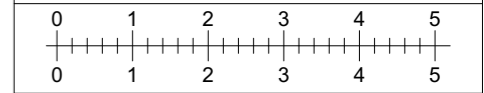


This scheme may be subject to Town Planning and other necessary consents. Ensure Building Control are notified 48 hours in advance of building works starting on site. Refer / comply with all approvals and associated conditions.

Dimensions, areas and levels where given are only approximate and subject to site survey. All dimensions are to be checked on site. Any discrepancies or variations are to be reported to the Architect before work commences. Figured dimensions only are to be taken from this drawing.

This drawing is to be read in conjunction with all relevant consultants and / or specialists drawings and specifications and any discrepancies or variations are to be reported to the Architect before affected work commences.

This drawing is COPYRIGHT



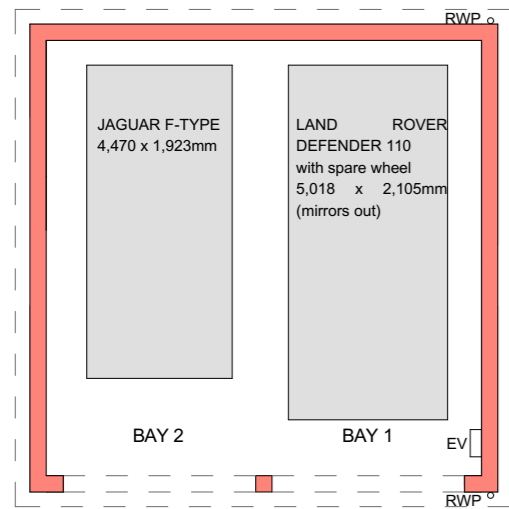
PLANNING STATEMENT

We have selected natural 'Welsh' slate roof tiles for the Cartlodge due to their inherent beauty, texture / colour, durability and low maintenance. Although this is a contrasting material to the existing cedar shingle of the bungalow, we think by using reclaimed slates, the roof can be installed with low embodied energy providing a life expectancy of 75-100 years.

The existing cedar shingles that line the bungalow roof are in poor condition, and although patch repairs have been made, the roof is well beyond its 50 year life-expectancy. With this in mind, the Cartlodge opts for a material of greater durability, that will outlast and therefore outperform cedar over the same lifespan.

MATERIALS KEY

- 1 Reclaimed Welsh Slate
- 2 Oak posts, beams and knees
- 3 Brick plinth - light red/brown brick and mortar to match existing bungalow.
- 4 Cedar horizontal boarding, painted to match existing.
- 5 Rainwater goods to match existing bungalow.
- 6 Soffits, fascias and barge boards to match existing bungalow.



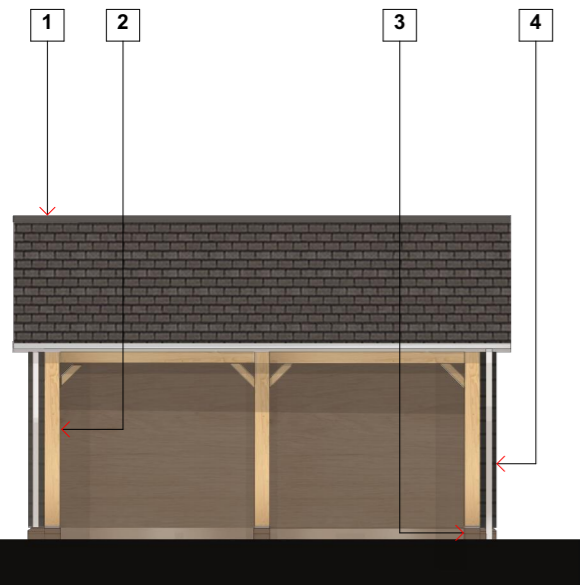
BOUNDARY TO CHURCH FIELD

ENTRANCE

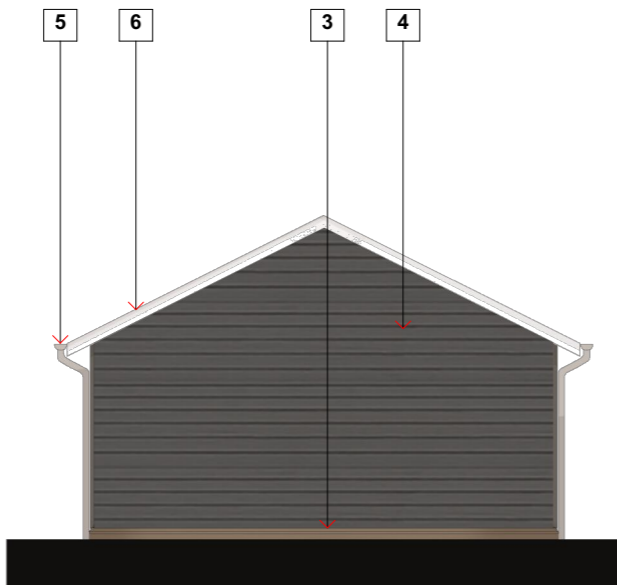


PROPOSED PLAN | 1:100

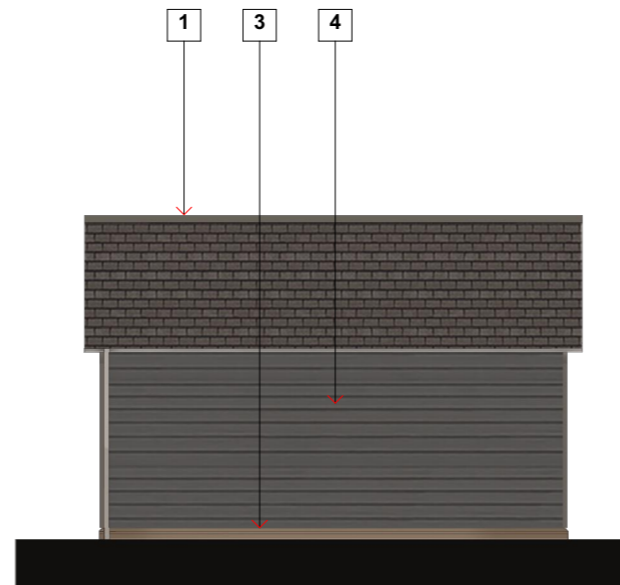
PROPOSED ROOF PLAN | 1:100



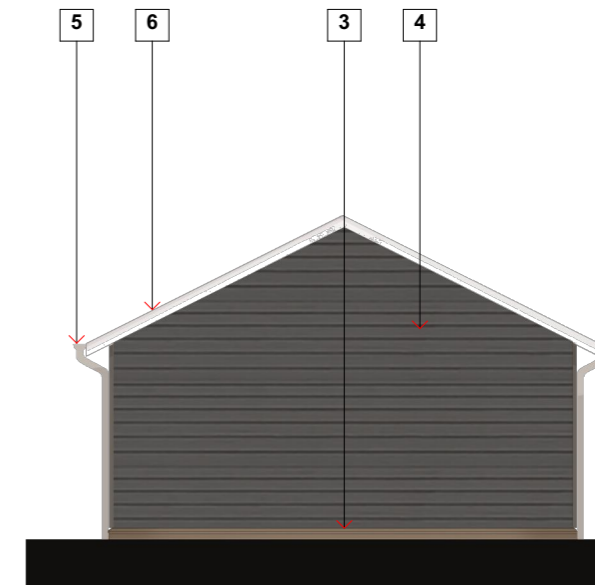
FRONT ELEVATION | 1:100



SIDE ELEVATION | 1:100



REAR ELEVATION | 1:100



SIDE ELEVATION | 1:100

| RevID | Issue d By | Issue Date | Layout Comment |
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Drawing Name

CARTLODGE PLANS & ELEVATIONS

Status

PLANNING

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A03-15