

DOC. REF: RJS_MS-01-DAS-01

MARCH 2024

16 CRESKELD DRIVE - BRAMHOPE

CONSTRUCTION OF SINGLE STOREY ATTACHED GARAGE
EXTENSION TO THE SIDE OF DWELLING HOUSE

FOR

MR. M. SIMPSON

DESIGN & ACCESS STATEMENT FOR HOUSEHOLDER
PLANNING APPLICATION WITHIN CONSERVATION AREA.

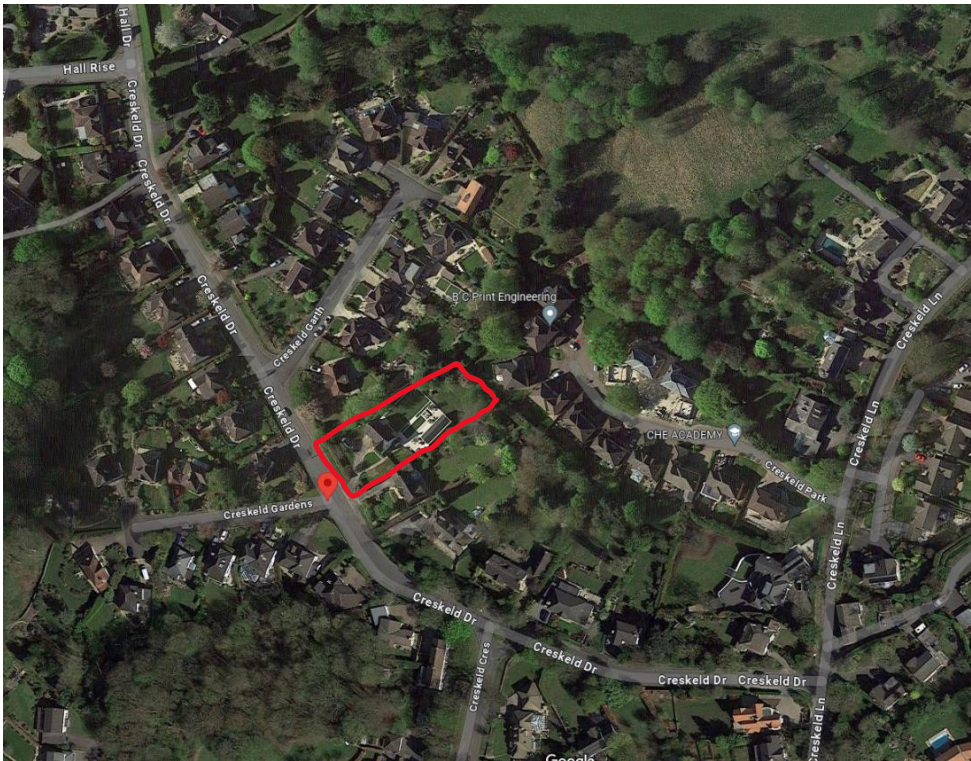
RJS-4 design

ARCHITECTURAL DESIGN

Site context / history:

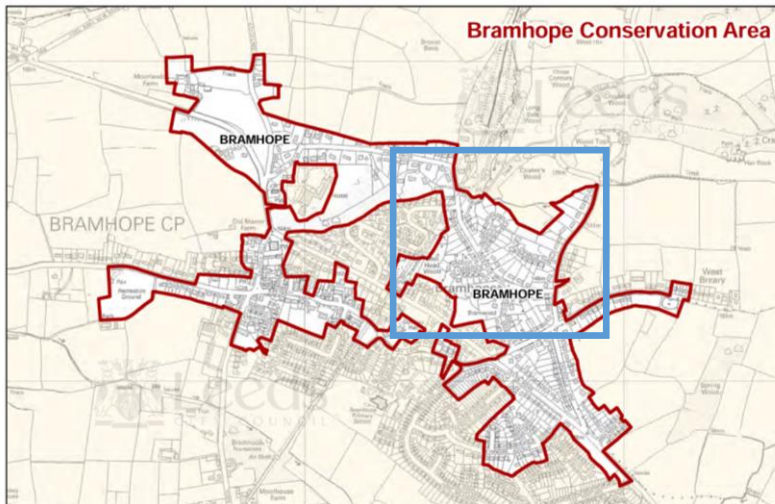
No. 16 Creskeld Drive is part of a private housing development dating back to the 1930's / 40's. The house is set within a large plot and has been developed in recent years forming new extensions and a detached garden annexe building.

The area of site where the proposed development is to be constructed is visible from Creskeld Drive and is set at lower ground floor level from the main house at the same level as the existing basement garage.

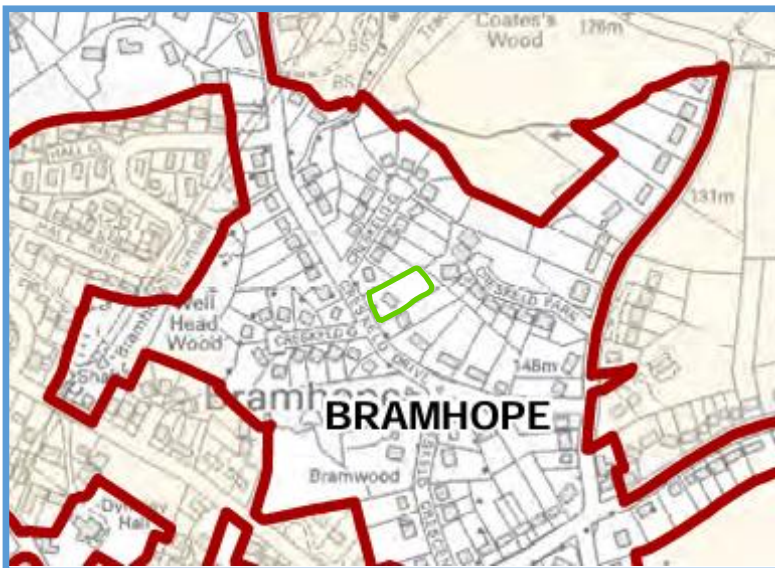


Aerial Views of Site Location

The site of 16 Creskeld Drive sits with the designated Conservation Area of Bramhope. It is therefore recognised that the new extension needs to be sympathetic to the character of the CA in terms of scale / form and built using appropriate materials.



Overall Bramhope Conservation Area



Site Location within Conservation Area 

Existing buildings within the application site area:

The existing dwelling house consists of:

Main house – four storey dwelling having:

Lower ground floor / basement garage. Ground floor - living / dining areas, kitchen / utility areas, entrance hall and wc. First floor – four bedrooms together with bathroom and en-suite areas. Loft area with two bedroom/ study areas.

Garden Annex:

Detached building sitting to the rear of the main house.

Externally the property has a large driveway and parking areas to the South side, giving access to the garages and the main house entrance door. There is a pathway then linking the front and rear of the site, from which access is gained into the main house and the rear garden and garden annex.

New extension building design:

The extension is to provide additional garage space to supplement the existing single garage under the main house.

Characteristics of the proposed buildings –

The new extensions are to be constructed in a scale and form, so to be sympathetic with the existing house.

The walls are to be natural coursed sandstone to match to the existing stonework. This shall include and coping stones to cap off the parapet walls around the extension flat- roof area.

The garage door shall be a flat panel self-finished overhead door.

Access for people and vehicles:

The new extension will have level access from the driveway area.

Parking for vehicles will be available within the grounds of the existing property, accessed from via the current driveway.

Reasons for development / Conclusion:

The applicant believes the following points give justification for the proposals:

1. A property the size and scale of 16 Creskeld Drive should provide space for more than 1 car to be stored in a covered and secure space.
2. The new garage is set partially below the external ground level to the side and rear of the property which lessens the visual impact the neighbour properties.
3. The extension is sympathetic in both form and mass, and the use of matching materials will ensure that they blend in with the existing house and surrounding properties.

Therefore, in conclusion, the proposals are not believed to be detrimental to the Conservation area or the surrounding properties or neighbouring residents.