

PROPOSED EXTENSION &  
Alterations  
to:  
8 Solent Drive,  
BARTON ON SEA  
HAMPSHIRE BH25 7AW



# DESIGN AND ACCESS STATEMENT 2

DER  
MOT

Dermot McCarthy Architect Ltd.



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Version 2

Location: 8 Solent Drive  
Barton on Sea  
Hampshire  
BH25 7AW

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## 1. Context

This Design and Access Statement accompanies the second recent planning application on this site.

Planning approval reference: 23/10864 was granted on the 3<sup>rd</sup> October 2023

The difference between the two schemes are the two first floor windows now located on the Side West Elevation shown on drawing 301B.

The previous planning permission as referred to above indicated windows on plan to the two new ensembles but did not indicate these on the elevation drawing 301 as approved.

These proposed windows serve non habitable rooms.

These proposed windows are proportionate to the rooms they serve and are located behind toilets.

Elevation 301B now shows the windows in elevation including the proposed opening.

The proposed tilt and turn operation has been chosen based upon location and lack of suitable and safe access for maintenance and cleaning. The windows will have obscured glass fitted. The windows will open in the tilt position for their main function which will provide ventilation to the ensembles. The "turn" function is for opening the window for the purposes of cleaning and maintenance.

The location of these windows, their size and their opening are in our opinion suitably distant from the rear gardens of neighbours and at such an obscure angle not to affect privacy.

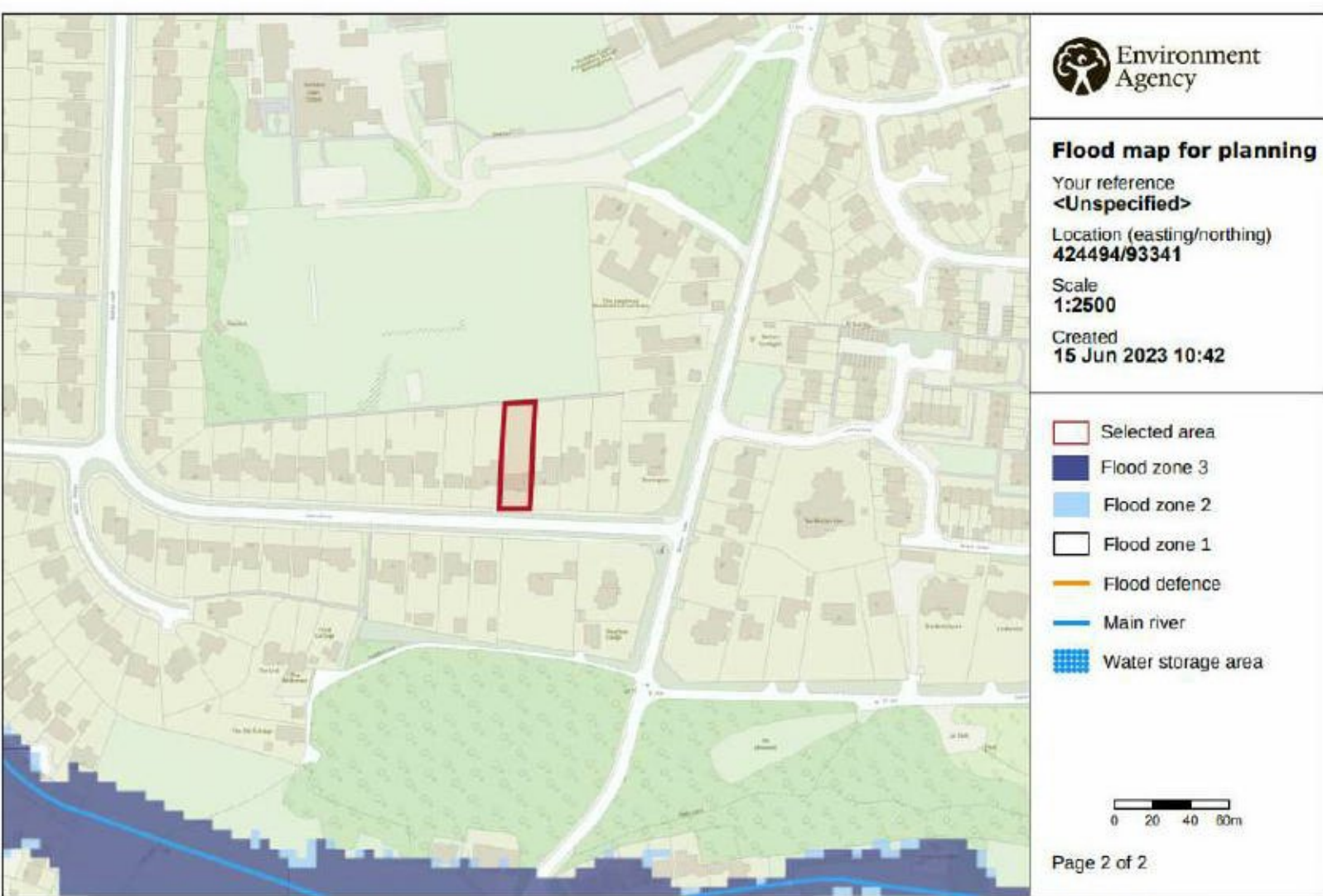
No. 8 is located within an established street of Barton on Sea a few streets back from the sea front.

The property can be found by approaching from either end of Solent Drive. The property is south of Durlston Court school and at the eastern end of the Drive on the left hand side before the junction with Becton Lane.

The rear of the property borders the playing fields of Durlston School. The property sits on a large spacious plot with a long rear garden. Both neighbouring properties have been previously developed/extended.

The property is a detached dwelling of two storeys and fronts the road with a 3 car driveway, with the house and existing garage screening the rear garden. The property sits within flood zone 1 as indicated below.





Environment Agency Flood Map



View along Solent Drive towards house



View towards rear boundary



View towards rear of existing house



## 2. Identity and Site Analysis

- The existing property is a two storey brick and tiled property with a single storey linked attached garage/store. The house has upvc gutters, downpipes, windows and doors.
- The property benefits from a front gravel driveway and a rear garden.
- The existing garage/store is constructed from brickwork and roof tiles which match the main building. Along part of its length the roof changes to a polycarbonate conservatory type roof where the existing utility room is located.
- The site is relatively flat and the house sits well within its large plot

## 3. Built Form

- The design of the new extension has both considered and integrated with the modified layout of the house, my clients wishes for improved internal space and circulation and its proximity to its neighbours.
- Part of the existing single storey utility room and store will be taken down as it is of sub standard construction. The single storey element then extends to form a new utility, ground floor wc and a new ground floor ensuite bedroom linked to a new kitchen / rear living area which takes advantage of improved views and access to the garden.
- The two storey element is kept inline with the north east corner of the main house and away from the boundary with no. 6 Solent Drive. The two storey section is approx. 3.5m deep and reduces back down to single storey as it approaches the north west corner of the main house with a catslide roof.
- The velux windows shown on the roofs are for the provision of daylight and ventilation to the roof void only. There is no proposal within this submission to convert the existing loft. There is a velux shown over the new utility area and this replaces the polycarbonate roof, while providing good daylight and ventilation.

## 3. Built Form

- The Extension looks to match new materials with existing. Improved first floor bedrooms, bathroom and ensuite facilities upstairs allowing the extended family accommodation to be appropriate to the 21C. While the provision of new living accommodation and an ensuite bedroom on the ground floor fits with my clients future needs.

## 4. Movement

- The proposals make no changes to the access to the property from the highway.
  - The proposals have improved internal circulation.
  - The increase in built form now provides for a more attractive and harmonious total solution while still being respectful of the scale of the main house and its relationship to the street.
- ## 5. Nature
- The proposals have been based upon making proportional changes to this property. Where possible utilising similar materials and colours.
  - The proposals have looked to minimize the impact upon the established domestic garden and the views from and to this property.



Rear of existing house



Side of existing house



## 6. Public Spaces

- There are no alterations to public spaces and the proposals do not impact upon the neighbouring properties.

## 7. Uses

- The existing property is a three bedroom property. The provision of two additional double ensuite bedrooms and a larger living kitchen space supports the need to provide appropriate flexible and sustainable sized family accommodation.

## 8. Buildings

- The proposal has been designed directly for my client and responds well to their wishes for a modern home in this attractive location, fit for the challenges of future living.
- Key living spaces are connected to the outside.
- The use of high quality materials.
- Bicycles can be located within the garden shed.
- Security will be PAS24
- All tap and Wcs will have low water consumption fittings.
- The heating, lighting and ventilation systems to have controls.
- Light fittings both internal and external to be fitted with low energy lamps.
- All white goods to be modern efficient appliances.
- The project in preparation for this submission to New Forest District Council has reviewed the project against the Council's Local and Mandatory requirements. The drawings along with this design and access statement are included.

- *Biodiversity Survey and Report & Biodiversity Net Gain Report* – Please see attached as part of this submission.

- *Design and Access Statement* – Included

- *Site Flood status* - included with this D&A statement as Flood zone 1

- *Additional Local Requirements – 9* – The development does not sit within or impact the green belt

- *Additional Local Requirements – 11* – The development is outside of the conservation area and does not create an impact on local listed buildings

- *Additional Local Requirements – 31* – The development does not have an impact on any trees.

## 9. Lifespan

- The new and existing building has been designed for integrated modern living but also with an eye on the future. The design provides for various modifications to be made in the future without the need to rely on changing the exterior of the building.
- The building will be constructed from high quality materials and systems and integrated in such a way to allow for the ease of replacement and or maintenance.

## 10. Conclusion

- The design and access statement has been constructed following the sections within the new National Design Guide issued September 2019 by Ministry of Housing, Communities & Local Government.
- The design of the alterations has been well considered. The result is a very attractive scheme, which will deliver a quality modification.
- The proposal will enhance the area, by introducing a high quality, energy efficient design.
- We hope that you share our vision and can formally support these proposals.