

DESIGN & ACCESS STATEMENT

PROPOSED FRONT GARAGE AT

ORCHARD HOUSE, WESTMILL, BUNTINGFORD SG9 9II

March 2024



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1. Introduction

This Design Statement has been prepared as part of a Planning Application submitted by [REDACTED] to the East Hertfordshire District Council. The application seeks consent for the demolition of the existing single garage and the construction of a double timber oak-framed garage. The existing property is a two-storey detached dwellinghouse with a detached garage, encompassing a total plot area of approximately 1,132 sqm.

This residential property is situated on the eastern side of the classified road, with vehicular access to the site from this route. Other residential plots adjoin the site in all directions. This dwelling is located within the group two village of Westmill and lies in close proximity to the main village green. The site is also within the Westmill Conservation Area and an Area of Archaeological Significance.

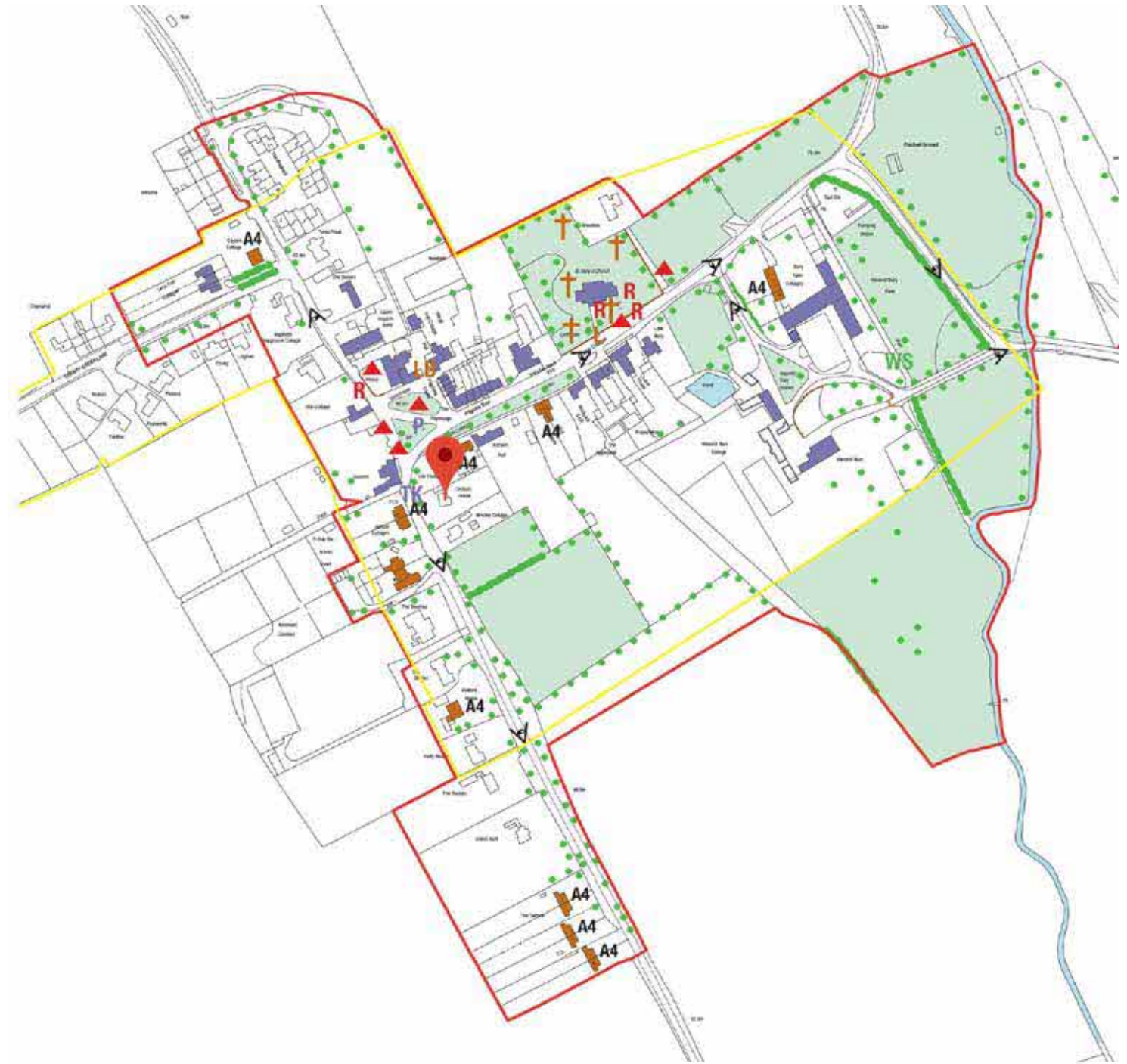
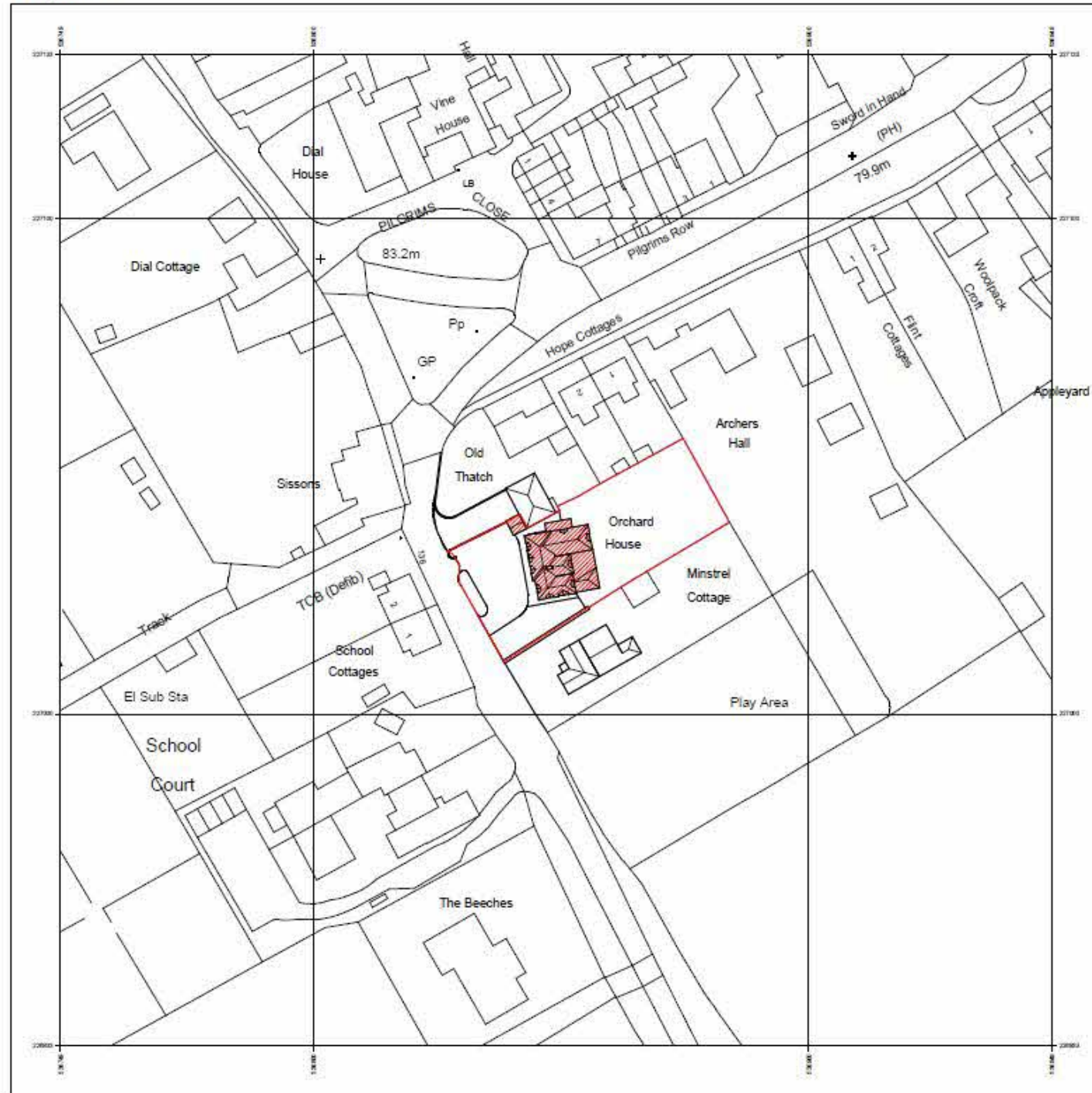
This proposal aims to provide better car parking accommodation to the property. The demolition of the single garage will enhance the property and clear the space with the Old Thatch. The proposed double garage will be located at same level that the entrance of the main building, therefore, considering the difference of level between the road and the house, the mass of the proposed building will have a reduce impact on the neighbouring facilities.

This proposal aims to provide better car parking accommodation for the property. The demolition of the single garage will enhance the property and improve the space between the Old Thatch and the main building. The proposed double garage will be located at the same level as the entrance of the main building, therefore, considering the difference in level between the road and the house, the mass of the proposed building will have a reduced impact on the neighbouring facilities.

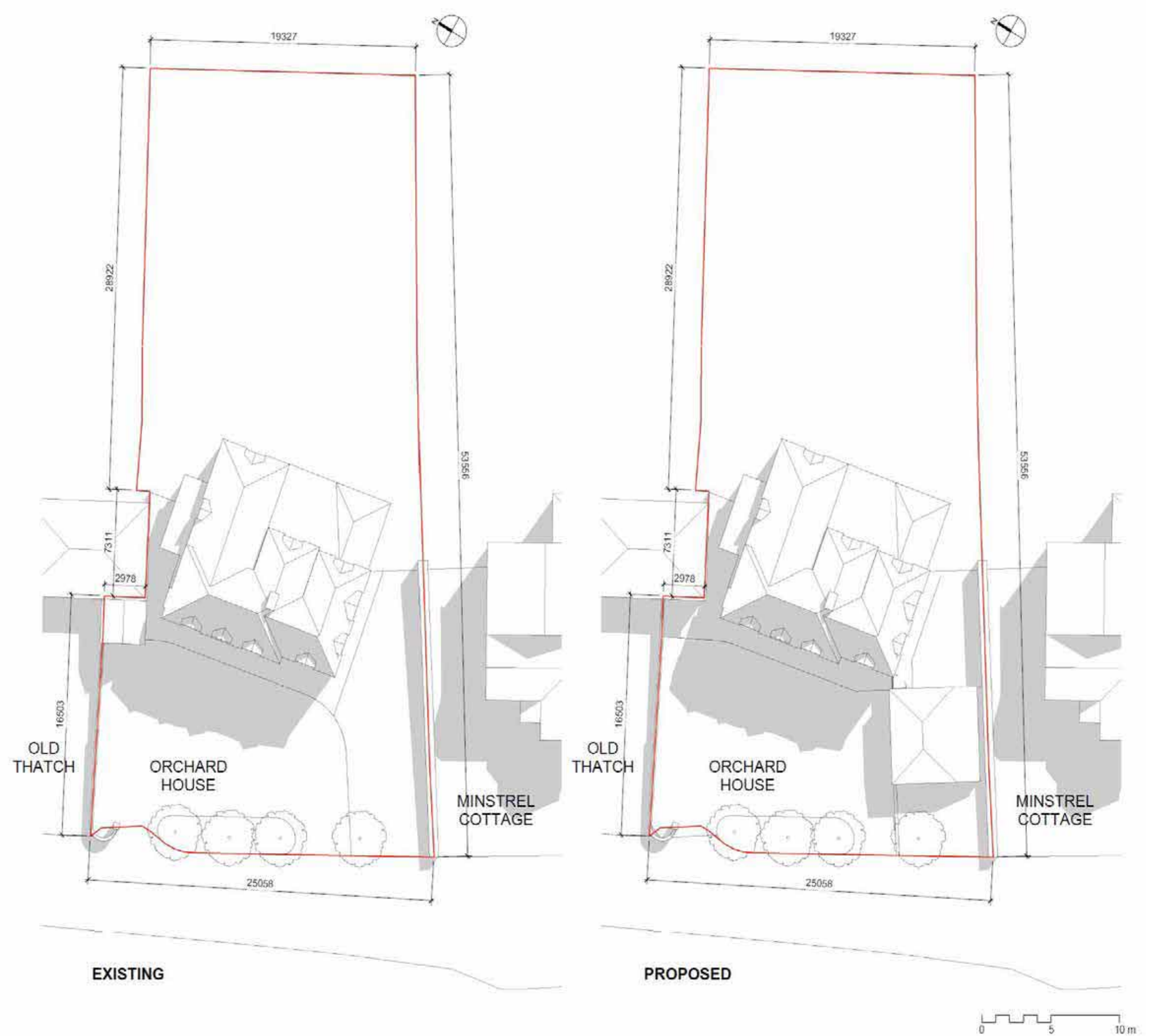
The double garage will have a pitched roof, be oak-framed, and incorporate slate tiling for the roof to match neighbouring properties. The form and materials of the garage are considered traditional in nature and acceptable for this historic setting, creating a rural village character.

2. Location Plan





3. Site Plan



4. Site Photos

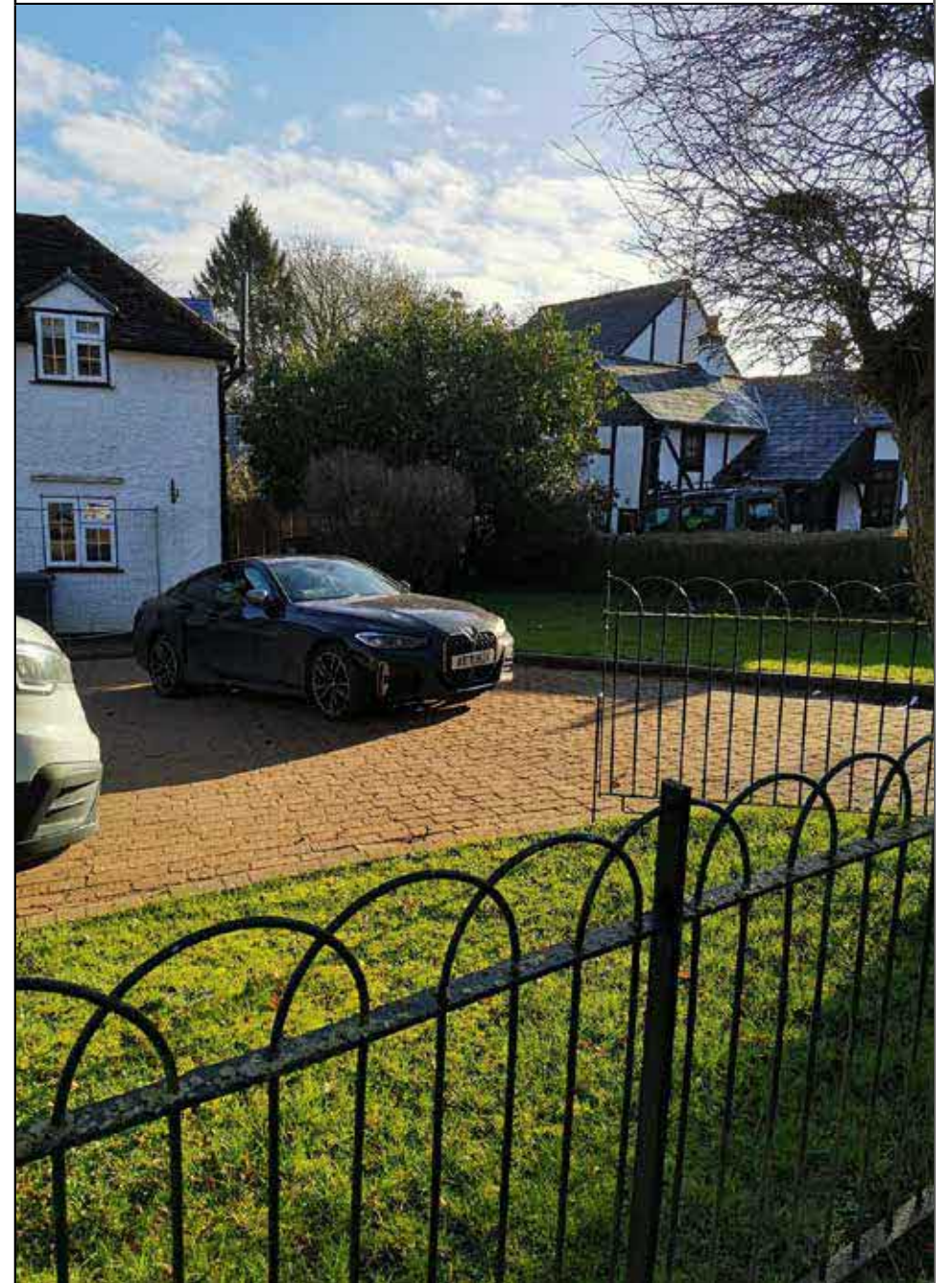
Orchard House front view.



Orchard House entrance street view.



Street view towards Minstrel Cottage.



Street view towards Pilgrims Close.



Inside view towards the road.



Street view towards Old Thatch.



5. Design and Access Statement

Access

The main access to the property is from a classified road, and vehicular access to the site is from this route. The access to the building already has a step-free approach to comply with Part M4(1) building regulations. The proposed garage will be at the same access level as the main house.

Amount

The proposal has been largely determined by the size and shape of the existing property. The development will consist of replacing the existing small garage with a double timber framed garage to the front of the house.

Westmill Conservation Area

The proposal has taken into consideration the Westmill Conservation Area Appraisal and Management Plan adopted in December 2017.

The site comprises a two-storey detached dwelling and a detached garage, which sit in a large plot. This residential property is situated on the eastern side of the classified road, and vehicular access to the site is from this route. The property has no architectural or historical interest and the proposed garage will not alter the layout of the conservation area.

The form and materials of the proposed front garage have been chosen to preserve and enhance the character and appearance of the conservation area, creating a rural village character.

Archaeology

The proposed development will involve comparatively little ground disturbance. Therefore, it is unlikely to have a significant impact on heritage assets of archaeological interest.

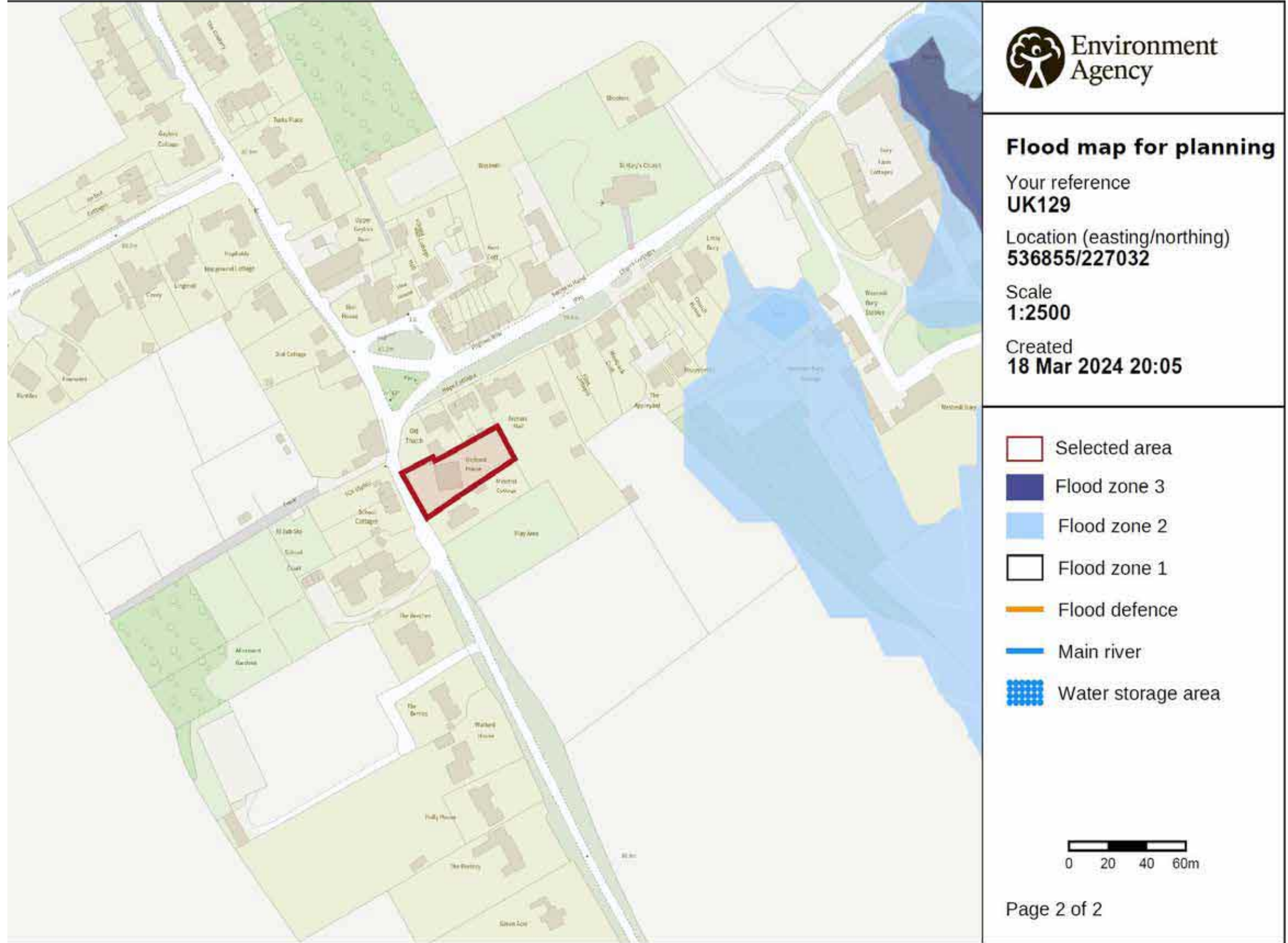
Hertfordshire Ecology

The Hertfordshire Environmental Records Centre does not have any existing habitat or species data for this site. However, the property is in a rural location, close to agricultural grasslands, woodlands, tree lines, and drains, which provide suitable opportunities for foraging and commuting bats. There are records of bats roosting in the vicinity.

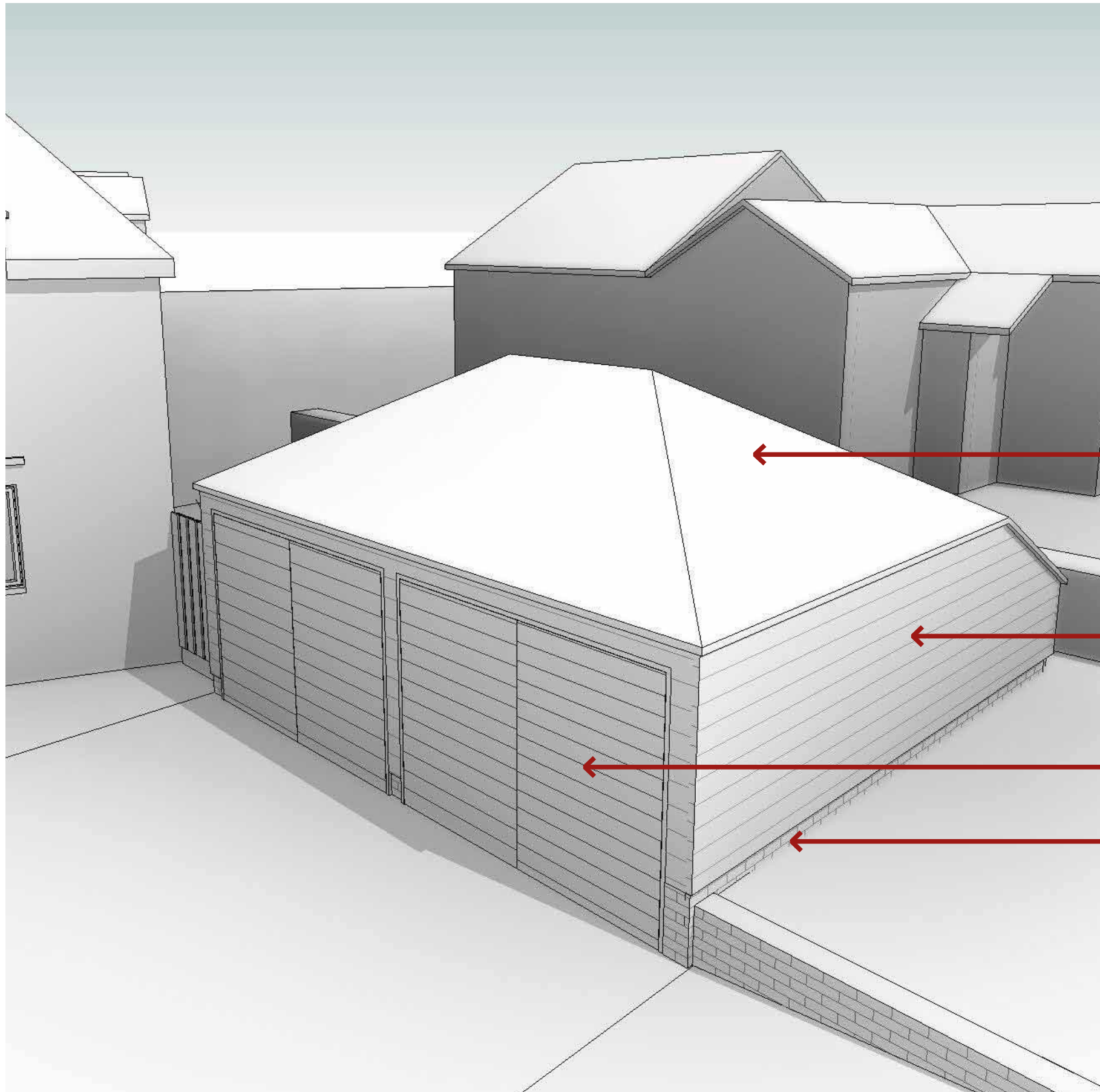
Given the nature of the site and considering that the proposed garage is a new building, it is not considered that there is a sufficient likelihood of bats being present and affected to require a formal survey.

6. Flood Risk Assessment

The proposed development is located in flood zone 1, an area with a low probability of flooding. This means that the proposal does not need to provide a flood risk assessment due to the development is smaller than 1 hectare and is not affected by other sources of flooding.



7. External Material Schedule



- A. Slate roof tiles to match existing
- B. Feather edge timber cladding painted black
- C. Solid timber garage doors
- D. Facing brickwork plinth

8. drawings