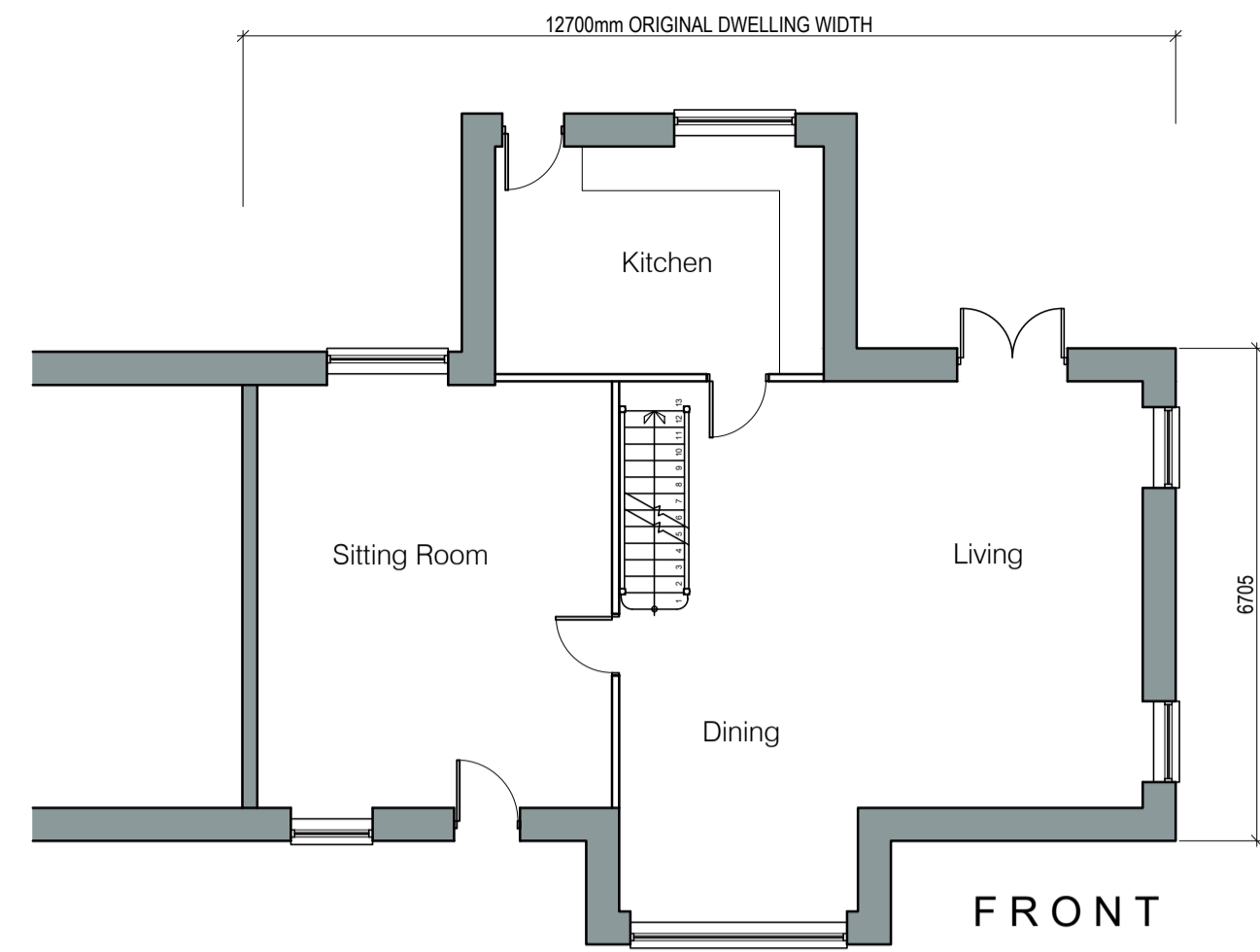


NOTES

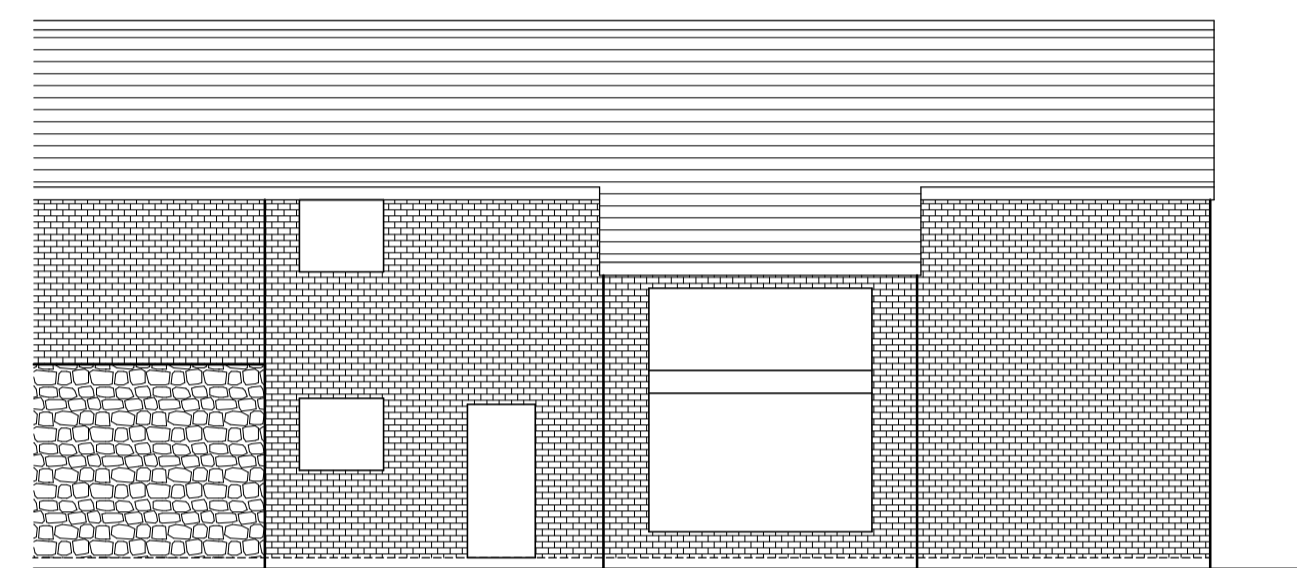
- All dimensions and levels are to be checked on site.
- Any discrepancies are to be reported to the architect before any work commences.
- This drawing shall not be scaled to ascertain any dimensions. Work to figured dims only.
- This drawing shall not be reproduced without express written permission from BPD.
- Title overlay drawings and ownership boundaries are produced using all reasonable endeavors. BPD cannot be responsible for the accuracy or scale discrepancy of base plans supplied to them.

DESIGN HAZARD IDENTIFICATION

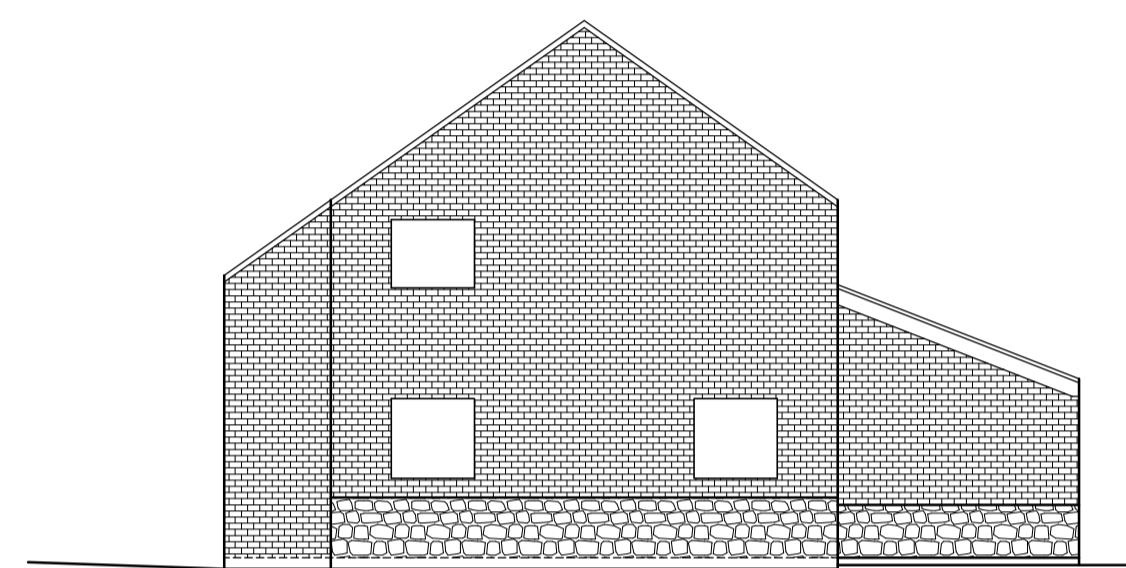
- No significant Hazards have been identified in this drawing



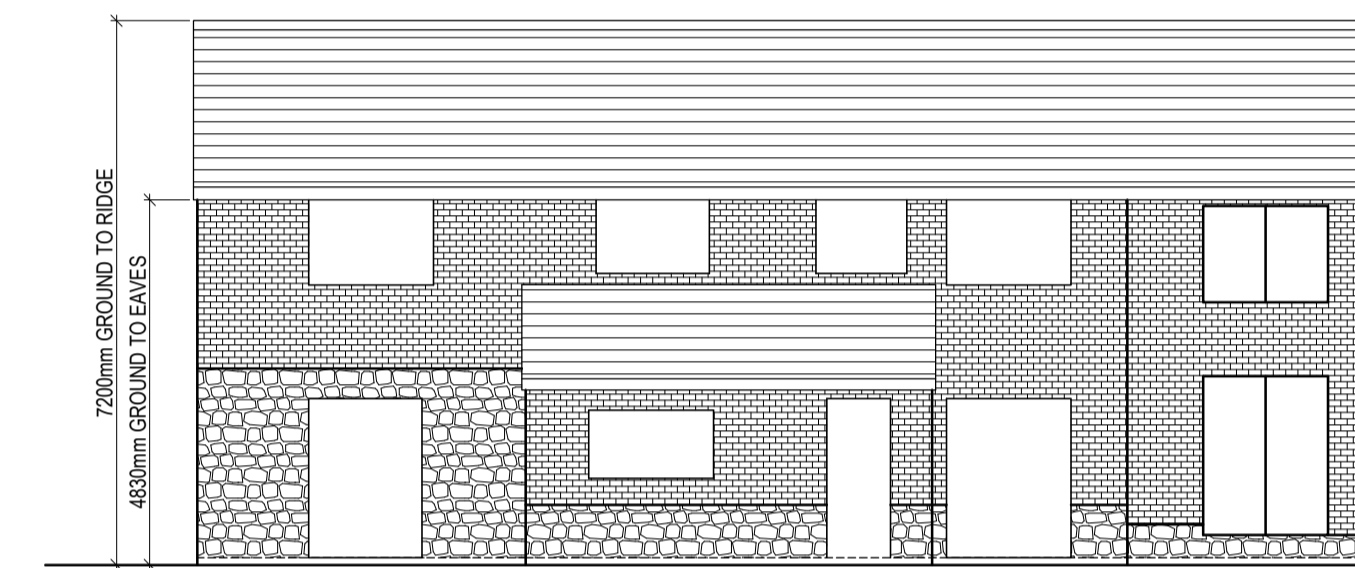
Existing Ground Floor plan



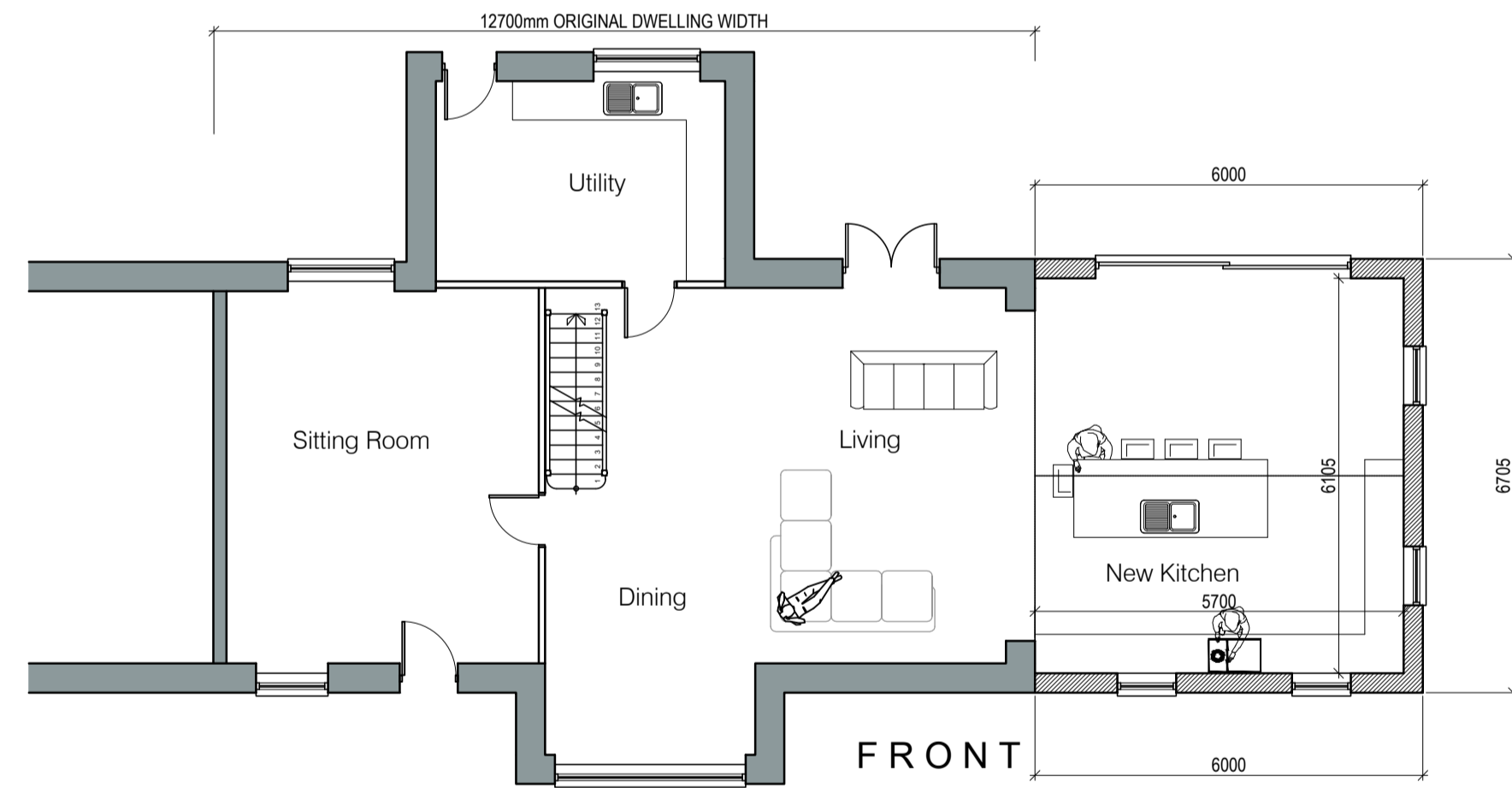
Existing Front (South West) Elevation facing Manchester Road



Existing Side (South East) Elevation



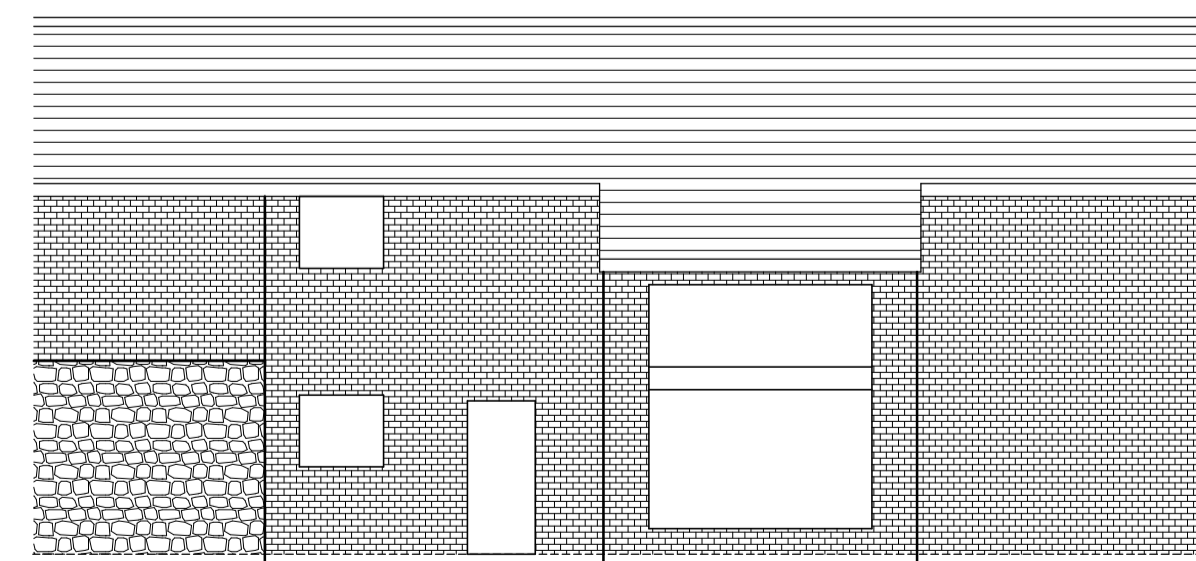
Existing Rear (North East) Elevation



Proposed Ground Floor plan - 1:100 scale

Proposed single storey side extension added to the original dwelling complying with permitted development allowances - Less than half the width of the host dwelling built off an existing side gable wall with a ridge height of no more than 4m above FFL

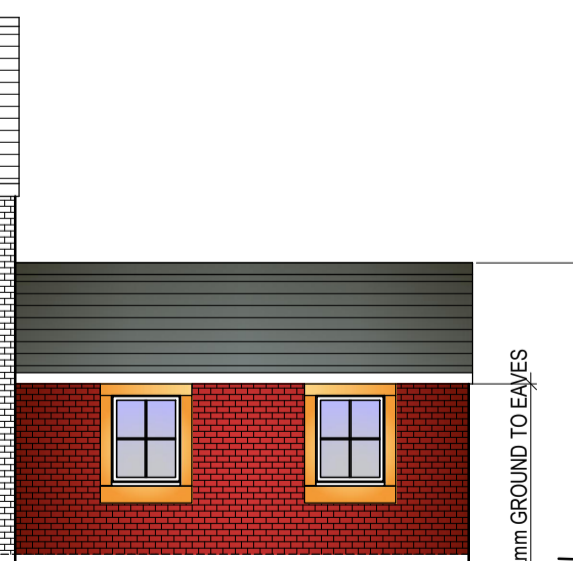
Materials to match host dwelling:
Natural slate roof tile
Rustic/reclaimed red facing brick walls



Proposed Front (South West) Elevation

0m 5m 10m

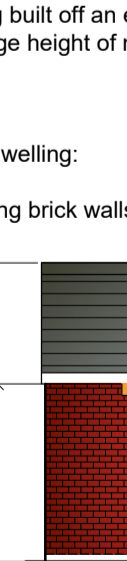
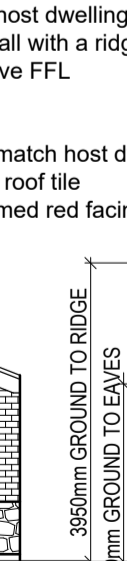
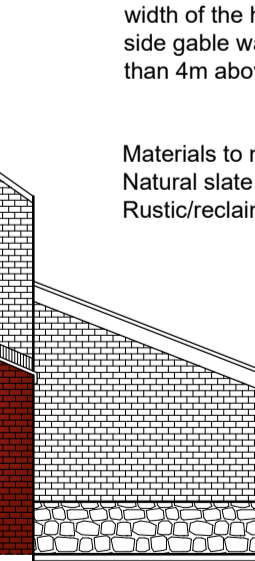
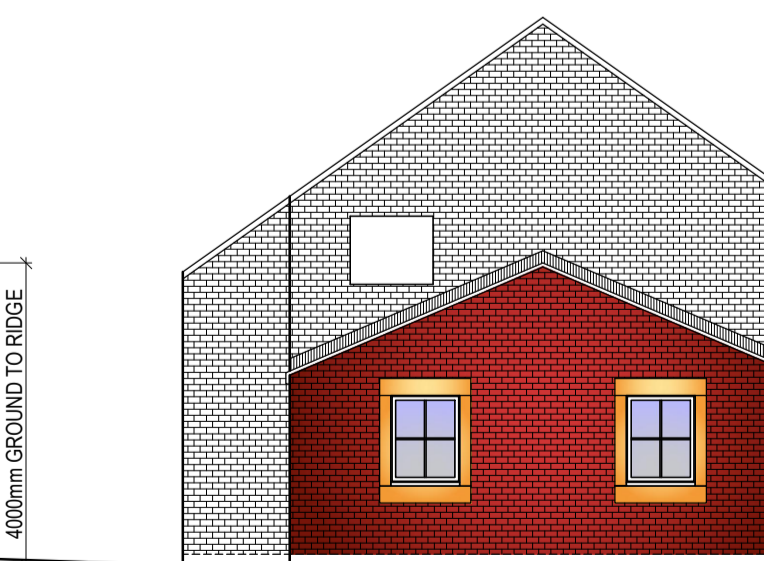
Scale: 1:100



Proposed Side (South East) Elevation

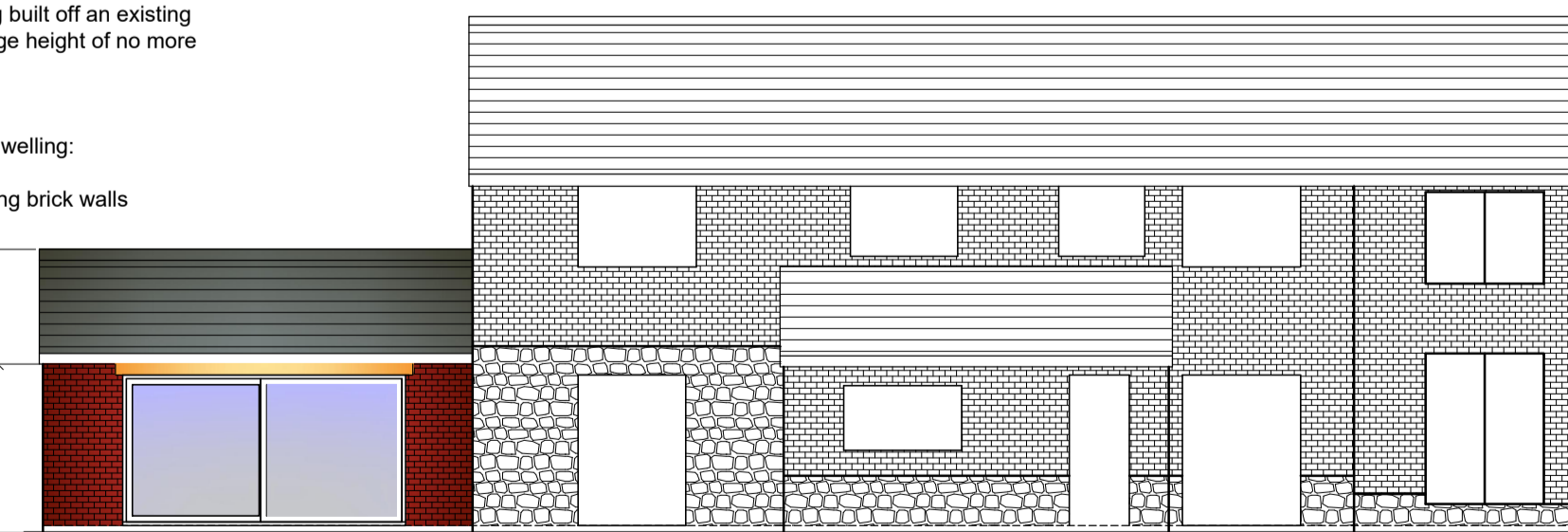
Proposed single storey side extension added to the original dwelling complying with permitted development allowances - Less than half the width of the host dwelling built off an existing side gable wall with a ridge height of no more than 4m above FFL

Materials to match host dwelling:
Natural slate roof tile
Rustic/reclaimed red facing brick walls



Proposed Rear (North East) Elevation

3950mm GROUND TO RIDGE
2385mm GROUND TO EAVES



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 Chartered Institute of Architectural Technologists Registered Practice			
Project The Barnhouse, Popes Farm, Manchester Rd, Blackrod BL6 5SR			
Title Permitted development extension EXISTING/PROPOSED House Details			
Scale @ A1 1:100	Date Oct 2023	Ref Job 1156	Drawn MDB
Dwg No 1156/BHB/PD1		Rev .	