



Tree Damage Assessment

**Warwick Lodge,
42 St Georges Drive,
Pimlico SW1V 4BT
for**

January 2024

**Advanced Tree Services
The Depot
Pixham Lane
Dorking
RH4 1PH**

**Tel: 01483 210066
Email: info@atstrees.co.uk**



Instructions

1. I have been instructed by Mrs Collins to conduct a tree damage risk assessment at Warwick Lodge, London SW1V 4BT and offer recommendations for management.
2. This report includes the following;
 - Assessment of the risk of damage from the tree located in the garden of Warwick Lodge to the boundary wall.
 - Recommendations on immediate and future management.
3. I hold the Professional Diploma in Arboriculture and have over 32 years' experience within the Arboricultural industry both in the public and private sector.

Report Limitations

4. This report is of a preliminary nature owing to lack of technical data. If any further investigation is needed for any aspect it will be highlighted in the recommendations.
5. It is worth noting that trees are dynamic, living organisms, highly susceptible to climatic conditions and changes to their surroundings. The assessment of subsidence risk and direct damage remains valid for a period of five years from the date on this report. Every tree owner has a duty of care to maintain their trees in a safe condition in order to protect their liabilities. It is recommended that this be carried out at least once a year. Conclusions and recommendations given in this regard are only valid for one year from the date of this report. These periods of validity may be reduced if there are any changes to built structures or conditions in proximity to the trees and shrubs.
6. It is always recommended that trees are inspected following bouts of inclement weather regardless of when their next programmed inspection is due.
7. Westminster City Council has confirmed that the property lies within the Pimlico Conservation Area. As such, 6 weeks notification will have to be given to the local authority prior to undertaking any tree works.
8. I have not inspected the drainage or other service systems as I am not qualified to do so.

9. The trees were inspected from ground level utilising the Visual Tree Assessment (VTA) method devised by Mattheck and Breloer (the Body Language of Trees - Research for Amenity Trees No.4, 1994). If any further aerial inspection is required it will be noted in the recommendations.
10. I did not examine the soil or take any samples for analysis as this report is preliminary in nature.
11. This report is based purely on evidence noted on the day of inspection.
12. I did not undertake an internal inspection of the subject property.
13. The recent succession of dry summers and dry winters have increased the risk of subsidence generally but mainly to properties on highly shrinkable soils (i.e. clay). If the weather patterns continue in this vein then the risk to the property from tree related subsidence may well increase. Fundamentally, in these current conditions any vegetation in close proximity to built structures has the potential to cause problems. Even shrubs like Pyracantha, Cotoneaster and climbers such as Ivy, Virginia Creeper and Wisteria can be damaging.

Damage by Trees

14. Trees planted in inappropriate places can lead to a number of different types of damage in the short or long-term future. This damage may be caused by the direct or indirect action.

Direct Action

The action of the root physically touching a structure, (i.e. boundary wall or area of paving) and causing it to be pushed up or over.

Indirect Action

Roots extract moisture from a highly shrinkable clay soil resulting in a downward movement through the soil. Any 'load' on the soil (i.e. a house) will be at possible risk from subsidence damage.

15. The Zone of Influence (ZOI) is the distance at which the tree roots can influence soil moisture levels. This generally means that any structure located within this area which is not founded on deep enough foundations is susceptible to damage. The main structures lie within the Zones of Influence for a number of trees on site.

Findings

16. I visited the site on 22nd January 2024. The previous weekend had seen high winds in excess of 50mph gusts.
17. The tree in question is as follows,
- T1 - Tree of Heaven (*Ailanthus altissima*)
Height- 19m
Stem diameter - 580mm
Water demand - Moderate
ZOI - 15m
18. Data has been included in the spreadsheet at appendix (a).
19. T1 is generally in good physiological condition. There is minor deadwood within the canopy but nothing unusual for a tree of this age.
20. The main stem forks into two co-dominant stems at approximately 5.5m. The main union appeared sound from ground level. The canopy is weighted towards the south and west over the adjacent road and footpath.
21. *Ailanthus* is a fast growing, invasive non-native species.
22. The main stem is growing against the main boundary wall. Pressure from the tree has caused significant cracks in the main structure and the wall is visibly bowing out towards the public footpath (see photos).
23. Substantial, vigorous surface roots from T1 are visible within the garden area.
24. T1 is clearly visible from the adjacent public thoroughfare.
25. The pavement level is 0.5m lower than the garden level.

Conclusions

26. It is patently obvious that T1 has caused significant structural damage to the boundary wall.
27. As the main stem for T1 increases in girth, the structural damage will only be exacerbated. It is my opinion that if the situation is left as is, there is a distinct possibility of the wall collapsing onto the adjacent public footpath.
28. Walls near trees can often be rebuilt with the use of a lintel bridging over the offending roots. Unfortunately, in this situation, I do not think this is a feasible solution as it is the main stem pushing on the wall. A lintel would prove ineffective.

Recommendations

29. It is my opinion that the only logical solution would be to remove T1 and plant a replacement tree further into the garden.
 - **T1 - Tree of Heaven - Fell and grind**

General Comment on Tree Works

30. Any tree works must be undertaken in accordance with BS 3998 - 2010 Tree Work - Recommendations.
31. Under the Wildlife and Countryside Act 1981 (Section 1) it is an offence to take damage or destroy the nest of any wild bird while that nest is in use or being built. Planning consent for a development does not provide a defence against prosecution under this act. Trees and scrub are likely to contain nesting birds between 1 March and 31 July. In order not to contravene the Wildlife and Countryside Act 1981 the timing of the tree surgery works should avoid the bird nesting season (March - May).

Under the Wildlife & Countryside Act 1981, The Countryside Rights of Way Act 2000 and The Conservation Regulations 1994 (known as the Habitats Directive) it is an offence to:

- Intentionally kill, injure or take a bat.
- Possess or control a live or dead bat, any part of a bat, or anything derived from a bat.
- Intentionally or recklessly damage, destroy or obstruct access to any place that a bat uses for shelter or protection.

If a bat roost is suspected please contact the Bat Conservation Trust on 0845 1300 228 or at www.bats.org.uk.

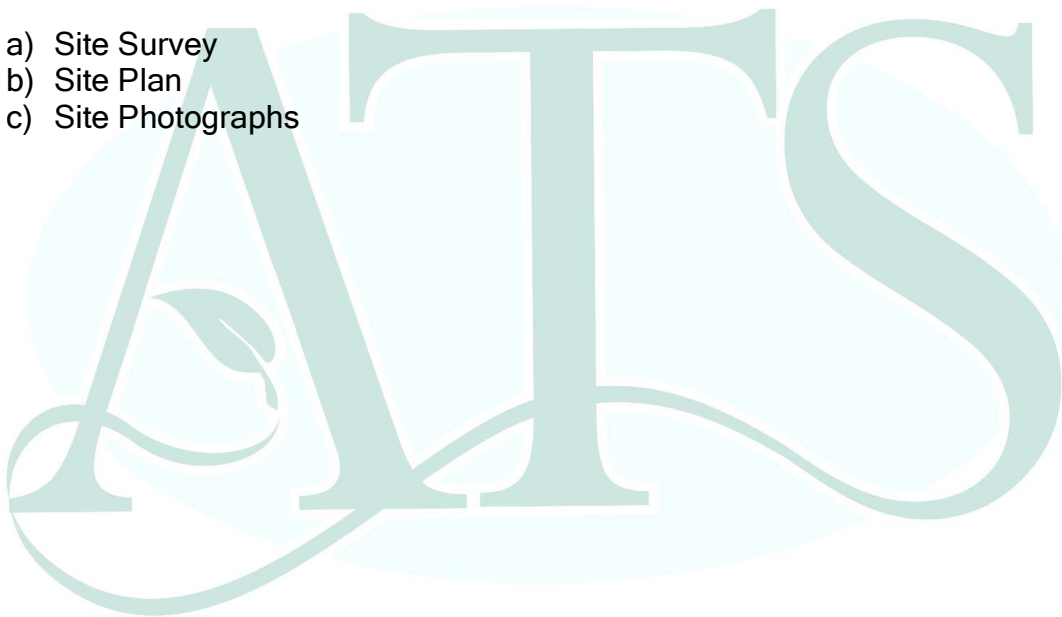
If you would like any further information, please contact me on 01482 210066.

Yours sincerely

Dominic Blake PD Arb (RFS) MArbor A
CEO
24th January 2024

Appendices

- a) Site Survey
- b) Site Plan
- c) Site Photographs



APPENDIX A
TREE SURVEY

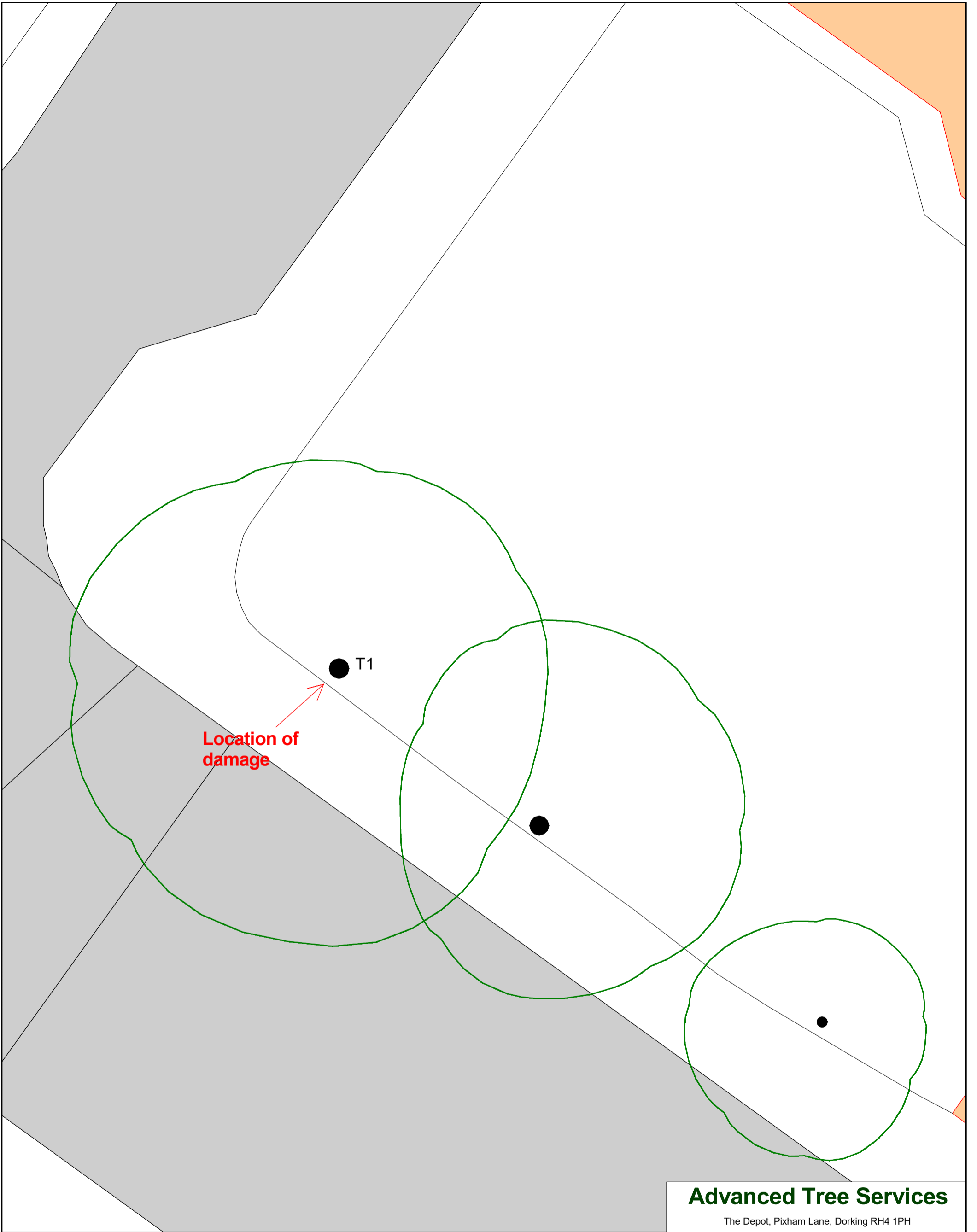
ADVANCED TREE SERVICES
TREE SURVEY SCHEDULE

Client: Mrs Collins
Site: Warwick Lodge SW1V 4BT
Date of Survey: 22/01/2024
Arboricultural surveyor: DB
Tagged: No
Weather conditions: Fine, breezy


Ref/Tag No.	Species	Hgt (m)	SD (mm)	Dist. to Structure (m)	Age Class	Water Demand	ZOI	Condition/Observations
T1	Tree of Heaven (Ailanthus altissima)	19	580	0.0m	Mature	Moderate	15	Good physiological condition. No obvious external indications of weakness or decay. Co-dominant stems at 5.5m. Canopy weighted over road and footpath.

APPENDIX B

SITE PLAN



T1 - Tree of Heaven (*Ailanthus altissima*)

Advanced Tree Services		
The Depot, Pixham Lane, Dorking RH4 1PH 01483 210066		
Tree Damage Assessment		
SCALE : 1 : 100	@ A3	DATE : 24/01/2024
MAP FILENAME : Warwick Lodge SW1V 4BT.mpd		N 
Map data shown may contain Ordnance Survey © products supplied by Pear Technology Services Ltd; Email: info@peartechology.co.uk © Crown Copyright and database rights from date shown above Ordnance Survey © licence number 100023148		

APPENDIX C
SITE PHOTOGRAPHS

Warwick Lodge, Pimlico, SW1V 4BT (22.01.2024)



Tree of Heaven (T1)

Warwick Lodge, Pimlico, SW1V 4BT (22.01.2024)



T1 in relation to wall



Warwick Lodge, Pimlico, SW1V 4BT (22.01.2024)



Roots from T1 visible in garden area

Warwick Lodge, Pimlico, SW1V 4BT (22.01.2024)



Substantial damage to boundary wall by T1

Warwick Lodge, Pimlico, SW1V 4BT (22.01.2024)



**Damage to boundary wall
(clearly pushed out of alignment)**