

HINDE HOUSE

**14 HINDE STREET &
16-18 THAYER STREET, W1U 3BD**

Signage & Lighting Proposals

DESIGN & HERITAGE STATEMENT

March 2024

This document has been prepared on behalf of Starclass Limited for design proposals for signage and lighting to the retail units to the Thayer Street elevation of no. 14 Hinde Street & 16-18 Thayer Street, Hinde House, London W1U 3BD.

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1. Location

Hinde House is located on the north side of Hinde Street and positioned at the north western corner of the Hinde Street, Thayer Street and Mandeville Place intersection.

2. Hinde House

Hinde House consists a conglomerate of building forms identified with street frontages: 11-14 Hinde Street, 16-18 Thayer Street and the south end of Jacobs Well Mews. The building(s) is located within the Portman Estate Conservation Area and bordering the adjacent Harley Street Conservation Area. Hinde Street itself forms a recognised local view west towards Manchester Square.

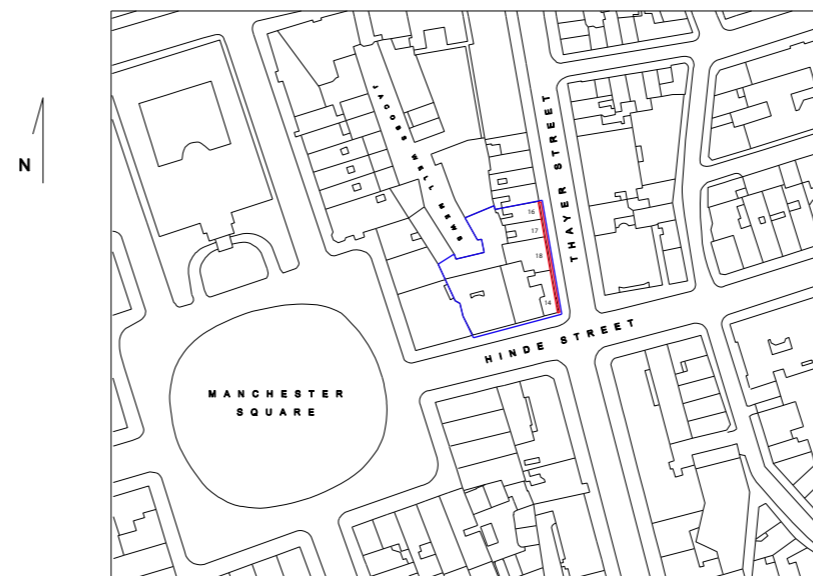
Two distinct buildings forming the prominent facades of Hinde House face on to Hinde Street - nos. 11 & 12 Hinde Street and nos. 13 & 14 Hinde Street including the side return of the building along Thayer Street. Both buildings consist five storeys and basement. Residential accommodation is provided on the upper four levels with retail/ showroom accommodation provided at ground and basement levels.

Nos. 11 & 12 Hinde Street are Grade II listed (TQ 2881 SW - 12/01/73) included for group value only.

Nos. 13 & 14 are identified in the Portman Estate Conservation area audit as unlisted buildings of merit.

Two further adjoining buildings face on to Thayer Street to the north - no. 18 Thayer Street and nos. 16 & 17 Thayer Street. Both buildings consist of four levels and a basement. Residential accommodation is provided on the upper three levels with retail/ showroom accommodation provided at ground and basement levels, A restaurant is also accommodated extending through the basement aspects of 18 Thayer Street and 13 & 14 Hinde House.

A smaller scale formation of buildings is located to the rear of Hinde House at the south end of Jacobs Well Mews. Residential accommodation is provided over three levels set above garage accommodation with residential entrances provided via Hinde Street and Thayer Street entrances.





existing Thayer Street elevation

3. History

Hinde House was built in the late 1700's as part of the Portman Estate development on the east approach to Manchester Square. Early ordinance survey information record the building(s) in 1893 revealing the site massing similar to that found today.

It appears that the building(s) was originally brick faced. Stucco type render is believed to have been first applied in the late 1800's. Records show that the building had already been altered to incorporate apartments by the late 1900's.*

Substantial remodelling of the ground level frontages to Hinde Street was undertaken in the early-mid twentieth century that included altered entrances with wrought iron gates, granite steps and decorative handrails and balustrades in the art deco style set alongside neo-Gothick and contemporary styled shopfront glazing. Stucco rendered features in the form of 'streamlined' cornices and framing elements were also incorporated to the facade, with this treatment continuing along the Thayer Street elevation to include also art deco style timber doors to shop and residential entrances.

Planning permission was granted 23 March 2006 (PT/05/08028/FULL, TP3988/7073) to provide contemporary remodelling of the shopfronts to 13-14 Hinde Street and 16-18 Thayer Street including installation of shopfront awnings and the infill of the street lightwell areas along Thayer Street to form a broader pavement area. Shopfront detail were approved 15 December 2007 (07/07878/ADFULL).

Minor amendments to 17 Thayer Street shopfront (17/00628/NMA & 17/01405/NMA) were approved 07 February 2017 & 01 March 2017 respectively.

Planning permission was granted 01 November 2018 (18/07871/FULL) for alterations to the existing shopfronts along Thayer Street including the installation of awnings in connection with no.14 Hinde Street. Shopfront details were approved 13 December 2018 (18/10373/ADFULL). Subsequent minor amendments (19/00029/NMA & 19/01545/NMA) were approved 11 January 2019 & 15 March 2019 respectively.

* Westminster Archives



proposed Thayer Street elevation - signage and lighting

4. Proposals

The proposals are to provide uniform projecting signage elements and lighting features to the retail units at ground level of along the Thayer Street elevation.

The projecting signage elements will be either hanging signboard type or box element forms that are a prevalent features to the retail units along Thayer Street and throughout Marylebone High Street.

The signage elements will conform in size no greater than 540mm in height and 540mm in depth.

The signage elements will be positioned aligned with the horizontal features of the shopfront glazing and/or the awning cassettes. The underside of the signage elements will be greater than 2500mm above the pavement level below.

All signage will conform to the requirements as set out in the Communities and Local Government, Outdoor advertisement and signs: A guide for advertisers - guidance, June 2007.

Where retail tenants may wish to have a partially illuminated sign, the sign box element will have a low level warm emitting light source within. Refer sample images on the following page.

A pair of petite discrete wall mounted lamps are proposed to be positioned either side of each retail unit shopfront. The lights will be positioned with centre of light 1500mm above shopfront doorway threshold and 190mm from side jamb reveals. The lights will project downwards. Refer light specification provided on the following page.



Marylebone High Street - projecting signage reference



Projecting light box signage reference - Brook Street W1
- warm low ambience level lighting

4. Proposals (cont.)

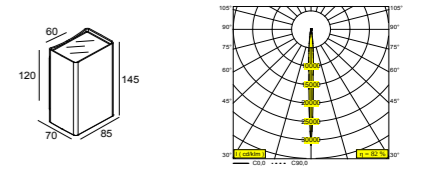
Signage and light box examples, and wall light specification provided below.

DELTA LIGHT*

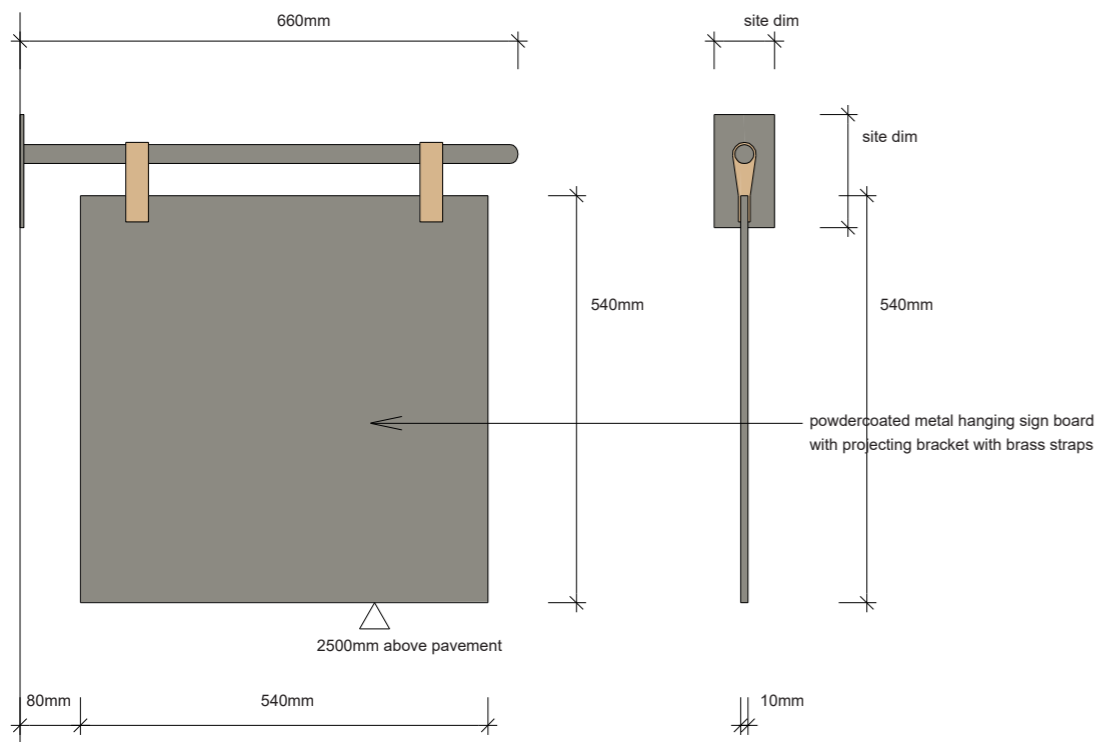


NOCTA SQ85 SP 927 N
30118 9200 N

AVAILABLE IN
ANTHRACITE (DARK GREY) 30118 9200 N

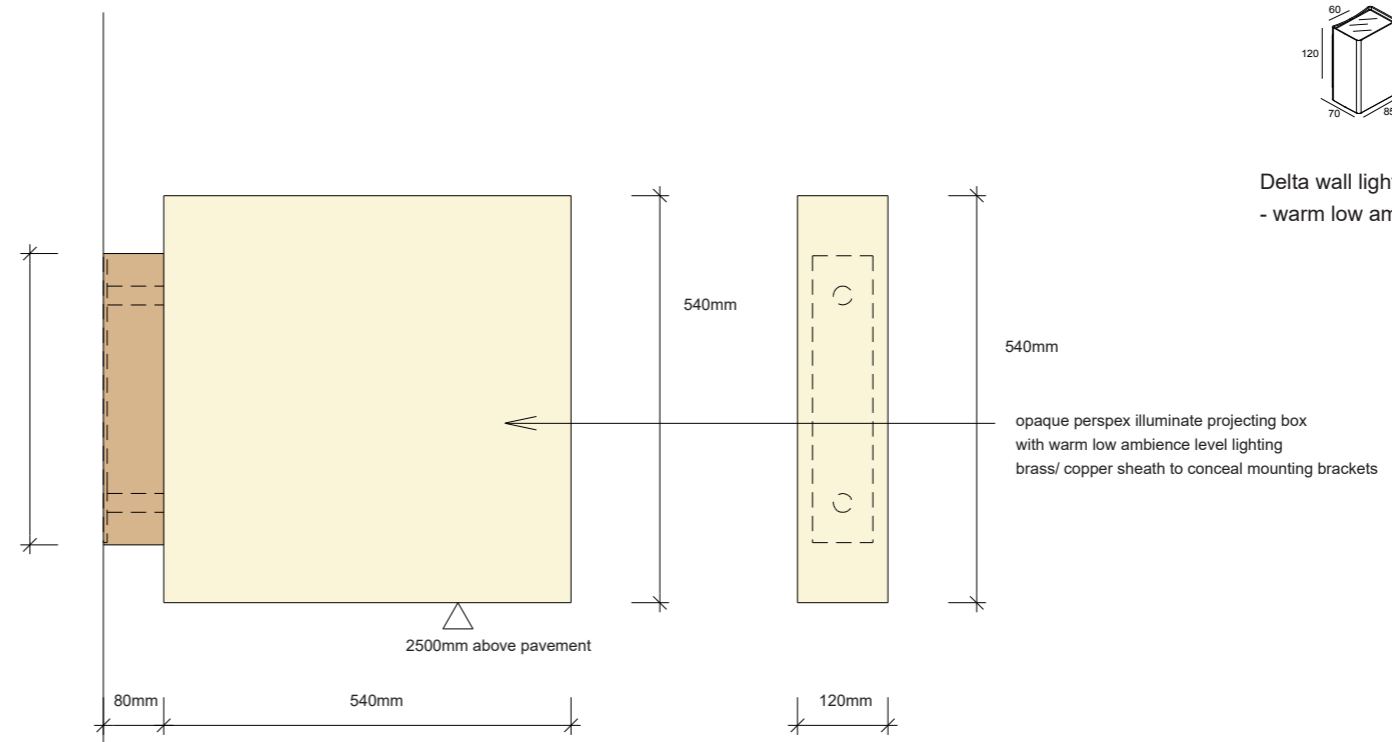


Delta wall light - 2700k / 221lm
- warm low ambience level lighting



Proposed projecting hanging sign - front elevation - scale 1:10 @A3

side elevation - scale 1:10 @A3



Proposed illuminated box sign - front elevation - scale 1:10 @A3

side elevation - scale 1:10 @A3

4. Proposals (cont.)

Proposed Thayer Street elevation with awnings extended.



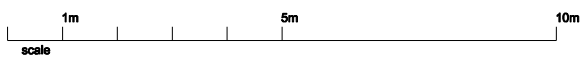
proposed Thayer Street elevation - signage and lighting (with awnings extended)

appendix a - drawings

Elevations - existing and proposed



existing Thayer Street elevation (- with awning cassettes installed)

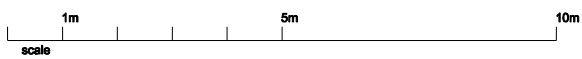


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HINDE HOUSE - SHOPFRONT AWNINGS & SIGNAGE
THAYER STREET ELEVATION - EXISTING
GENERAL ARRANGEMENT
PP-200
SCALE: 1:50 @A0 1:100 @A2
DATE: 07-02-2024



proposed Thayer Street elevation



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HINDE HOUSE - SHOPFRONT AWNINGS & SIGNAGE
THAYER STREET ELEVATION - PROPOSED
GENERAL ARRANGEMENT
PP-201

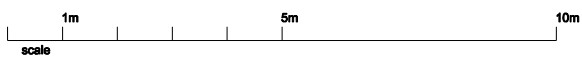
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SCALE: 1:50 @A0 1:100 @A2

DATE: 01-03-2024



proposed Thayer Street elevation



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HINDE HOUSE - SHOPFRONT AWNINGS & SIGNAGE
THAYER STREET ELEVATION - PROPOSED
GENERAL ARRANGEMENT
PP-202

SCALE: 1:50 @A0 1:100 @A2

DATE: 01-03-2024

5

revision



Hinde Street & Thayer Street elevations



Thayer Street elevation southward



view northward Thayer Street



view southward Thayer Street