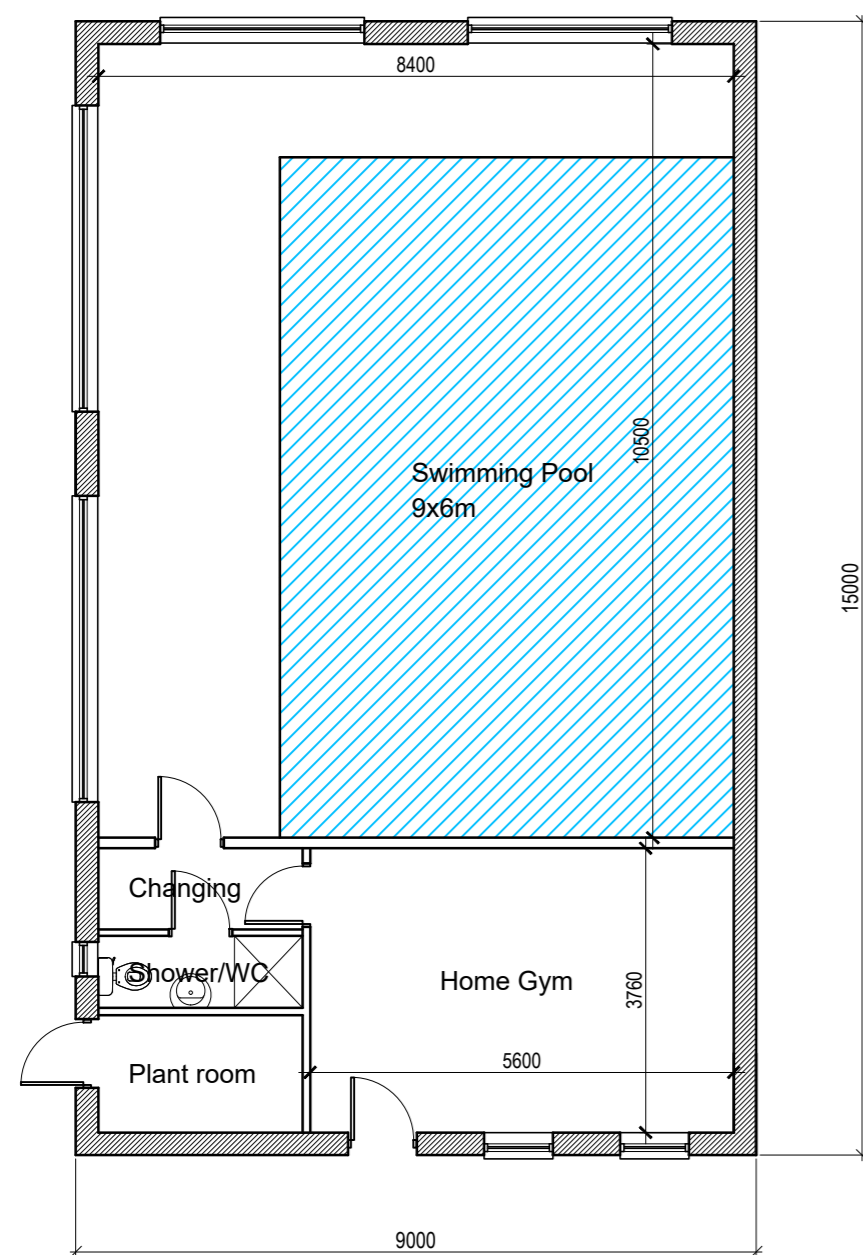


NOTES

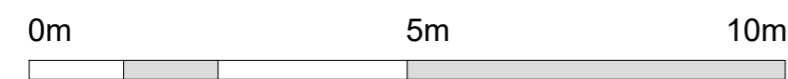
- All dimensions and levels are to be checked on site.
- Any discrepancies are to be reported to the architect before any work commences.
- This drawing shall not be scaled to ascertain any dimensions. Work to figured dims only.
- This drawing shall not be reproduced without express written permission from BPD.
- Title overlay drawings and ownership boundaries are produced using all reasonable endeavors. BPD cannot be responsible for the accuracy or scale discrepancy of base plans supplied to them.

DESIGN HAZARD IDENTIFICATION

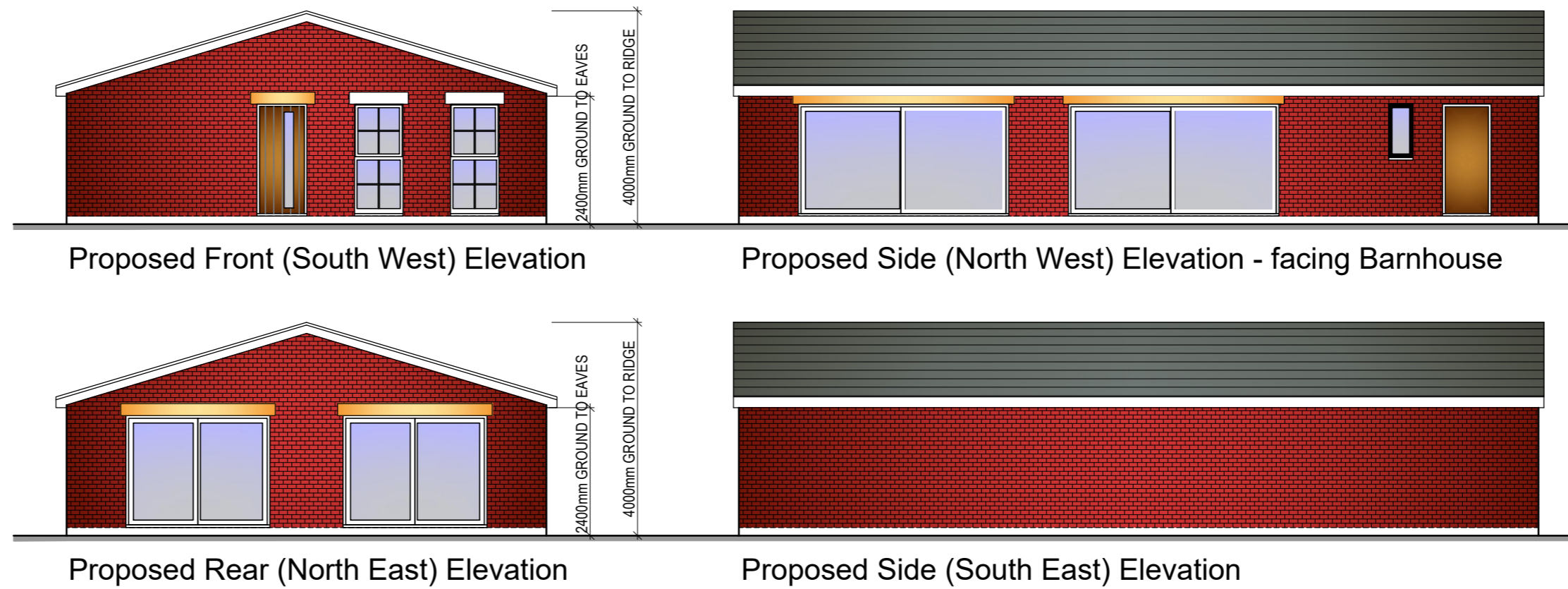
- No significant Hazards have been identified in this drawing



Ancillary domestic outbuilding
Proposed Ground Floor plan - 1:100 scale



Scale: 1:100



Proposed single storey outbuilding to garden curtilage complying with permitted development allowances - Total footprint of dwelling, extension and outbuildings less than 50% of the defined garden curtilage. 2.5m eaves height to building with a ridge height of no more than 4m above FFL to comply with permitted development allowances.

Materials to match host dwelling:
Grey roof tile suitable to 17.5°
Rustic/reclaimed red facing brick walls

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Architectural Technologists**
Registered Practice

Project
**The Barnhouse, Popes Farm,
Manchester Rd, Blackrod BL6 5SR**

Title
**Permitted development additions
PROPOSED Outbuilding**

Scale @ A2 1:100	Date Oct 2023	Ref Job 1156	Drawn MDB
Dwg No 1156/BHB/PD2			Rev .