

Keith Parker Architectural and Building Services

Mallard Creek
Gannel Road
Newquay
TR7 2AG



Design & Access Statement.

Proposed; Construction of residential block consisting of; One number x 3-bedroom ground floor and one number 2-bedroom first floor apartments.

Site: Land to rear 240 access from 236 Henvver Road Newquay TR7 3EH

Date: January 2024

Application.

This application is made following the refusal of PA22/00531.

The refusal was made in summary due to the following 3 items, our summary of how we address is adjacent in red bold.

1 The development if approved by reason of its scale, mass, design and proximity to the boundary with the neighboring property known as Melrose Bungalow would harm the residential amenities of the occupiers of that property by reason of massing on the boundary which would be both overbearing and oppressive and would cause overshadowing primarily to the garden area that cannot be satisfactorily mitigated by condition.

We have reduced the boundary elevation facing the east side Melrose Bungalow. This now has a mono pitched roof similar to a dormer bungalow with a lower wall to the south and SE side providing a patio to the first floor. Shadowing examples have been attached to this application and we feel this shows minimal shadowing in urban landscapes and is similar to other development within the area.

2 In the opinion of the Local Planning Authority (LPA) the application site cannot be divorced from the adjoining site to the west which is being simultaneously developed for two blocks of residential flats and due to matters regarding ownership, site layout, means of access and appearance clearly represents a continuation of this development and a single planning unit. Pursuant to Policy 8 when assessed as a single development the site would create eleven residential flats which would trigger the need for affordable housing provision. There is a recognised need for affordable housing provision within Newquay Town and no such provision has been secured as part of this application.

To allow reduction of mass of the elevations We propose a single 3 bed ground floor and a single first floor two bed flat provides for this. Reduction of 4 units to 2. If acknowledged as one site, the proposed would be within development requirement, in total having 9 units and all under with a total footprint of habitable space of 584.91 m2.

3 In the absence of a mechanism to secure the provision of financial contributions to mitigate the recreation impact on the Penhale Dunes Special Area of Conservation for which there is evidence of an identified need, the proposal is considered to be contrary to policy 22 of the Cornwall Local Plan

This will be addressed at validation and the appropriate fee paid, once we have the Planning Reference number.

Proposal.

Following approval for two blocks of flats at 236 Henvy Road, the owner of 240 sold the rear garden to M & J Development. This application follows discussion with the owner of 240 with a view to planning a new development to be similar development to the two blocks adjacent at 236.

Access will be via the existing road crossover and driveway on the site of 236, turning and parking proposed on the new block 3 site.

The new application proposal will reduce the number of flats to one on each floor. Ground floor 3 bed and first floor 2 bed. This now allows 9 units in total on both sites with a total floor area of 584.91 m² of habitable space.

We have considered comments made from the case officer, other planning agents and Councillors John Fitter and Oliver Monk.

The proposal is designed to fall in line with the Newquay Neighbourhood plan and be designed to follow accessible and adaptable building design.

The flat roof to the west being used as a solar panel housing. To the South east and South corner we provide a roof terrace with screening by wall and opaque glazing to the East at minimum of 1.8 m high.

Parking will be allocated 2 spaces per flat as per the Newquay Neighbourhood Plan.

The design of the building has been amended to reduce the amount of development and height adjacent the east boundary which was of concern to the case officer. The eaves height and ridge offer a similar height to that of a dormer bungalow and the roof terrace shows and opaque glazed and wall to the south eastern corner again to reduce any blocking shape. We have chosen to retain the flat roof over the remaining western side of the block as this allows use of the roof to house solar panels. The roof however is reduced in height by omitting the roof perimeter wall on the adjacent development again providing a similar ridge height to a dormer bungalow.

The building will be of sustainable construction and energy provision to meet current standards, Also addressed are the environmental design and biodiversity layout of the property, addressing planting and drainage requirements.

We have discussed the requirement of the addition proposed units with Cornwall Council and Councillors. The provision of the extra units would be welcome, however we appreciate that the design required amending to offer an acceptable design addressing the Council's concerns.

We feel we have now addressed this and will discuss this in detail in the latter pages.

Access and transport location is perfect for the flats and offers sustainable travel to work locations, schools, and enjoyment.

History and Application site summary regarding 236 Henvy Road

The adjacent site has been approved for construction with the previous application in regard to all required survey, and as part of approved Lawful development approval.

Ref. No: PA21/00153

The site is located centrally in a mixed commercial and residential area with a mixture of building types and designs. Similar properties have been built in locations that mirror position and location of rear land development.

PA22/00473 for the two adjacent units has gained approval for the redesigned roof and roof terraces under delegated powers.

History and Application site summary regarding 240 Henvy Road

The current building providing extra residential homes in a sustainable way in an area surrounded by new development.

Erection of 5 self-contained apartments to the rear of 240 Henvy Road.

Ref. No: C2/07/01673 | Status: Refusal

Erection of 6 self-contained flats to the rear of 240 Henvy Road.

Ref. No: C2/07/00762 | Status: Withdrawn

Erection of 2 storey rear extension.

Ref. No: C2/03/00065 | Status: Approved with conditions

Erection of three story 6 no 1 bed flats with roof terrace

Ref. No: PA22/00531 Status: Withdrawn



Red line shows current plot ownership 236, hatched proposed site added at rear 240 Henver Road

Site.

The proposed site area is 512 m² and is surrounded by residential mixed housing.

To the North Henver Road forming one of the Major routes into Newquay with large development projects and rebuilds of private and commercial nature

To the South Nansledan Duchy Development linking Henver Road to the other main artery road from Quintrell to Hendra and Treloggan.

To the west of the site, we have the two new build flats, the proposed road access and parking amended to provide a link to the proposed development. Easy and safe access direct to Henver Road is connected to the proposed site.

Further to the west are, new housing developments, the Post office and commercial premisses with the new CO-OP store and petrol station 100 m from the site.

To the East lies a mixture of residential and commercial properties immediately adjacent number 240 and Pendennis Court both of which house flats.

Melrose Bungalow sits adjacent to the proposed and is itself a rear garden plot development with approval in 2005.

We feel that the site therefore lends itself to development, this development follows development guidelines, planning frameworks and the Newquay Neighbourhood Plan recommendations regarding the development of residential sites. The proposal also shares similar scale and situation to other approved development along Henver Road rear development.

We would argue that the bungalow to the north east Melrose Bungalow was a similar back development and had the same impact on the existing flats along Henver Road. Block 2 also having a similar position with its relationship to the house at 234 Henver Road.

Green Infrastructure Plan

Whilst we are aware the access is connected with the Block 1 and 2, this application is for two flats regulated as minor development. As such we are attaching a minor dev trigger list. This does not activate any of the options. This being a new build.

We are aware that we would support the spirit of development and propose several environmental assets in line with) .

We have liaised with Ecology Services Ltd. The brief was to provide a plan that will add to the biodiversity of the area on a limited site area. We will overlap to the adjacent existing built sites to spread the benefit of our design, but this will not be part of this application as the previous is now approved.

We provided the following:

Landscape Design Statement: - The main aim of the landscape strategy is to integrate the development into the surrounding landscape as well as the immediate context, whilst creating a context for encouraging wildlife to become a natural part of this habitat. The planting scheme is designed to provide a visual unity across the existing site and its neighbouring developments. Herbaceous mixed borders of grasses, perennials, and shrubs at the front of Block 3 are to be planted from 4 complementary palettes of colour and differing shrub heights with a unifying feature of popular repeated plants such as snowdrop, crocus and daffodil. All plants onsite have been chosen to provide either nectar, nuts and seeds for wildlife as well as a colorful visual that residents will enjoy through the changing seasons whilst utilising their private terraces and public open space.

See ecology plan layout.

- Bird bat and bee boxes to the top of the structure as per recommended positioning.
- Raised earth banks for planting and wildlife support to the east and south boundaries,
- Various shrub and small trees to the east and south boundary. Plan shows planting profile.
- Porous traffic and amenity areas.

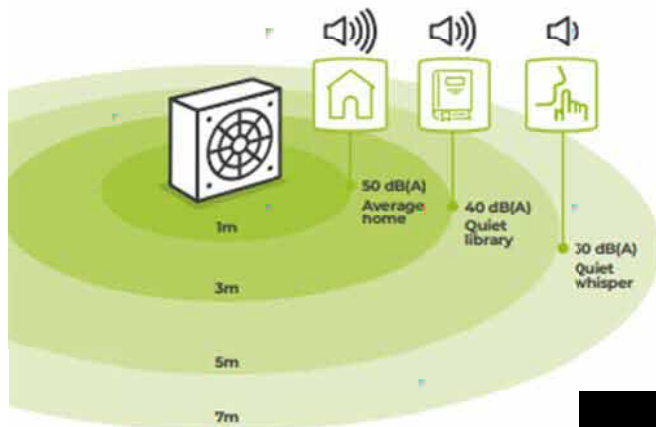
Sustainability and Energy SEC 1

The proposal is to ensure the properties are totally self-sufficient. The attached energy assessment and design SAP provide the detail to meet this requirement. Solar panel and low sound emissivity Air Source Heat Pumps.

The air Source heat pumps are to be on the eastern wall directly adjacent to the proposed.

The Sap has been calculated to provide Logic Aire Source Heat pumps 8 Kw one per flat and using Logic quiet technology. Distance to the boundary will be 2m. The full brochure is attached with the application and below is a demonstration of the quiet technology from the brochure.

Sound pressure and sound power.



SOUND POWER

The way we calculate the sound a heat pump makes is by measuring the sound power and sound pressure. The sound power level is the sound that is emitted from the unit in laboratory conditions and is displayed on the ErP label.

SOUND PRESSURE

The sound noise level (sound pressure) measures the level of sound that you hear above the sound that already exists in the background. Sound pressure is lower than sound power.

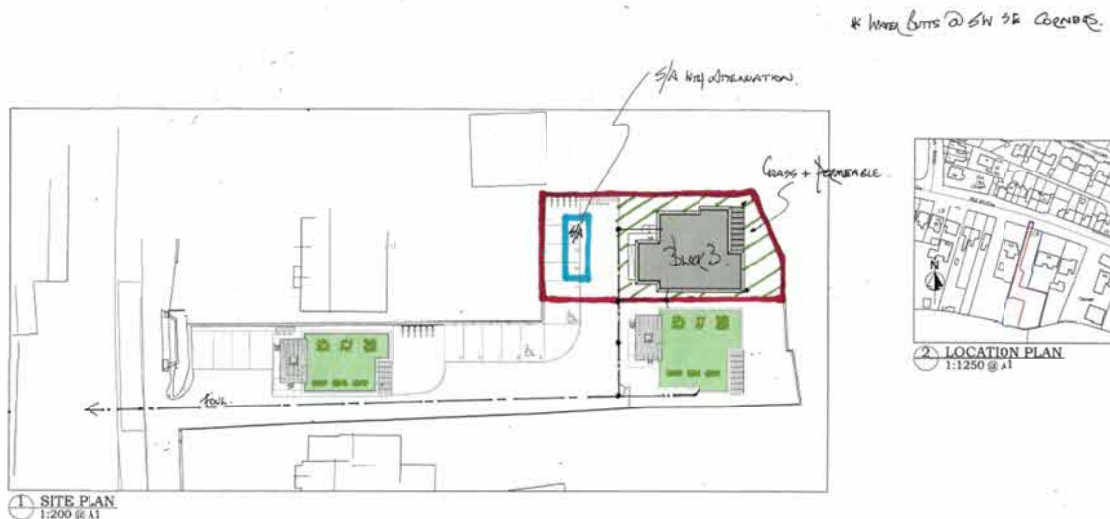
12

Additionally, we have bore hole water supply to negate connection to the mains water system. Whilst we are connecting to the foul system this is by gravity and not pumped. Surface water is by soakaway with slow release to ground drainage. Porous tarmacadam surface and other porous surfaces are to be used on site.

Sustainable Drainage

Surface water will be collected from the roof of the building to collections water butts and then to the surface water drainage system. This will collect water to a Attenuation soak away using bespoke box crate sections and wrapped as per manufacturers instructions.

Foul water drainage connection to mains sewer.



Site plan showing drainage details

Amount of Development

The proposal will provide a similar mirrored footprint image to the approved plan adjacent. Height is reduced as discussed earlier.

The proposal is to use the existing development access to the west and link the two areas, each site will have its own parking and amenity areas. Two spaces per unit are proposed in line with Newquay Neighbourhood plan.

The new block three was described in the refusal as being part of the total site may be taken in with a total site development dwelling count, however due to the changes required to meet comments from the previous application. We now have 9 in total on the combined site.

The new application proposal will reduce the number to flats to one on each floor. Ground floor 3 bed and first floor 2 bed. This now allows 9 units in total on both sites with and total floor area of 584.91 m² of habitable space.

This proposal seeks to house 2 number flats one 3 bed to ground floor and 1, 2 bed flat with terrace to first floor.

We feel this reduced density of the proposed is suitable for approval. Floor area below;

Site 236 Herver Road Newquay Floor areas of flats Block 1 2 and New application Block 3. Measurements compliant for CIL

Block 1 2 Bed flats 3 no Nos 1 2 and 3 all same footprint
Three flats 2 bed 82 m² x 3 = **246.00 m²**

Block 2 One bed flats 4 no
Flat 1 Grd floor 41.11 m²
Flat 2 G Floor 44.62 m²
Flat 3 First floor 44.47 m²
Flat 4 First Floor 44.62 m²
Total **174.82m²**

Block 3. 2no flats 1 x 2 bed 1 x 3 bed
2 bed top flat with patio excluded. 73.79 m2
3 bed Ground floor flat 90.24 m2
Total 164.09 m2

Total all blocks 584.91 m2 habitable space

Regarding accessible and adaptable building design although no lift is proposed to the first floor although standard stair lifts are suitable.

The terrace to be screened from below and from overlooking by a 1.8 m perimeter parapet wall and opaque glazing to the East side with normal glazing balcony balustrading to the south..

The units we feel are particularly of need for the rental and first-time buyer, also my client has been approached by Cornwall Council regarding rental of the proposed. The central location to amenities and transport routes proves ideal to all ages. Amenities bus routes and services are within the locality and within walking distance. The main bus route into Newquay and connecting services stops at the front of the site. The sustainability and Transportation and being addressed within a separate planning document. However, we have addressed this previously and Henvy Road and its surrounding provide an excellent location for sustainable living with all forms of transport easily available, main bus stop outside of the property shopping schools countryside and beaches all within walking distances.

Scale of development

We have addressed comments regarding the built form along the eastern boundary, part of our design criteria was.

1. Reduction of height of the proposed along the east boundary
2. Change the shape of the building to offer a more varied and lighter design to the boundary which included forming a lower-level eaves, this represented tradition eave height and a 45-degree pitched roof adjacent the boundary.
3. Reduction of unit numbers to allow the previous amendments to take place providing just two units. The Eastern side of the proposed being given to pitched roof and private amenity area screened from below.

The proposed will sit behind the main Henvy road street scene which is three storey at the roadside.

We have taken the comments of the Town Council , Case Officer and other contributors into account and have redesigned the block to have a reduced mass and reduction in height.

To the eastern boundary we now have lower eaves heights and a ridge similar to heights of the houses and infill residences similarly infilled to the rear of other properties along Henvy Road.

All major windows face to the south, the entrance glazing to the east and north is proposed as opaque other windows to be high level or opaque.

The terrace is also south facing with 1.8 m opaque screens to the east and forms part of the elevation away from the adjacent Melrose Bungalow, pitched roof making up that adjacent elevation and reducing the mass to from square to a standard eaves height.

The southern side will view to the housing development behind at Nansledden but lying over 40 m from the flats windows. The property is situated an average of 1.5 m from the boundary to the east and 4 to 8 m from the rear boundary with Nansledden. It should be noted that there is a blockwork boundary wall forming the perimeter of the site, this has been built inside the existing blockwork boundary wall with the agreement of all the adjacent owners to allow retention of planting and additional raised planting area..

The adjacent approved flats Block 1 and 2, was approved by delegated planning with amenity areas on the roof level with screened patios.

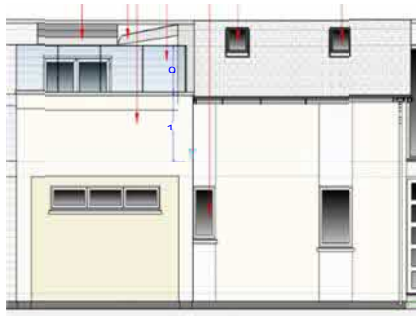
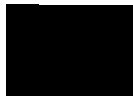
South East Elevation (wall nearest the South East boundary wall).

Note that this is the nearest bordering elevation of the proposed, shows the rectangle massing has been reduced by reduction of the height to eaves, top floor removed to the South and replaced with Glazed opaque screen protecting a raised terrace and a pitched roof replacing the original vertical of the second floor.

This reduces the overall shape and massing.



South East Elevation showing total elevation.



Shows reduced elevation directly facing the eastern boundary.

Design

We are proposing a very simple design that will reduce the size of the first floor to form one dwelling and reduce the ground floor to another single dwelling .

This allows us to use a pitched roof to take away part of the east first floor elevation reducing the ridge to the boundary.

Eaves Height will also be reduced to similar that of a dormer bungalow.

All habitable rooms to have plenty of light and ventilation with Juliet balcony windows and screened balconies or terrace following the same design process adjacent.

Brise soleil screens will shade the large southern openings to follow current regulations and environmental design.

The first floor flat has a 25 m² terrace to provide amenity area and allow sustainable use. The terrace will shield the adjacent properties from overlooking with a perimeter wall and glazed screen. Balcony glass balustrade to the south.

Planting trays will be formed to the eastern side to allow soft landscaping.

The structure will be to a high integrity with fabric first design with excellent `U` value and airtightness targets. Totally sustainable and as described within the energy report provided.

The design includes very low `U` values to walls and roof, high airtightness, high spec double or triple glazing, electric and water systems combined with sustainable technology, all balanced by a designed ventilation system.

This high specification requires more insulation in roof level and this, combined requires high internal ceiling level and floor depth which also increase acoustic separation.

This design was amended to provide additional amenity area, finishes to the structure and marine quality materials, all to comply with Newquay Neighbourhood plan and policy 12.

The positioning of the building is made with the same principle as block 2. Keeping the property to the rear of the site with parking for cars to the front elevation and amenity space to side and rear. Ensuring the maximum distance from the adjacent properties. Comments were made regarding security and we would advise we have looked at this area and all the public and private spaces.

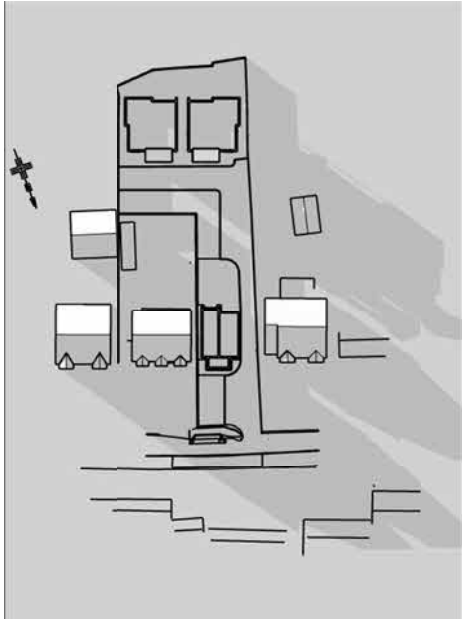
We have security fencing between the public and private garden. Spacing between proposed and existing does not introduce dark closed spaces and will allow light to be retained to both small secondary windows along the two elevations.

Public areas are viewed from habitable windows from block but our proposal is to opaque the large stair glazing to afford more privacy to the surrounding areas and when passing down the main staircase.

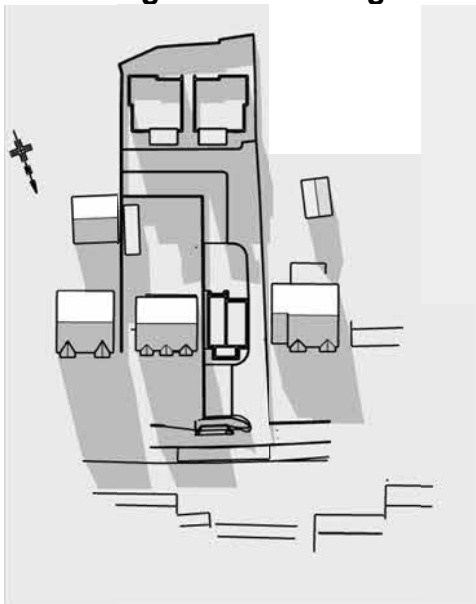
We also show from the attached drawings and Planning Supplementary Statement that the context of the building referring to its situation design and possible overshadowing of any of the adjacent properties.

Note the drawings below relating to the shadowing detail of the site viewed at the summer and winter equinox.

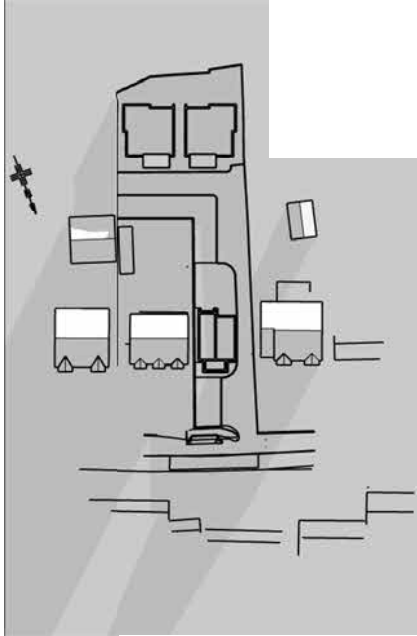
Please note the winter angle of the sun and the difference between the times taken and the shadow summer equivalent..



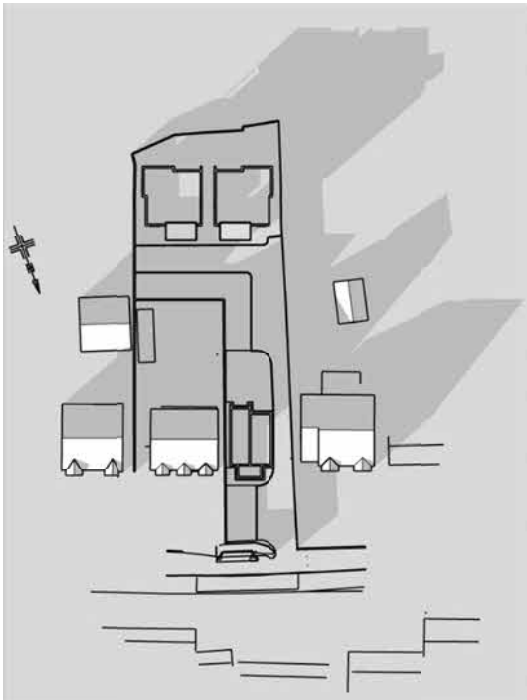
236 Henvor Road, blocks 1 to 3 Blocks
Shadow Cycle 09.30 AM 21st-12 Winter Solstice
Sun rising from left to right



236 Henvor Road, blocks 1 to 3
Shadow Cycle 12.30 PM 21st-12 Winter Solstice

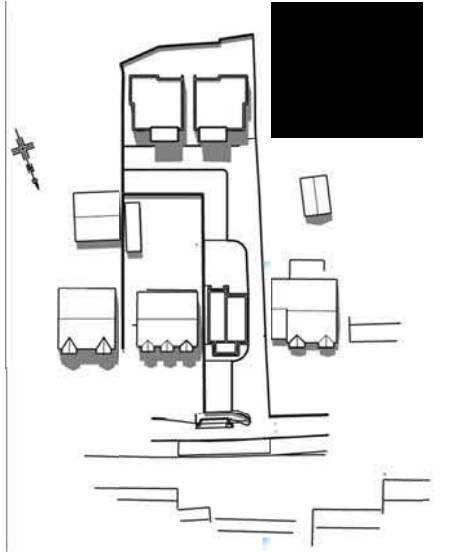


236 Haver Road, blocks 1 to 3
Shadow Cycle 16.30 PM 21st-12 Winter Solstice
Note past sunset

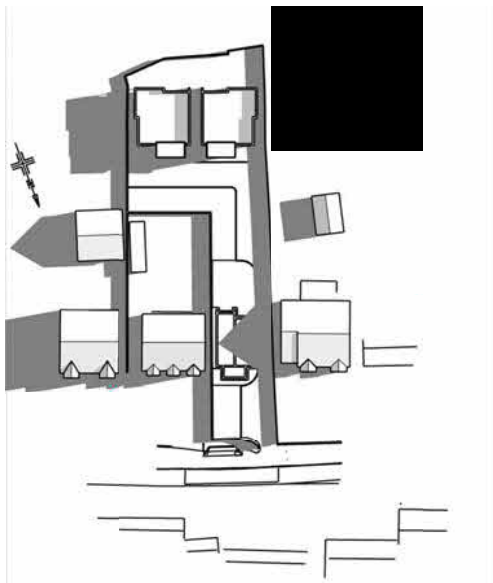


236 Haver Road. Blocks 1 to 3
Shadow Cycle 05.30 AM 21st-06 Summer Solstice

Sun rises left to right



236 Haver Road Blocks 1 to 3
Shadow Cycle 12.30 PM 21st-06 Summer Solstice



236 Haver Road Blocks 1 to 3
Shadow Cycle 17.30 PM 21st-06 Summer Solstice



Aerial view of 236 Henvet Road Showing trees to the east not included in the shadowing sketches above.

In demonstrating the above shadowing, we hope to show the minimal interruption of light and use of the garden from the proposed development. We should also note that the trees on the south border have not been included within the shadow sketches but are of similar height to the proposed. They themselves create a shadow over the existing garden.

Summary

We feel that the issues around the previous design have been addressed and the addition of this block to the existing approved blocks will aid the availability of homes within the area. This has shown to be proven by the interest of Cornwall Council in using the properties following approval.

Henvet Road and Nansleden being part of an expanding town with excellent facilities and with local transport and infrastructure availability.

The proposed will be set in an area surrounded by development and with minimum effect on the street scene and neighbouring properties.