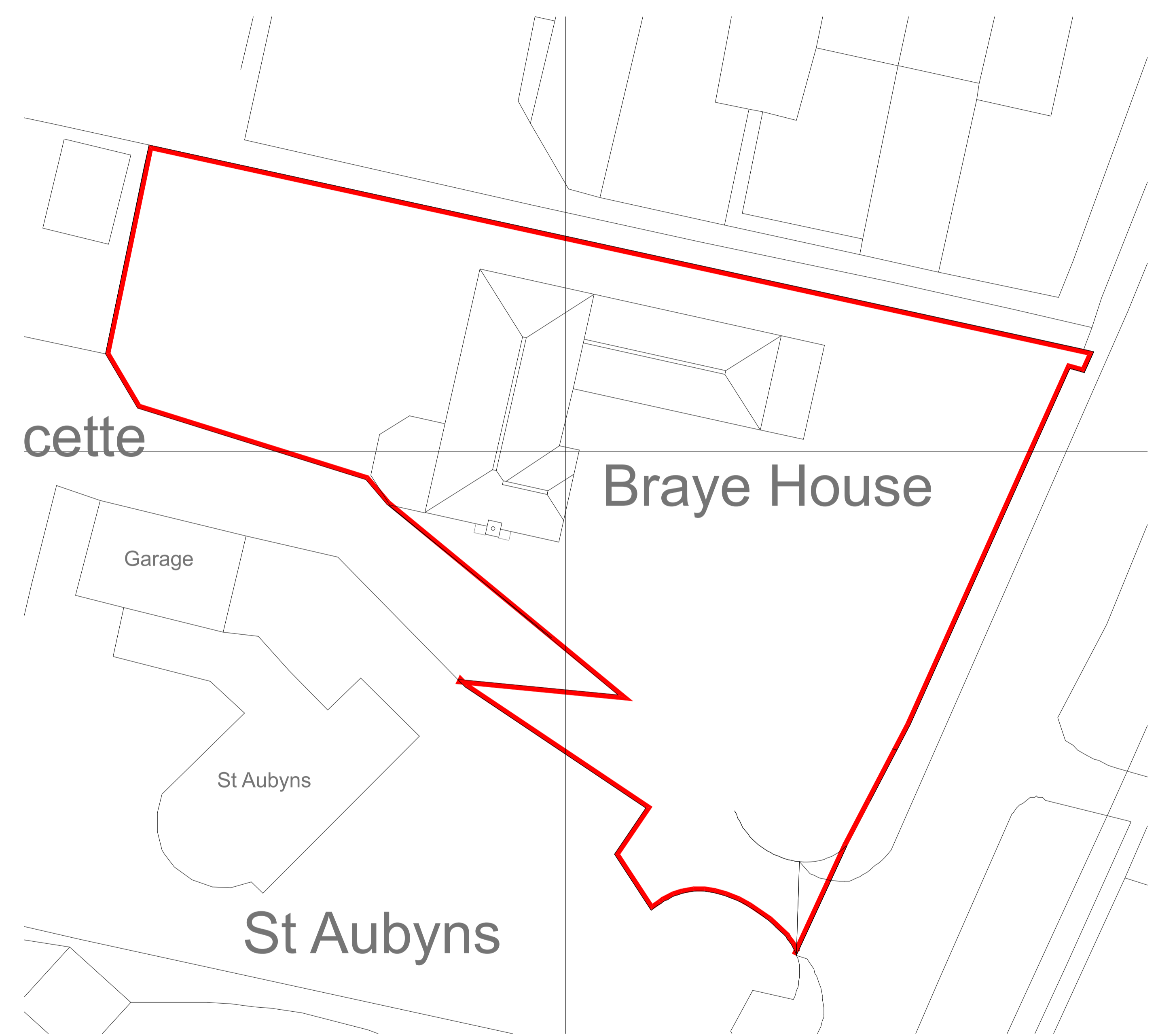


No.	Revision.	Date.	-
	DRAFT	14.08.2023	-
	TENDER ISSUE	19.12.2023	-
A	Updated as per planning comments	07.03.2024	-



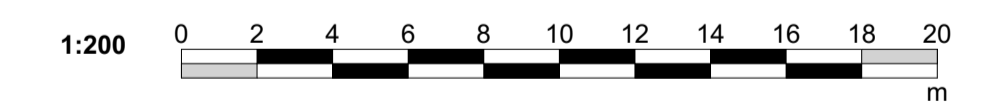
**Notes:** All site boundaries must be checked and verified with client and title deed information. Boundary shown for indicative purposes only.

Notes: All setting out must be checked on site. All levels must be checked on site and refer to Ordnance Datum Newlyn unless alternative Datum given. All fixings and weatherings must be checked on site. All dimensions must be checked on site. This drawing must not be scaled. This drawing must be read in conjunction with all other relevant drawings and specification clauses. This drawing must not be used for land transfer purposes. Calculated areas in accordance with the Architect's Definition of Areas for Schedule of Areas. This drawing must not be used on site unless issued for construction, subject to survey, consultation and approval from all statutory Authorities. This drawing has been prepared in accordance with the instructions of the Client under the agreed Terms of Appointment. This document is for the sole and specific use of the Client and the Architect's shall not be responsible for any use of its contents for any purpose other than that for which it was prepared and provided. Should the Client require to pass electronic copies of the document to other parties, this should be for co-ordination purposes only, the whole of the file should be so copied, but no professional liability or warranty shall be extended to other parties by the Architect's in this connection without the explicit written agreement thereto by them. Neighbouring buildings are approximate and are for illustrative purposes only. While we do not doubt the ridge and eaves height accuracy, we make no guarantee, warranty or representation as to the accuracy and completeness of the neighbouring buildings shown.



Data source expires 03 July 2024. Unique plan reference: v10197501120000  
 Crown copyright and database rights 2023 OS 100054135. Supplied by esri to ukplanning@esri.com a licensed Ordnance Survey partner (OS 10004110).  
 This map shows the data provided by Ordnance Survey (OS) for the location and is not intended to be used for any other purpose.  
 Produced on 03 July 2023 from the Ordnance Survey National Geographic Database and incorporating surveyed inclusion available at this date.

1 [Existing Site Plan]  
Scale: 1:1250



2 [Existing Block Plan]  
Scale: 1:200

**PLANNING ISSUE**

All dimensions must be confirmed on site and verified with the Architect. Any discrepancies on the drawing must be reported to the Architect prior to any works being carried out on site.

**DO NOT SCALE OFF THIS DRAWING UNLESS FOR PLANNING PURPOSES ONLY, only use stated dimensions for setting out purposes.**

The copyright of this schedule / drawing remains with the Architect. No part of this schedule / drawing may be reproduced in any form or by any means without the written permission of Julian McIntosh Architects.

Project:  
**Braye House**

Drawing Title:  
**General Arrangement Site Plan & Block Plan**

Drawing No.:  
**GA-01**

Date  
**14/08/2023**

Scale  
**1:1250/1:200**

