

TW/271/CT

18th March 2024



Mrs Sara Saunders
Head of Planning and Building Control
East Herts Council
Wallfields
Pegs Lane
Hertford
SG13 8EQ

town and country
planning consultants

Dear Mrs Saunders,

**Application seeking the discharge of conditions relating to planning permission
3/22/1006/VAR**

I am writing to you on behalf of Mr Robert Woodcock, in relation to applications seeking the retrospective discharge of conditions relating to planning permission 3/22/1006/VAR. The planning consent relates to the erection of 2 dwellings, 2 car ports and the formation of access points, boundary walls and ancillary development and the refurbishment of the listed building at Spring Grange, Wood End, Ardeley, Stevenage, SG2 7BB. The works to the listed building also has listed building consent under a separate reference. These applications seek to discharge the following planning conditions:

- Conditions 1 & 3 – Boundary and fence details
- Condition 10 – Hardsurfacing materials
- Condition 12 – Archaeology
- Condition 14 – Biodiversity enhancement plan
- Condition 15 – Landscaping

We understand that the fee required for the discharge of these conditions is £145 and this has been paid as part of the submission on the planning portal.

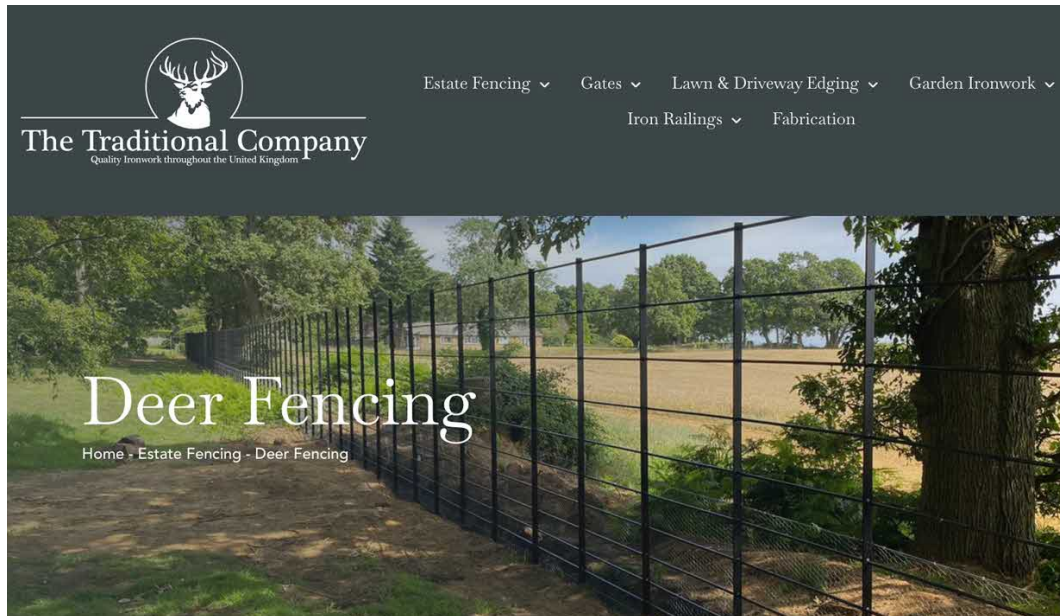
Conditions 1 & 3

Conditions 1 and 3 both have the same wording; they appear to be an administrative error where the same condition has been attached to the planning permission twice. Therefore, the Applicant wishes to discharge both conditions with the following submitted information.

A Proposed Landscaping Plan has been submitted to discharge conditions 1, 3, 10 and 15. For conditions 1 and 3 the Proposed Landscape Plan provides labels the location of the proposed boundary walls and fences. The details of the fences are provided below with an image and a weblink to the product. The walls and fences have already been constructed in the location shown

on the Proposed Landscape Plan and photographs of the wall using reclaimed brick from the site are also provided below.

Perimeter Deer Fencing - <https://www.thetraditionalco.co.uk/estate-fencing/deer-fencing/>



Cotswold Estate Fence - <https://www.thetraditionalco.co.uk/estate-fencing/>



The brick walls have been constructed from reclaimed bricks on site. Images are provided below:



We consider that these details in combination with the Proposed Landscaping Plan should be sufficient to discharge this condition.

Condition 10

This condition requires the details of all materials for hard surfaced areas within the site to be provided and agreed. The Proposed Landscaping Plan shows that the access road and car parking areas would be laid with open pour tarmac, sprayed with 5mm grit finish.

Footpaths from the street to the new houses and the paving to the rear of the properties are laid in grey Indian Sandstone, an image is provided below:



Indian Sandstone – grey multi

Condition 12

Condition 12 relating to archaeology and attached to the original permission 3/17/2822/FUL was partially discharged to allow commencement of development under application X/21/0169/CND. To discharge the remainder of this condition the following reports have been submitted in accordance with the requirements of the Written Scheme of Investigation:

- An Archaeological Watching Brief by PCA dated September 2022
- Historic Building Recording of the Farmhouse and Bothy by PCA dated November 2022

Condition 14

This condition requires a Biodiversity Enhancement Scheme to be submitted and approved in writing by the Local Authority. A Biodiversity Enhancement Scheme prepared by ELMAW Consulting has been submitted to discharge this condition.

Condition 15

This condition relates to the hard and soft landscaping proposals. The previously mentioned Proposed Landscaping Plan accompanies this planning application it provides details of the proposed hard and soft landscaping, as well as the tree positions which relate to the Arboricultural Report prepared by Peacock Tree Consultancy which includes a Tree Planting Plan and details of the planting schedule. The Proposed Landscaping Plan also provides the finished levels and contour details on the plan, in accordance with the requirements of the condition.

This application covers all remaining conditions that require discharging relating to permission 3/22/1006/VAR. Mr Woodcock is keen to complete these works, and as such we would be grateful for your swift attention to these conditions.

Please contact me if you have any queries with regard to the submitted details.

Yours sincerely,



Christine Thomson
Senior Planner
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