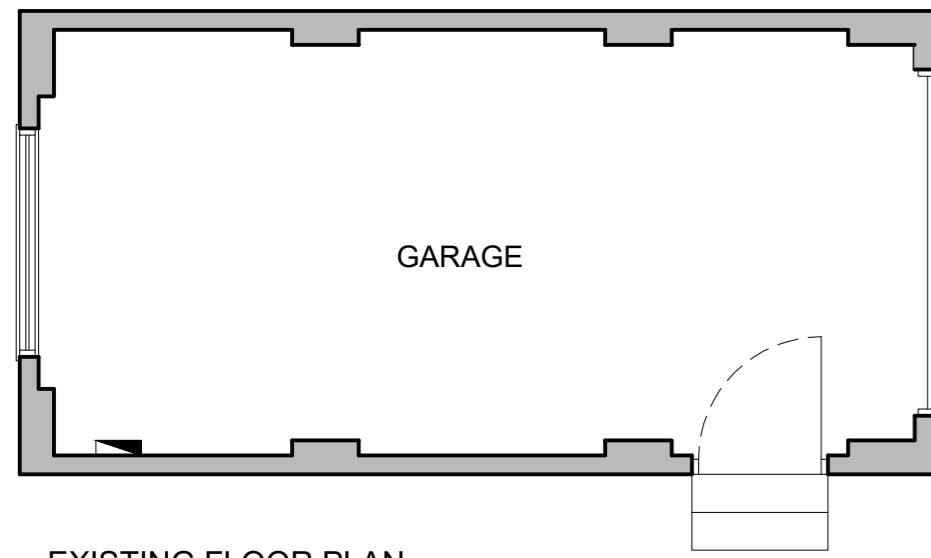
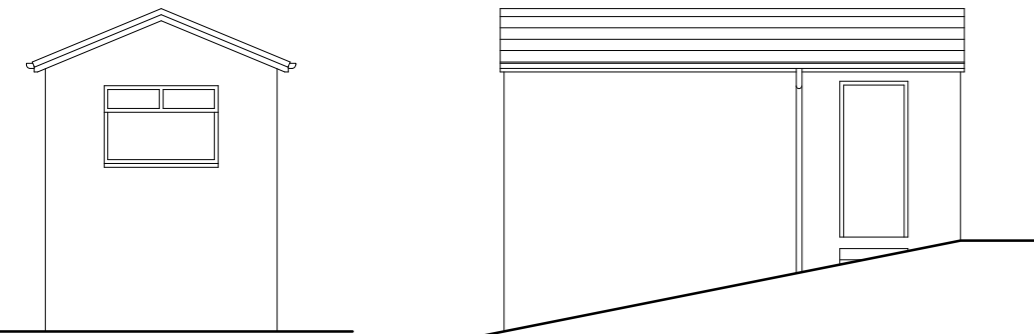


EXISTING INFORMATION

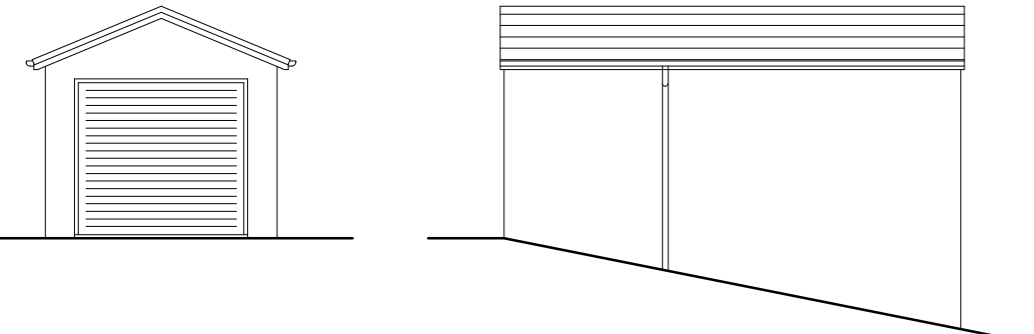


EXISTING FLOOR PLAN
SCALE 1:100



EXISTING REAR
ELEVATION (NORTH)
SCALE 1:100

EXISTING SIDE
ELEVATION (WEST)
SCALE 1:100



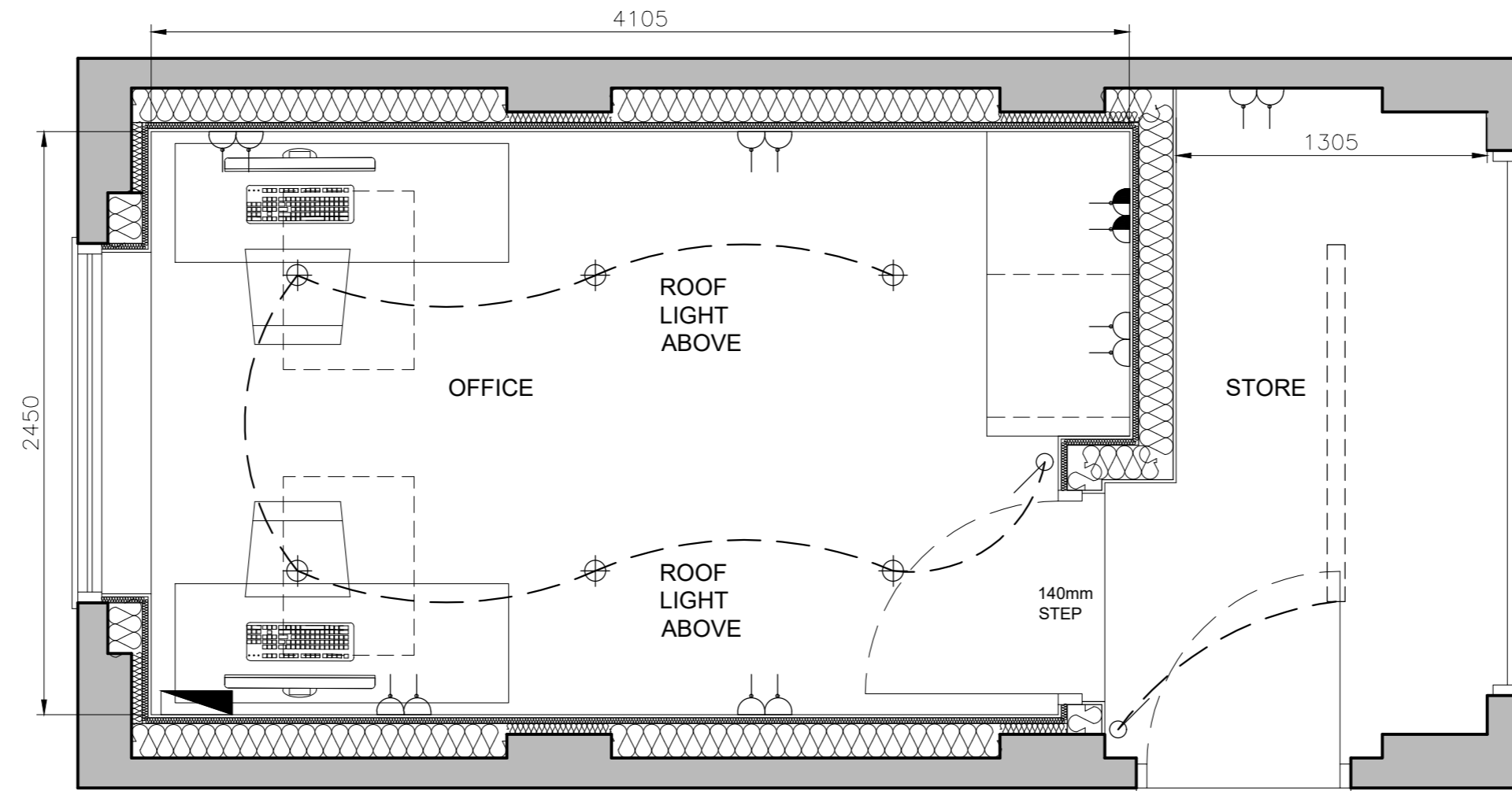
EXISTING FRONT
ELEVATION (SOUTH)
SCALE 1:100

EXISTING SIDE
ELEVATION (EAST)
SCALE 1:100

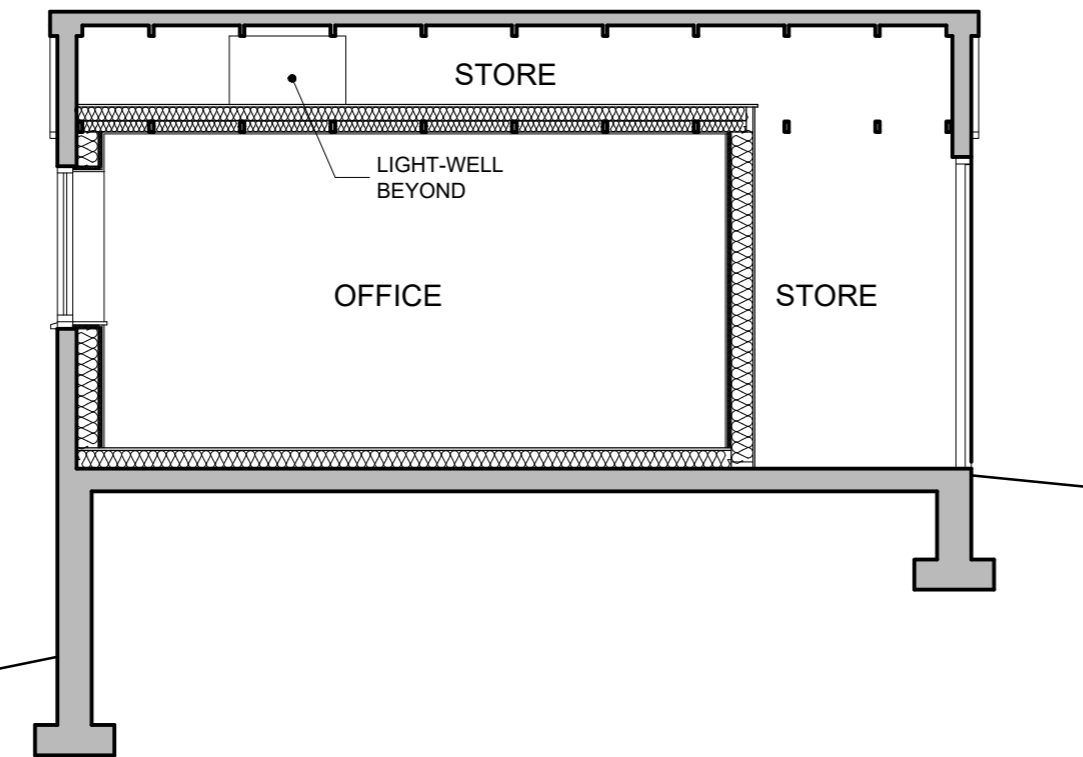


LOCATION PLAN
SCALE 1:1000

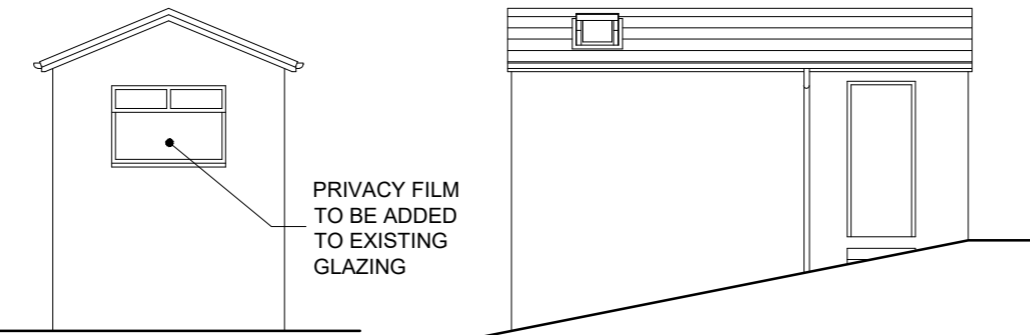
PROPOSED INFORMATION



PROPOSED PLAN
SCALE 1:25

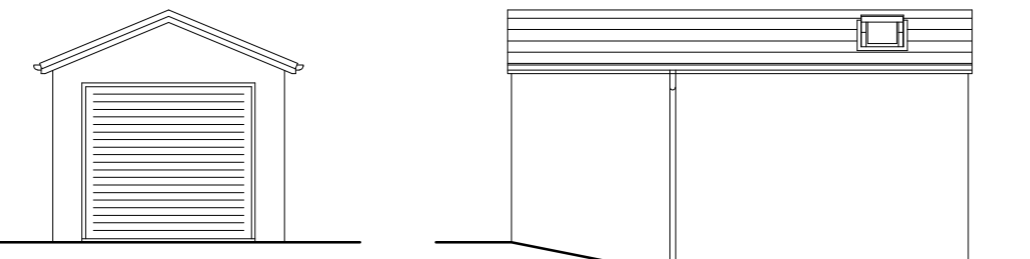


PROPOSED SECTION
SCALE 1:25



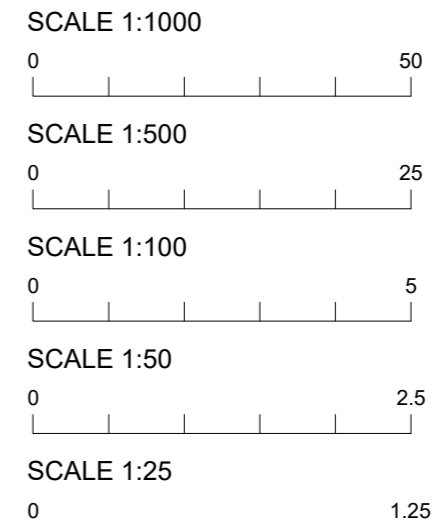
PROPOSED REAR
ELEVATION (NORTH)
SCALE 1:100

PROPOSED SIDE
ELEVATION (WEST)
SCALE 1:100



PROPOSED FRONT
ELEVATION (SOUTH)
SCALE 1:100

PROPOSED SIDE
ELEVATION (EAST)
SCALE 1:100



- ELECTRICAL KEY:**
- LIGHT SWITCH
 - HIGH LEVEL DOUBLE SOCKET
 - LOW LEVEL DOUBLE SOCKET
 - SPOTLIGHT
 - PENDENT LIGHT
 - SMOKE DETECTOR
 - FUSE BOARD

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THE EXISTING INFORMATION SHOWING ON THIS DRAWING IS BASED ON A NON-INTRUSIVE INSPECTION OF THE EXISTING PROPERTY. BEFORE ANY WORKS START ON SITE THE CONTRACTOR SHOULD CARRY OUT SUFFICIENT OPENING UP TO CONFIRM THAT THE INFORMATION SHOWN ON THE DRAWINGS IS CORRECT. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.

DO NOT SCALE FROM THIS DRAWING. ALL EXISTING DIMENSIONS AND ANGLES TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORKS OR PROCUREMENT OF MATERIALS.

ALL DRAWINGS MUST BE CONSIDERED PRELIMINARY UNTIL STATUTORY APPROVALS ARE IN PLACE. ANY WORKS COMMENCED PRIOR TO STATUTORY APPROVALS WILL BE AT THE CLIENTS RISK. ONLY INFORMATION CONTAINED WITHIN APPROVAL PACKAGES SHOULD BE USED FOR CONSTRUCTION PURPOSES.



BLOCK PLAN
SCALE 1:500

OUTLINE SPECIFICATION:

GARAGE EXTERNAL WALL: EXISTING 100MM CONCRETE BLOCK WITH ROUGH CAST FINISH. 150X45MM TIMBER STUDS FIXED TO EXISTING WALL, 110MM PIR INSULATION BETWEEN STUDS WITH TAPED JOINTS FOR AIR TIGHTNESS AND FINISHED WITH 37.5MM INSULATED PLASTERBOARD WITH PLASTER SKIM FINISH. **TO ACHIEVE A 'U' VALUE OF 0.17**

INTERNAL PARTITION: 150X45MM TIMBER STUDS WITH 110MM PIR INSULATION BETWEEN STUDS WITH TAPED JOINTS FOR AIR TIGHTNESS AND FINISHED INTERNALLY WITH 37.5MM INSULATED PLASTERBOARD & EXTERNALLY WITH 12.5MM PLASTERBOARD - PLASTER SKIM FINISH. **TO ACHIEVE A 'U' VALUE OF 0.17**

GARAGE GROUND FLOOR CONSTRUCTION: 18mm T & G MOISTURE RESISTANT CHIPBOARD FLOORING ON VCL ON 120MM PIR INSULATION ON DPM ON EXISTING CONCRETE SLAB **TO ACHIEVE A 'U' VALUE OF 0.15**

ROOF CONSTRUCTION: EXISTING ROOF FINISH AND STRUCTURE. 75MM PIR INSULATION BETWEEN TIES WITH 90MM PIR INSULATION OVER TIES. FINISHED INTERNALLY WITH VCL & 12.5MM PLASTERBOARD, PLASTER SKIM FINISH. **TO ACHIEVE A 'U' VALUE OF 0.12.**

SMOKE DETECTORS: A GRADE D SMOKE ALARMS SYSTEM IN ACCORDANCE WITH BS 5839: PART 6: 2019. SMOKE DETECTORS TO BE MAINS SUPPLIED AND INTERCONNECTED WITH 9V BATTERY BACK UP TYPE DUAL IONISATION WITH 85db HORN.

CENTRAL HEATING: ECLECTIC HEATING SYSTE. THE SYSTEM IS TO BE OPERATED WITH A TIME CLOCK. THE CENTRAL HEATING SYSTEM SHOULD BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS TO ENSURE OPTIMUM ENERGY EFFICIENCY. WRITTEN INFORMATION SHOULD BE MADE AVAILABLE FOR USE OF THE OCCUPIER ON THE OPERATION AND MAINTENANCE OF THE HEATING SYSTEM AND ANY DECENTRALIZED EQUIPMENT FOR POWER GENERATION TO ENCOURAGE OPTIMUM ENERGY EFFICIENCY.

INTERNAL DOOR: DOUBLE GLAZED EXTERNAL GRADE DOOR. ALL EXTERNAL DOORS AND WINDOWS ON THE GROUND FLOOR TO MEET THE RECOMMENDATIONS FOR PHYSICAL SECURITY IN SECTION 2 OF ' SECURED BY DESIGN' (ACPO, 2009). EXTERNAL DOORS TO BE CONSTRUCTED IN ACCORDANCE WITH BS 7412: 2007, AND BE INSTALLED IN LINE WITH THE RECOMMENDATIONS GIVEN IN SECTION 8 OF BS 8213-4: 2007 OR MANUFACTURER'S WRITTEN INSTRUCTIONS WHERE THESE MEET OR EXCEED THE RECOMMENDATION WITHIN THIS BRITISH STANDARD. DOOR LEAFS TO BE GENERALLY 826X2040 UNLESS OTHER WISE NOTED ON THE DRAWING (CLEAR MIN WIDTH TO BE 775mm). **TO ACHIEVE A 'U' VALUE OF 1.4**

ELECTRICAL: ELECTRICAL WORK TO BE CARRIED OUT IN STRICT ACCORDANCE WITH THE CURRENT EDITION OF THE REGULATIONS FOR ELECTRICAL INSTALLATIONS PUBLISHED BY THE IEE. ELECTRIC INSTALLATION MUST BE INSTALLED BY A CERTIFIER OF CONSTRUCTION WHO IS A MEMBER OF A SCHEME APPROVED BY SBSA (SCOTTISH BUILDING STANDARDS AGENCY) OR APPROPRIATE CERTIFICATES TO MEET THE RECOMMENDATIONS OF BS 7671: 2018 AND THE 17TH EDITION OF IEE REGULATIONS WILL BE REQUIRED BEFORE A CERTIFICATE OF COMPLETION WILL BE ISSUED. OUTLETS AND CONTROLS OF ELECTRICAL FIXTURES AND SYSTEMS SHOULD BE POSITIONED AT LEAST 350 MM FROM ANY INTERNAL CORNER, PROJECTING WALL OR SIMILAR OBSTRUCTION AND, UNLESS THE NEED FOR A HIGHER LOCATION CAN BE DEMONSTRATED, NOT MORE THAN 1.2 M ABOVE FLOOR LEVEL. THIS WOULD INCLUDE FIXTURES SUCH AS SOCKETS, SWITCHES, FIRE ALARM CALL POINTS AND TIMER CONTROLS OR PROGRAMMERS. WITHIN THIS HEIGHT RANGE: LIGHT SWITCHES SHOULD BE POSITIONED AT A HEIGHT OF BETWEEN 900 MM AND 1.1 M ABOVE FLOOR LEVEL. STANDARD SWITCHED OR UN-SWITCHED SOCKET OUTLETS AND OUTLETS FOR OTHER SERVICES SUCH AS TELEPHONE OR TELEVISION SHOULD BE POSITIONED AT LEAST 400 MM ABOVE FLOOR LEVEL. ABOVE AN OBSTRUCTION, SUCH AS A WORKTOP, FIXTURES SHOULD BE AT LEAST 150 MM ABOVE THE PROJECTING SURFACE. THE POSITION OF LIGHTS, SWITCHES AND SOCKETS TO BE AGREED WITH THE CLIENT PRIOR TO INSTALLATION. FIRE & ACOUSTIC RATED DOWNLIGHTS TO BE USED TO MAINTAIN SEPARATING FLOOR FIRE & SOUND INTEGRITY THEREFORE SEPARATE FIRE HOODS ARE NOT REQUIRED.

COUNCIL NOTIFICATION: IT WILL BE THE RESPONSIBILITY OF THE MAIN CONTRACTOR TO ENSURE THAT THE THE BUILDING CONTROL OFFICER IS PROVIDED WITH OR NOTIFIED OF THE FOLLOWING:
 1. COMMENCEMENT DATE OF WORK (WITHIN 7 DAYS)
 2. WHEN BELOW GROUND DRAINAGE HAS BEEN INSTALLED. PRIOR TO BACKFILLING.
 3. APPLICATION FOR COMPLETION CERTIFICATE (SEE BELOW).
 THE BUILDING CONTROL OFFICER MAY REQUIRE ADDITIONAL SITE INSPECTIONS DURING THE WORKS, AND ANY INSTRUCTIONS IN THIS REGARD MUST BE COMPLIED WITH. FAILURE TO COMPLY WITH ANY OF THE ABOVE MAY RESULT IN THE COMPLETION CERTIFICATE BEING WITHHELD.

COMPLETION CERTIFICATE: AN APPLICATION FOR CERTIFICATE OF COMPLETION (ENCLOSING CERTIFICATE OF ELECTRICAL INSTALLATION) MUST BE MADE TO THE COUNCIL WHEN ALL WORK IS COMPLETE (WITHIN SEVEN DAYS). THE BUILDING, OR THE PART CONCERNED WITH THE PROPOSED WORKS, MUST NOT BE OCCUPIED OR USED UNTIL THIS CERTIFICATE HAS BEEN GRANTED. FAILURE TO OBTAIN ONE CAN HAVE SERIOUS LEGAL IMPLICATIONS WHEN SEEKING TO SELL THE PROPERTY. APPLICANTS HAVE 9 YEARS FROM THE DATE OF BUILDING WARRANT GRANTED, TO COMPLETE THE WORK AND OBTAIN A COMPLETION CERTIFICATE, OTHERWISE THE WARRANT WILL EXPIRE, AND ANOTHER BUILDING WARRANT APPLICATION WILL BE REQUIRED.

GENERAL: THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS, NOTES AND SPECIFICATIONS ISSUED FOR THE PROJECT ALL DIMENSIONS ANGLES AND HEIGHTS TO BE CHECKED ON SITE AND ANY DISCREPANCIES NOTIFIED IMMEDIATELY AND PRIOR TO COMMENCEMENT OF WORK. ALL DIMENSIONS ARE IN MILLIMETRES (U.N.O.) DO NOT SCALE FROM THIS DRAWING OR THE COMPUTER DIGITAL DATA. ONLY FIGURED DIMENSIONS ARE TO BE USED IN CASE OF REPRODUCTION ERRORS. IT IS ADVISED NOT TO SCALE FROM THIS DRAWING. THE DRAWING HAS BEEN PRODUCED FOR THE PRIMARY PURPOSE OF OBTAINING LOCAL AUTHORITY APPROVALS. IF BEING USED FOR COSTING PURPOSES, IT MUST BE REGARDED AS A GUIDE ONLY, AS IT MAY NOT SHOW OR SPECIFY ALL THE WORKS, MATERIALS, FITTINGS OR FINISHES REQUIRED OR EXPECTED TO BE INCORPORATED. IT IS THE CONTRACTORS RESPONSIBILITY TO CHECK ON SITE ALL MEASUREMENTS SHOWN ON THIS DRAWING.

ALL WORKS TO BUILDING (SCOTLAND) ACT 2003 AND BUILDING (SCOTLAND) REGULATIONS 2004 AS AMENDED (2023).

B	Client updates	26.01.24
A	Client updates	24.01.24
Rev.No.	Description	Date

PROJECT
 PROPOSED GARAGE CONV.
 64 HOLEBURN ROAD
 GLASGOW.
 G43 2XN

CLIENT
 MARK UREN & CALLUM HAUSRATH

TITLE
 EXISTING PLAN, ELEVATION &
 LOCATION PLAN. PROPOSED PLAN,
 ELEVATIONS, SECTION, BLOCK PLAN
 & SPECIFICATION

SCALE	DATE	STATUS:
PER DRAWING @ A1	JANUARY 2024	PLANNING / BW

DRAWING NUMBER:	REV:
1503_011	B