-145, 168-169, 172-173 (THE AFFORDABLE UNITS) HAVE BEEN ALTERED TO AFFORDABLE UNITS WITH CLIENTS MARKING GARAGES BEHIND PLOT 140 WITH HOUSE TYPES BEING CHANGED TO BECOMING OPEN MARKET PLOTS	AT	VS
I	01.06.22	CHANGES TO THE HOUSE TYPES IN LINE WITH CLIENTS MARKING GARAGES BEHIND PLOT 140 WITH HOUSE TYPES BEING CHANGED TO BECOMING OPEN MARKET PLOTS	JP	VS
H	19.05.22	PLOTS 168 & 169-173 HAVE BEEN ALTERED TO AFFORDABLE UNITS WITH CLIENTS MARKING GARAGES BEHIND PLOT 140 WITH HOUSE TYPES BEING CHANGED TO BECOMING OPEN MARKET PLOTS	RAN	VS
G	14.04.22	HOUSE TYPE CHANGES TO PLOTS 31, 32, 35, 40, 41, 78, 90 & 91 PER 2 BROTHERSTON COMMENTS RECEIVED 13.04.22	AT	VS
F	18.03.22	CHIMNEYS & PORCHES HAVE BEEN SHOWN TO THE RELEVANT HOUSE TYPES	RAN	VS
E	15.02.22	RED LINE BOUNDARY UPDATED	JP	VS
D	14.02.22	LAYOUT UPDATED IN LINE WITH 800 & 1.5m CONCRETE CURB	JP	VS
C	14.01.22	SPORTS PITCH, BASIN & CARLOW TANK BEING MADE PROMINENT	LS	VS
B	16.11.21	THE ROOF LINES ON ALL THE PLOTS HAVE BEEN MADE PROMINENT	RAN	VS
A	08.11.21	THE HANDINGS OF EACH HOUSE TYPE HAVE BEEN ADDED TO THE TEMPLATES	RAN	VS
FF	05.02.24	LAYOUT UPDATED FOLLOWING CLIENT MARK-UP RECEIVED 17.01.24	JP	VS
EE	03.01.24	INTRODUCTION OF DAVID WILSON HOMES CLIENT HOUSE TYPES WITH COMMENTS FROM 02.01.24	THIS	VS
DD	07.07.23	PLOTS 333-334 REVISED TO ELLERTON HT	THIS	VS
CC	05.07.23	AFFORDABLE REV UPDATED IN LINE WITH COMMENTS FROM CLIENT RECEIVED 27.07.23	THIS	VS
BB	07.06.23	AFFORDABLE PROVISION UPDATED IN LINE WITH COMMENTS FROM CLIENT RECEIVED 06.07.23	JP	VS
AA	02.05.23	AFFORDABLE PROVISION UPDATED IN LINE WITH COMMENTS FROM CLIENT RECEIVED 02.05.23	JP	VS
Z	21.04.23	PLOT 184 HAS BEEN HANDLED AT THE REQUEST OF P STONES - DATED 20.04.23	RAN	VS
Y	04.01.23	PLOTS 313-315, 316-324, 325-330 & 333-338 - T90 AND T92 HOUSE TYPES REVISED	KM	VS
X	24.10.22	UPDATES TO THE HIGHWAY IN LINE WITH CLIENT MARK-UP RESPONDING TO COMMENTS FROM ERBYC	JP	LM
W	18.10.22	THE ELECTRIC SUB-STATION LOCATION HAS BEEN ALTERED FROM ADJACENT TO PLOT 168 TO ADJACENT TO THE SOUTHERN EQUIPPED PLAY SPACE 3	RAN	VS

01 / PROPOSED SITE LAYOUT

Do not scale off this drawing. Only figured dimensions to be taken from this drawing. Drawings based on Ordnance Survey and/or existing road drawings. Design and Drawing content subject to Site Survey, Structural Survey, Site Investigations, Planning and Statutory Requirements and Approvals. Authorised reproduction from Ordnance Survey Map with permission of the Controller of Her Majesty's Stationery Office. Crown Copyright reserved.



Client: BARRATT HOMES YORKSHIRE EAST
Project: DRIFFIELD - PHASE 2
Drawing: PROPOSED SITE LAYOUT

Drawing Number: P21-551201.FF
Scale: @ A0: 1:500

Drawn: RAN
Checked: VS
Date: JAN 22
Date: JAN 22