

HOME FARM COTTAGES

Planning Application for the restoration of Home Farm Cottages at High Street, Twywell, Northamptonshire

DESIGN AND ACCESS STATEMENT

CONTENTS

1. INTRODUCTION
2. ASSESSMENT
3. PROPOSALS
4. CONCLUSION

INTRODUCTION

1

This statement has been produced by RDC on behalf of the Applicant, Tata Steel, to accompany the full planning application for the restoration of Home Farm Cottages, comprising of two identical stone cottages attached to a stone barn. Two planning applications have been submitted for restoration and repair works to the cottages, one for each. This Design Access Statement covers both cottages and outlines separately the proposals for each one. A further planning application has been submitted to cover works to the barn.

The two cottages are associated with the former Home Farm to the eastern side of High Street and formed part of the farmyard that sits behind the Listed former Farmhouse. They were historically attached to a large barn that was the subject of a successful planning application for residential conversion. Both the cottages and the barn are Grade II Listed. The application included one of the cottages, which was derelict, as part of the conversion. The other cottage was occupied at the time and not part of the proposals.

The barn and cottages had been in disrepair and early in 2023 the barn collapsed causing structural damage to Cottage 2, which is the closest cottage to the barn. This resulted in serious structural damage to the cottage leaving it in danger of collapse. The barn has now been dismantled, with the knowledge of the Council, and the cottage is supported with buttressing and props. All works to the barn and cottages have been fully documented. The end cottage, Cottage 1, also received damage from the collapse, although less so, but it will also need structural repairs. The two planning applications for the cottages cover the restoration of both cottages and the part rebuilding of Cottage 2. The restoration will bring them up to modern standards, allowing them to be brought back into use as residential dwellings and securing their future for many years to come.

The farm has been in the ownership of Tata Steel, formerly British Steel, for a number of years and is one of many small land holdings in the area that form part of an historic portfolio and, as such, is surplus to the company's requirements.

The cottages fall within the designated settlement boundary and within the village conservation area.

A separate Heritage Statement has been prepared to assess the impact of the proposal on the buildings and the wider area.

This document should be read in conjunction with the individual proposal drawings and schedule of works.

A plan showing the location of the site is shown on the following page.

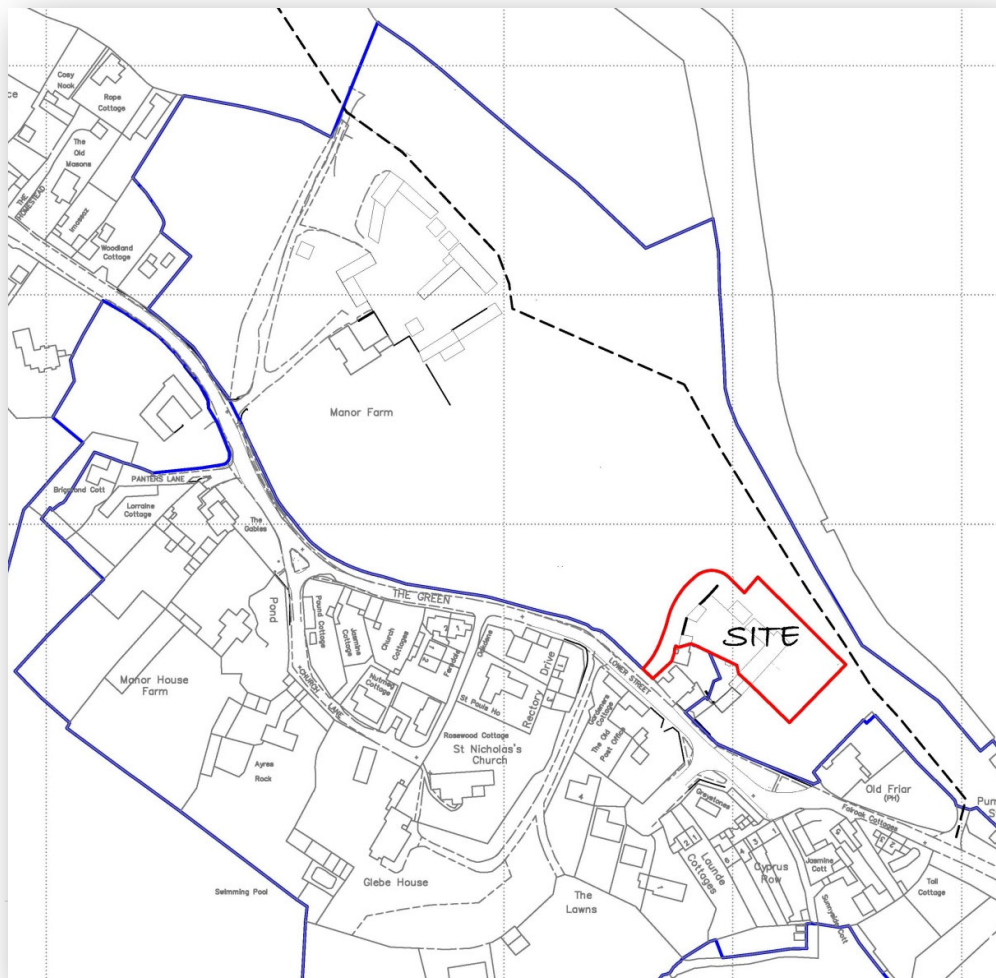


Fig 1.1 Location Plan

EXISTING

The site is located to the eastern side of Lower Street and to the rear of Home Farm. Although this application is for the cottages the wider site also consists of the large stone barn that collapsed early in 2023 (the rebuilding of this is covered by a separate planning application)

The cottages comprise of an identical pair that were formed from the original barn structure in the 19th century. Of the two, Cottage 2 that is closest to the barn is seriously structurally damaged. The party wall with the barn having split away from the rear wall, pushing the rear wall out and leaving it in danger of collapse. The rear wall is now thankfully buttressed to prevent it from collapsing. Cottage 2 needs significant structural repairs and rebuilding together with significant internal restoration/repairs. Cottage 1 also has structural issues and is not habitable. This is relatively intact but still needs significant restoration and upgrading.

The Heritage Statement provides more detail on the history of the buildings and a Structural Assessment has been prepared to outline the works necessary to ensure the longevity of these historic buildings.



Cottage 1 front elevation



Cottage 2 rear elevation



Cottage 2 rear elevation and collapsed barn



Cottage 2 end elevation and collapsed barn



Cottage 2/barn part wall/gable end with rear wall separated



Cottage 2 props to ceiling in living room



Cottage 2 removed section of roof



Cottage 2 removed section of roof and gable end

ASSESSMENT

2

PLANNING HISTORY

The site is one of a number of agricultural holdings that were subject to a comprehensive planning enquiry in 1995 on behalf of TATA.

In 2020 a number of planning applications were submitted for the residential conversions of the barns within TATA's ownership. These were successful and the conversion to residential use of Manor Farm barn was amongst those approved. This included a proposal to absorb the end (damaged) cottage into the conversion (whilst the remaining cottage was to carry on being occupied

PROPOSALS

3

The proposal ensures the necessary areas of rebuilding will be undertaken in order to return the cottages to being in a structurally sound, livable condition. Any rebuilding will be on a 'like for like' basis using existing materials that have been salvaged from the site to rebuild elements such as the end gable chimney and areas of the rear wall of Cottage 2. Any new materials required will be carefully matched to the original items.

Cottage 1

A detailed structural report informs the scope of the necessary repairs to the existing buildings, as previously noted, and will be extensive. All remedial work and repairs will be carried out with appropriate materials and using traditional techniques.

Cottage 1 will need significant structural repair work. It is proposed to remove the roof structure in order to replace the wallplates and any elements of the roof structure as necessary. The roof is to be reinstalled using the original timbers as far as possible, supplemented with new timber or steelwork as necessary.

The original slates will be used and these will supplemented with new or reclaimed slates as necessary. The loft will then be insulated.

Some rebuilding of the rear wall will be needed in order to tie the party wall between the cottages to it to make the structure rigid. The extent of this is to be determined. The original barn/cottage building was formerly a barn from which the cottages were formed at a later date. As such the party walls between each of the cottages and between the cottages and barn were never tied into the rear wall, which led to the structural collapse.

In addition to the structural repairs full restoration and upgrading of the interior will be needed.

Cottage 2

A detailed structural report informs the scope of the necessary repairs to the existing buildings, as previously noted, and will be extensive. All remedial work and repairs will be carried out with appropriate materials and using traditional techniques.

The roof covering, rafters and most of the roof trusses have been removed from Cottage 2, following advice from the structural engineer and with knowledge of the Council. These are presently stored on site for use in the rebuild.

The rebuild will involve taking down the chimney, end gable and rear wall of Cottage 2 and part of the rear wall of Cottage 1 (extent to be determined). The original barn/cottage building was formerly a barn from which the cottages were formed at a later date. As such the party walls between each of the cottages and between the cottages and barn were not tied into the rear wall. This lack of structural integrity has contributed to the extent of the structural damage enabling the rear wall to fall away.

The rebuild will see that the existing cottage party walls are tied into the new rear wall, providing a rigid structure. A new strip foundation will be needed, which will require any existing foundation to be grubbed out. The new stone wall will then be built from the foundation using lime mortar.

The first floor joists of Cottage 2 are built into the rear wall that will be taken down. So as not to disturb the floor joists the floor is currently supported on steel props ahead of the rear wall being taken down. The new wall will then be built up to support the existing joists, tying them into the new structure. The first floor structure will be inspected for any rot and repaired or treated at the same time. The staircase is rotten and will need to be replaced.

The new wall will feature replacement timber double glazed windows.

The party wall with the barn will be rebuilt at the same time, ensuring the new elements of structure are tied together and the chimney will be rebuilt to replicate the original.

Common Works to both Cottages

Presently there is not a full height party wall within the roof space between the two cottages. A new fire proof party wall will be built as part of the works.

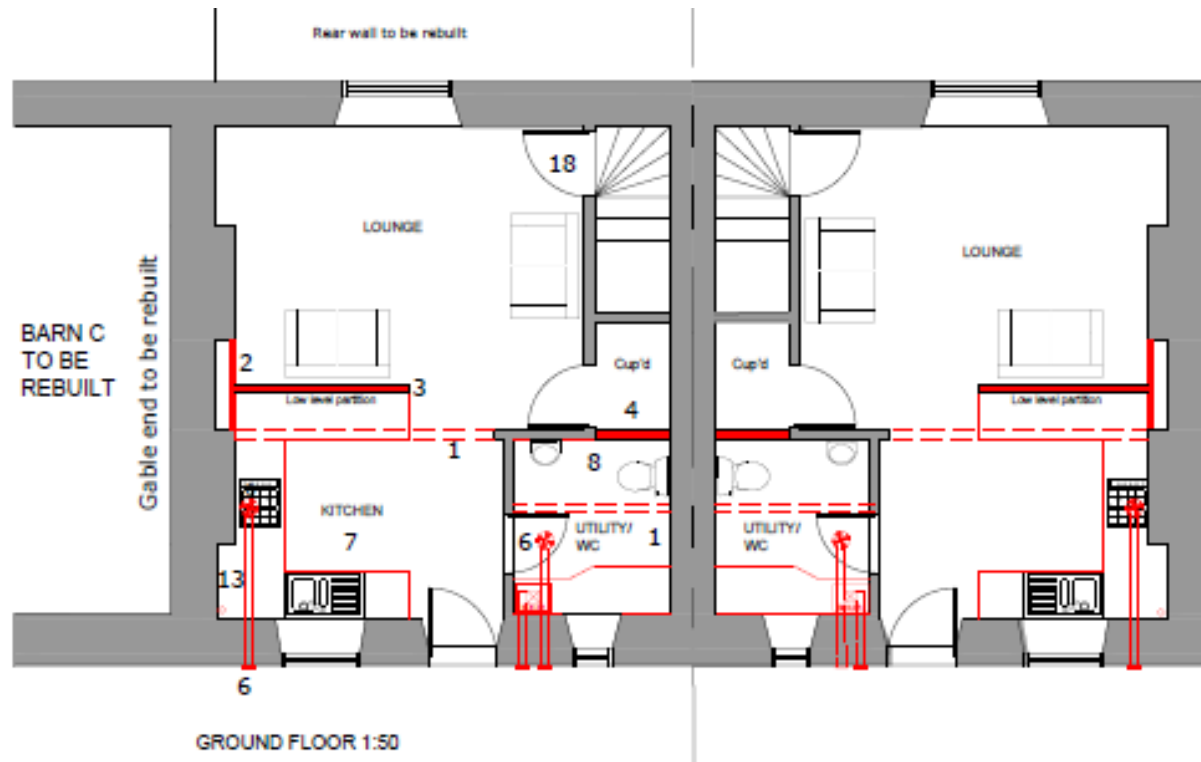
Significant restoration work will be required inside the cottages once the necessary structural work has been undertaken. As part of these works the cottages will be reconfigured to provide accommodation that is more suited to modern living.

The kitchens will remain at the front of the dwelling but will be enlarged by removing the existing dividing wall to create an open plan Kitchen and Living area. This will allow the kitchens to be increased to a usable size by enabling an additional run of units to be accommodated along a low level partition. This enables a degree of visual separation to be provided between the two spaces.

A utility room will be created adjacent to the kitchen by removing some of the existing cupboard that also runs under the stairs. The Utility Room will enable the kitchen to function without the need to accommodate a washing machine and dryer. A WC is proposed to be provided in the Utility Room which will improve the functionality of the ground floor as there was previously only an external toilet.

The first floor will be reconfigured to provide a shower room and Bedroom to the front of the dwelling. The current arrangement does not provide a fully functional bathroom and the second bedroom has to be accessed through the main bedroom. Additionally the 'bathroom' is only separated from the second bedroom by a flimsy hardboard partition. The proposed arrangement will allow the Shower Room to be accessed directly from the bedrooms via a 'jack and jill' arrangement.

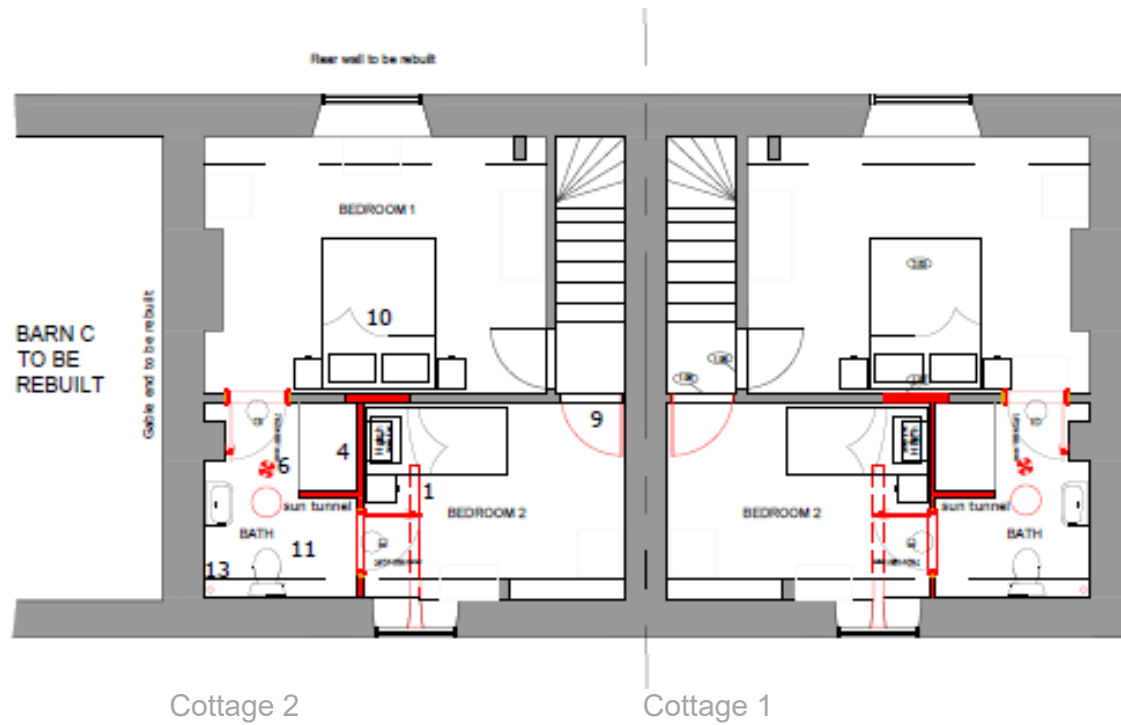
The Ground and First Floor changes will see that the legibility of the cottage will remain with sympathetic interventions made necessary to enable the cottages to be acceptable living environments in the present day.



Cottage 2

Cottage 1

Proposed Ground Floor Plans



Proposed First Floor

Summary of Proposed Works

- Minor repairs to be carried out to brickwork and stonework pointing where required. New pointing to match existing pointing in colour and type.
- Vegetation growing through Cottage 2 to be removed structural repairs to be carried out and made good
- Gable end and rear wall of Cottage 2 are to be rebuilt as per the original cottage using stone salvaged from the original construction using lime mortar. The roof is to be rebuilt using slates salvaged from the original roof
- Roof structure and covering of Cottage 2 to be inspected and overhauled/renewed as required in matching or original materials, including reinstatement of roof trusses
- Cottage 2 chimney to be rebuilt to match original
- First Floor structure of Cottages 1 and 2 to be repaired and renewed as necessary along with floorboards
- Roof structure and covering of Cottage 1 to be removed and wallplates replaced. The roof is to be reinstalled using the original timbers as far as possible, supplemented with new timber or steelwork as necessary.
- Lead flashings to be inspected and replaced as required with appropriate thickness of lead.
- Gutters and downpipes to be inspected for leaks and replaced where required with matching new sections..
- Damp Proofing - Ground floor walls to be surveyed for dampness. Further details to be submitted detailing findings, type of proposed treatment and remedial works.
- Timber Treatment – Floor and roof timbers to be surveyed for woodworm and beetle infestation. Further details to be submitted detailing findings, type of proposed treatment and remedial works.
- Windows – Windows to be replaced with double glazed timber windows to match originals

- Repair and/or renewal of internal joinery including staircases, skirting boards, door linings and architraves, doors
- Renewal of electrical installations
- Installation of new plumbing and heating systems
- Replastering where necessary with lime plaster
- Complete internal redecoration with appropriate materials

The proposal will bring both of the cottages back into use whilst retaining their value as heritage assets and in doing so will ensure that their appearance will remain as per the original cottages with no additional external interventions proposed except for essential repairs, replacement timber windows and extract grilles for the kitchens and utility/wc.

CONCLUSION

4

The works to the cottages are essential to ensure that they are made safe and do not deteriorate any further.

The proposals are sympathetic to their Listed status and will see the cottages brought up to modern standards with the minimum interventions. The restoration works will secure their future for many years to come.

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