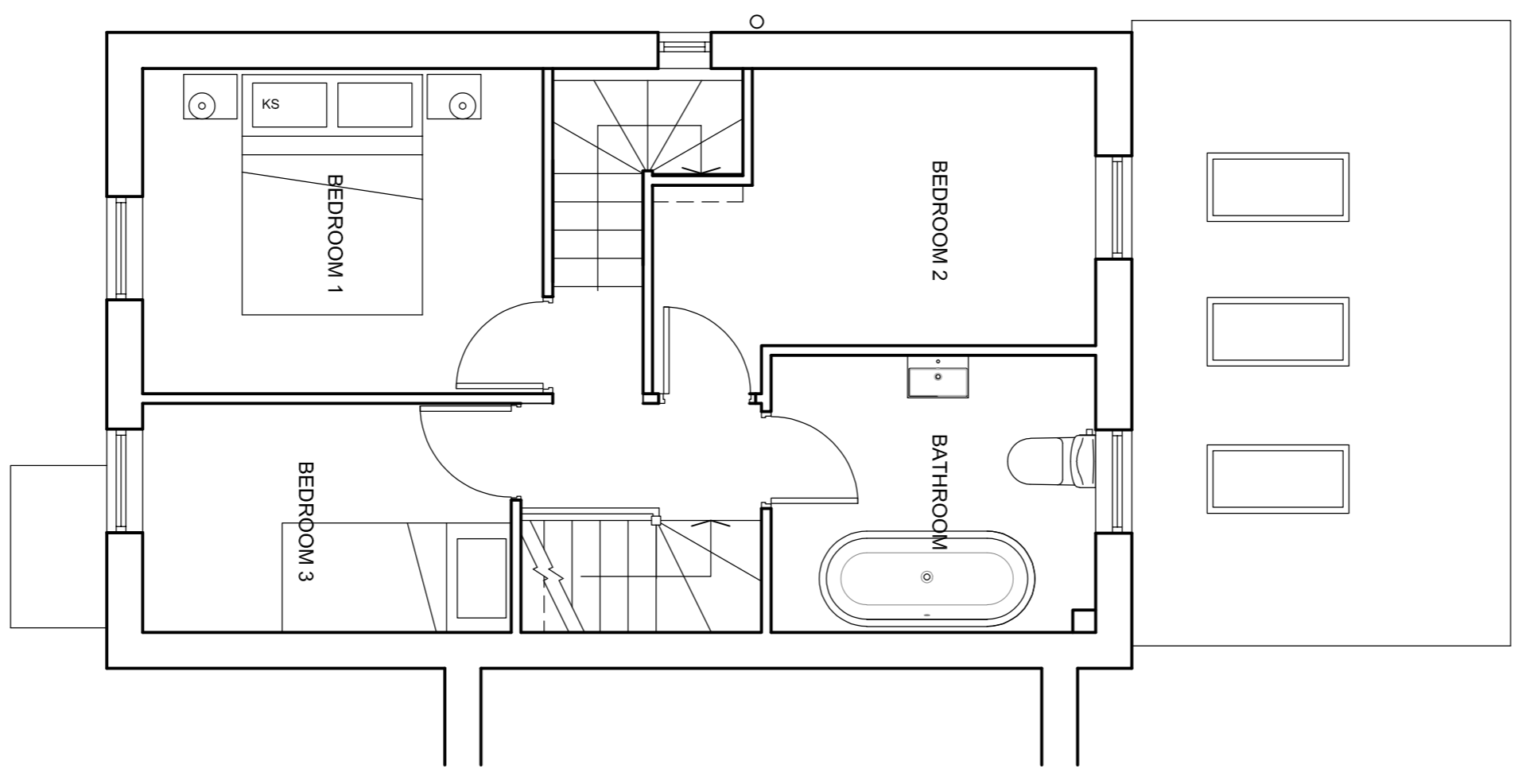
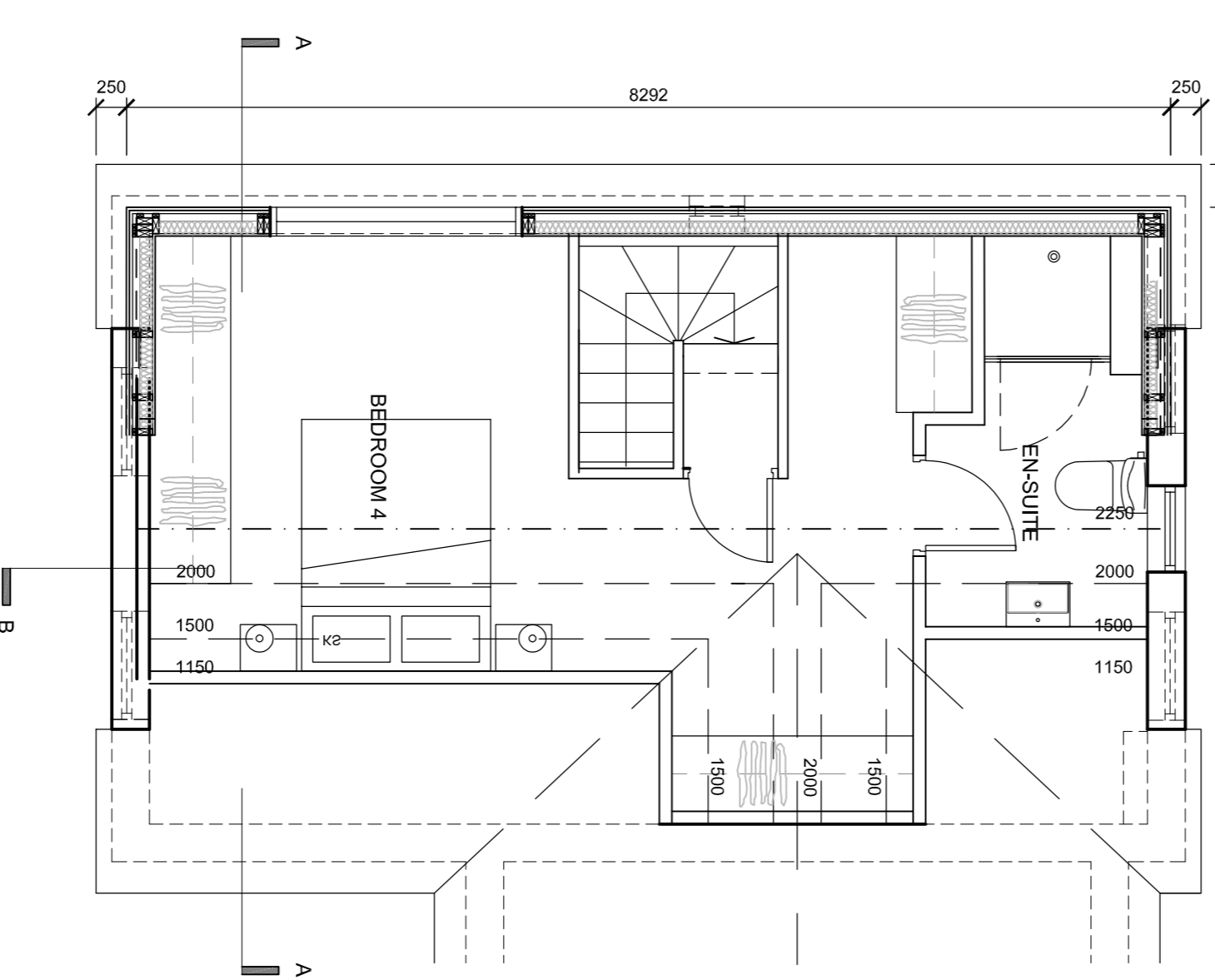


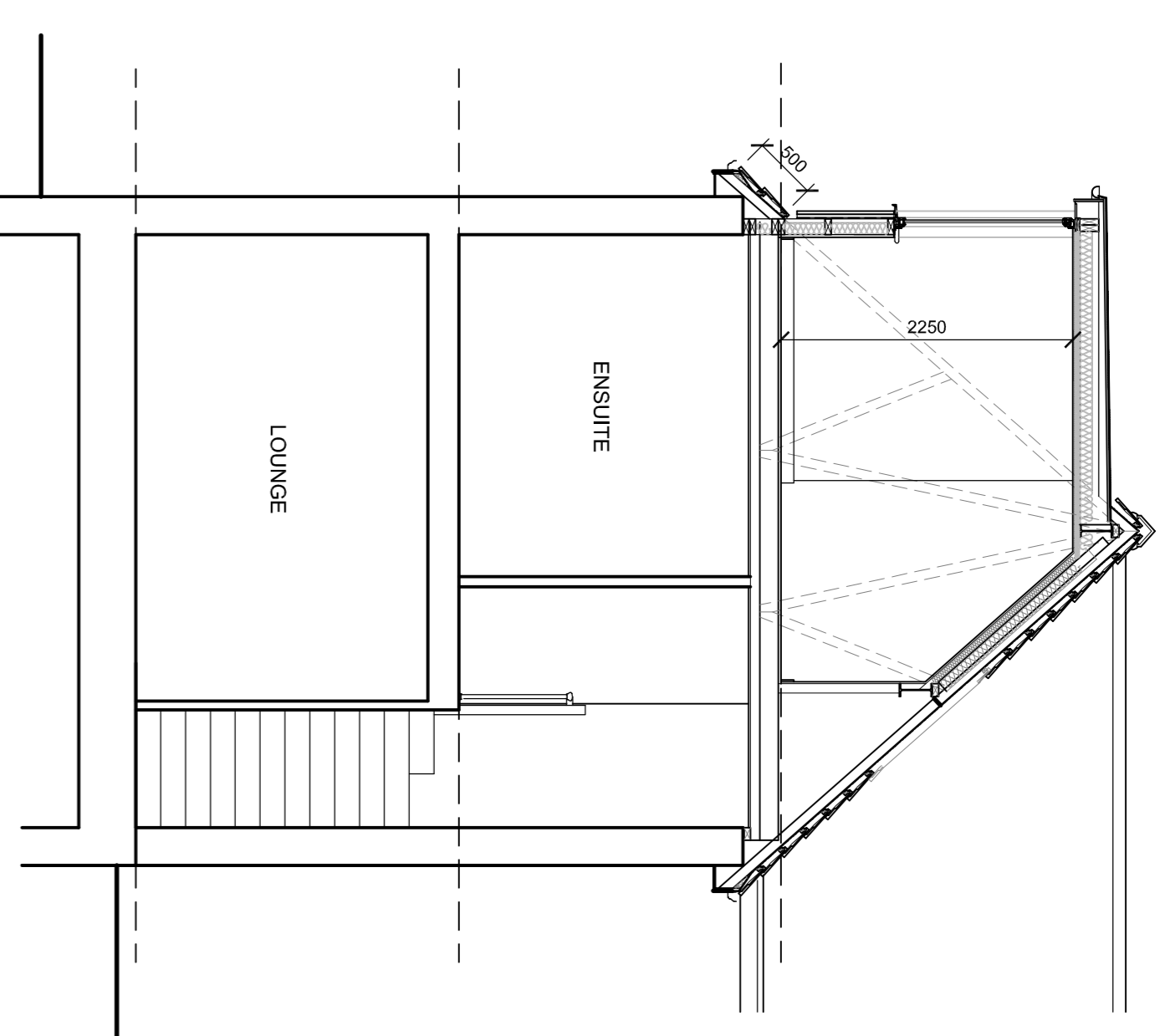
PROPOSED GROUND FLOOR PLAN



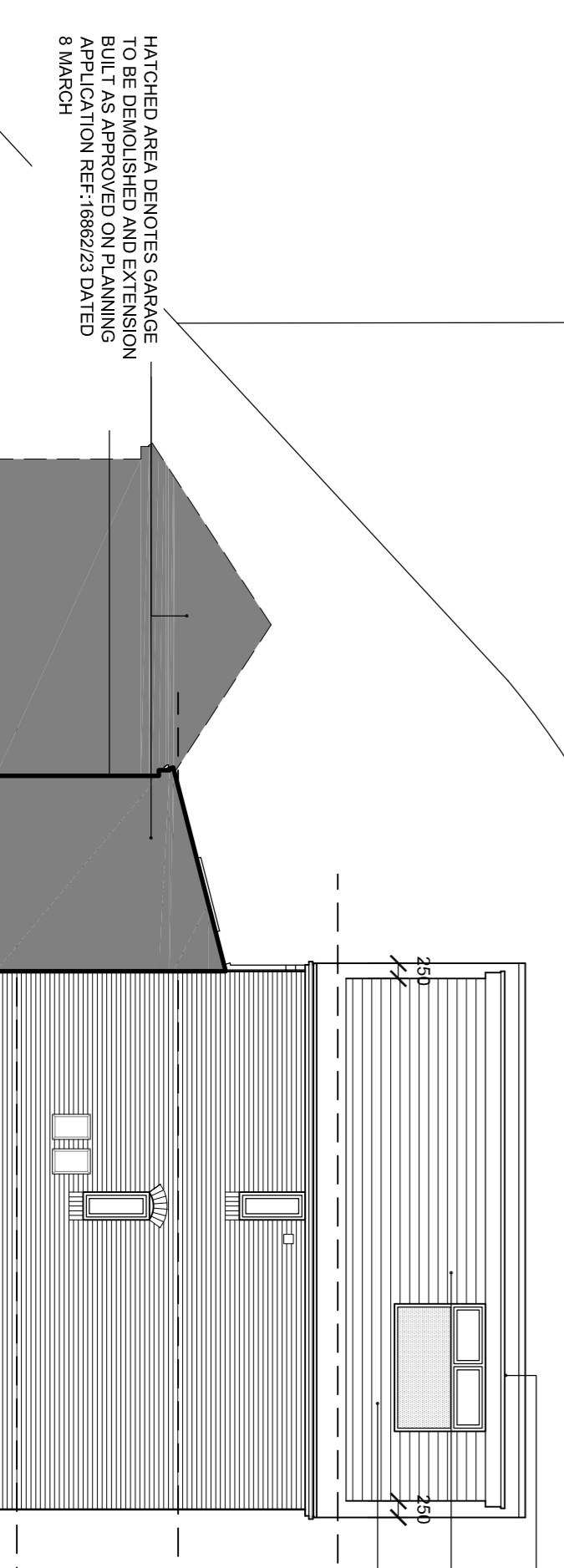
PROPOSED FIRST FLOOR PLAN



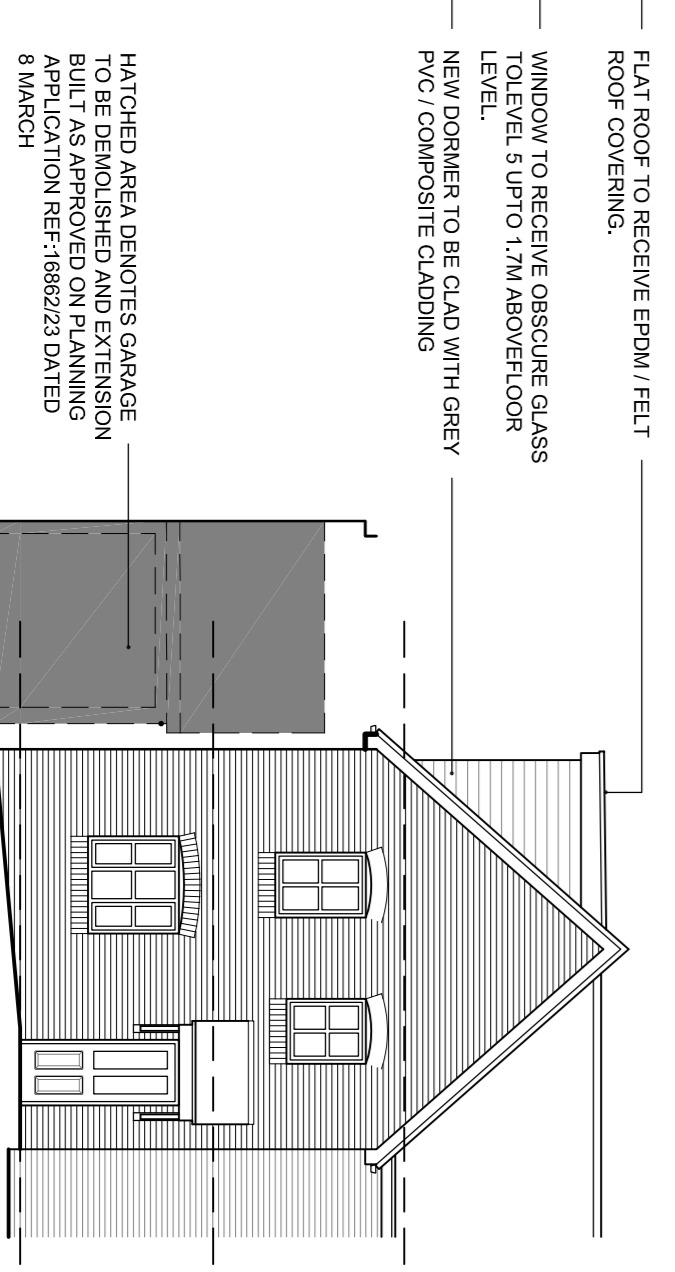
PROPOSED ATTIC FLOOR PLAN



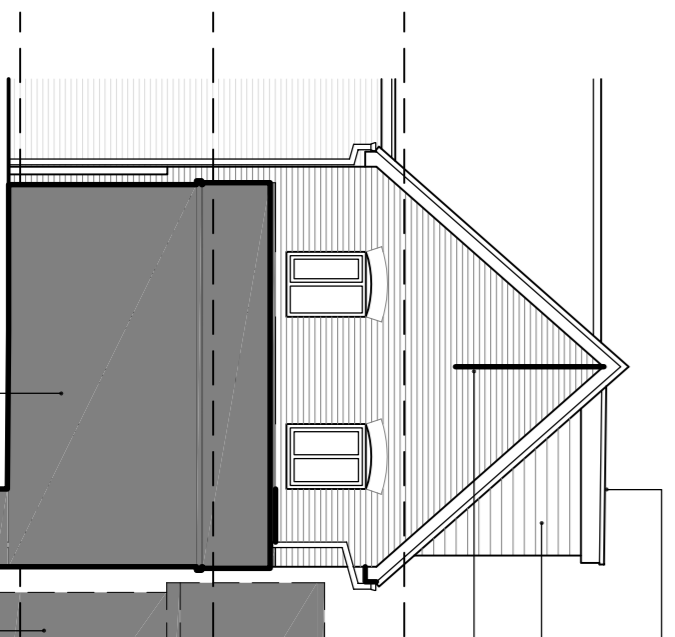
EXISTING SECTION A - A



PROPOSED SIDE ELEVATION



PROPOSED FRONT ELEVATION



PROPOSED REAR ELEVATION

FLAT ROOF TO RECEIVE EPDM / FELT ROOF COVERING.  
 WINDOW TO RECEIVE OBSOURE GLASS TO LEVEL 5 UP TO 1.7M ABOVE FLOOR LEVEL.  
 NEW DORMER TO BE CLAD WITH GREY PVC / COMPOSITE CLADDING

FLAT ROOF TO RECEIVE EPDM / FELT ROOF COVERING.  
 NEW DORMER TO BE CLAD WITH GREY PVC / COMPOSITE CLADDING  
 NEW UPVC WINDOW TO ENSUITE WITH OBSOURE GLASS

HATCHED AREA DENOTES GARAGE TO BE DEMOLISHED AND EXTENSION BUILT AS APPROVED ON PLANNING APPLICATION REF: 1688223 DATED 8 MARCH

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PROJECT TITLE  
 33 FOREST DRIVE, BOLTON BL 5, 3PH,  
 PROPOSED LOFT CONVERSION WITH DORMER  
 CLIENT  
 MS. L. MCMAHON

DETAIL  
 PROPOSED PLANS, ELEVATION AND SECTION  
 DRAWING NO.  
 LG / PL / 06  
 SCALE  
 1 : 50 / 1:100 @ A1  
 DATE  
 17.03.24  
 CHECKED  
 DRAWN BY

CONSTRUCTION TO SATISFY CRITICAL ENVIRONMENTAL IMPACT ASSESSMENT REQUIREMENTS AND TO BE FULLY COMPLIANT WITH THE REQUIREMENTS OF THE BUILDING REGULATIONS 2010 AND THE BUILDING ACT 2000.