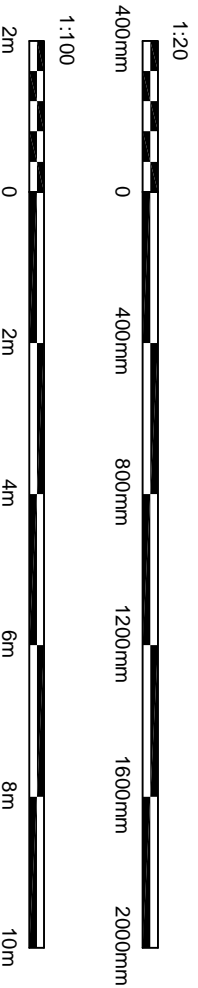


PROPOSED ROOF PLAN

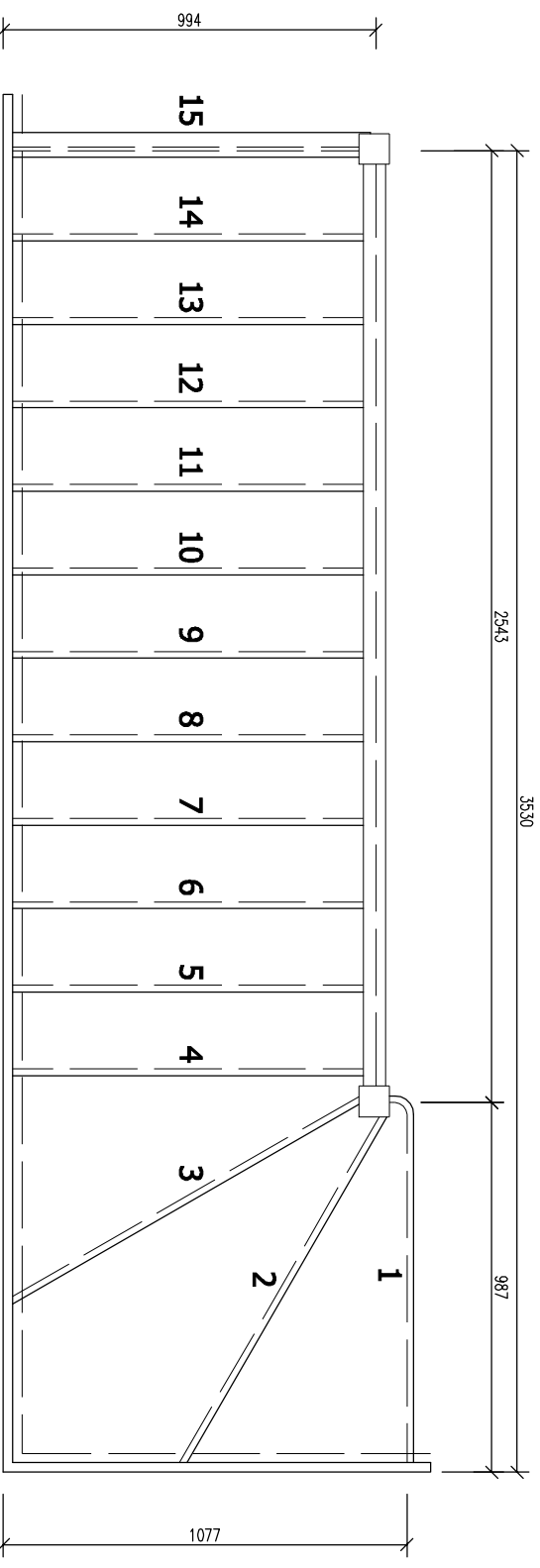
Scale 1:100



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DRAWING STATUS	PLANNING		
REV.	DATE	NAME	DESCRIPTION

Architectural Design Studio
DPL
 4 ST ANNES, DORIC WAY,
 EUSTON, LONDON NW1 1LG
 +44 07838 135 957



STAIR DETAIL

Scale 1:20

ALL STRUCTURAL ELEMENTS (such as beams, inlets, joists, rafters, columns, walls, foundations and etc.) SHOWN ON DRAWINGS ARE ONLY INDICATIVE. THEY ARE SUBJECTED TO FURTHER STRUCTURAL ENGINEER'S CONSIDERATION.

GENERAL NOTES:
 Any dimensions shown are indicative only and are subject to verification on site. The contractor to set out, check and co-ordinate all dimensions on site during the course of the works and prior to setting out on site. This drawing to be read in conjunction with all other Architect's and Engineer's drawings, Structural Engineer's calculations and any specialist supplier drawings. Homeowner is responsible and should ensure that all working drawings and calculations are completed, approved by Building Control or Planning Departments & that they are the current revised drawings before any works start on site.
 2. Inform the Building Control department that the works are about to commence on site after receiving an approved decision from planning / building control in writing for your proposed works.
 3. Verify boundary lines & ground conditions including checking positions and new connections of all gas, water, electricity, drainage, etc. before commencing works.
 4. DPL are not responsible for builders changing design methods from proposed works. The client is responsible for any changes to the design. DPL are not responsible for any additional structural design changes on site from the start to end of building works requested by building control or any other third party's instruction during building works.
 5. Owner is responsible for providing suitable and safe access to the site for the building works.
 6. Request a copy of the Party Wall Award where works affect party wall or involve excavations within 3 meters of adjoining buildings or building over a public sewer. (Client's responsibility)

7. Where works involve demolition to ensure that all elements of the building and adjoining structures are accounted for and that all necessary propping and temporary supports are in place. Do not scale off this drawing as the scaling may be off.
 8. Works carried out under a building notice or prior to approval of drawings are at the contractor's/owner's risk. (All DPL drawings must be approved before works commence) and the contractor is fully responsible for the likelihood of condemned works.
 9. Any discrepancies, either between written and site dimensions or between this drawing and other consultant's or supplier drawings, should be brought to the immediate attention of DPL before executing the structural, drainage, mechanical and electrical works which is on site then this will need to be brought to DPL attention straight away before work commences and purchase of materials be made so an alternative design can be recommended and approved by building control or the engineer before works commence.
 10. All of DPL structural designs are subject to building being in place. If the existing structure is not sound, the contractor will need to obtain on a different method of construction, if required by an engineer. No additional work being undertaken on site by building control inspector/builder for load bearing or non-load bearing studs before purchase of steel/s, if non-load bearing then steel/s should not be ordered. No refund or claim can be given against DPL on the design/materials changed for these steel/s.

OTHER NOTES:
 All new proposed roof and wall finishes on this drawing to match existing materials. All new proposed roof and wall finishes shall be in accordance with the Building Regulations. All new proposed proposed windows shown on this drawing which overlook other property's are designed to be non opening and of obscure glazing. For a permitted development left design the former designed on this drawing is set back from the street by 200mm, this note is a confirmation that it is designed this way. All works to be carried out in accordance with the latest applicable codes of practice and to comply with current building regulations.
 An inspection of the underground drainage was not possible on survey. Contractor should check drainage runs and ensure they are not blocked. All drainage connections are assumed & is subject for checking by builder. Thomas water & building control, if necessary, should be notified before works commence. THIS DRAWING CONTENT INCLUDING NOTES IS BOUND TO SIGNED AGREED CONTRACT BETWEEN CLIENT & DISCOUNT PLANS LTD
PRINT @ A3 SHEET SIZE
 www.discountplansltd.com

SITE ADDRESS	
6 KIRKHAM ROAD, EAST HAM, LONDON, E6 5RY	
DRAWING TITLE	
PROPOSED DRAWINGS	
DRAWN AT	DRAWN BY
SCALE AS SHOWN	27. FEBRUARY, 2024
DRAWING NO.	REVISION
DPL.08.	-
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