



© Crown copyright and database rights, 2023. Ordnance Survey
0100031673 Created using Plans by Emapsite

0m 20m 40m 60m 80m 100m

location plan
[SCALE 1:1250]

pal + pti
architects town planners
building engineers party wall surveyors arboriculturists



01564 730 191

www.progressionarchitects.com

the dairy . packwood road . lapworth . b94 6ej

For:

Morton Titterton

At:

Manor Farm Barns
Holywell
Warwickshire
CV35 7BH

Wednesday, 22 November 2023

PAL.TITCV357BH

Application Documents
DRAFT >

site plan
[SCALE 1:500]

PROPOSED
CONVERSION
OF EXISTING
BARN

Pond

Manor Farm

112.8m

Pond



TO ENSURE CORRECT
SCALE PRINT AT A3



address: PAL.TITCV357BH
date: 22/11/2023
scale: As Indicated
dwg no.: PAL.02

pal architects town planners

ptl building engineers party wall surveyors arboriculturists

contact
a: the dairy, packwood road, lapworth
solihull, west midlands b94 6ej
t: 01564 730 191
e: info@progressionarchitects.com

'do not scale from this drawing'

architects to be notified of any discrepancies in figures, dimensions and between site conditions and drawings

this drawing and the works depicted within are the copyright of: Progression Architects Ltd. & Progression Technical Services Ltd. and may not be reproduced or amended except by written permission of: Progression Architects Ltd. & Progression Technical Services Ltd. and for use on this site only

before commencement of the works the contractor must check and verify all buildings and site dimensions and levels. all relevant sewer outfalls, invert levels and connection points.

this drawing must be read in conjunction with and checked against all structural, specialist and detail, layout and engineering drawings.

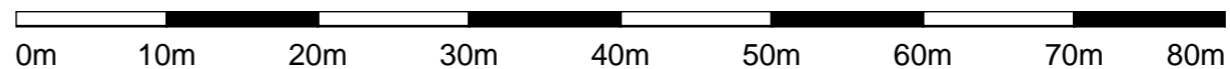
discrepancies must be reported to the Architect

the contractor must satisfy himself with the adequacy of the site investigation information and should ensure that adequate foundations appropriate to the ground conditions are used for any part of the works

this drawing should not be relied upon to give information on ground conditions and foundations

the contractor is to carry out the work in compliance with the Building Regulations, relevant current British Standards and where appropriate NHBC, Zurich, AXA Equilly or similar organisations are involved, to their standards of compliance

This Plan includes the following Licensed Data: OS MasterMap Colour PDF Location Plan by the Ordnance Survey National Geographic Database and incorporating surveyed revision available at the date of production. Reproduction in whole or in part is prohibited without the prior permission of Ordnance Survey. The representation of a road, track or path is no evidence of a right of way. The representation of features, as lines is no evidence of a property boundary. © Crown copyright and database rights, 2022. Ordnance Survey 0100031673





Site Map (Division of Plots)
[SCALE 1:500]

TO ENSURE CORRECT SCALE PRINT AT A3



address: PAL.TITCV357BH

date: 22/11/2023

scale: As Indicated

dwg no.: PAL.010

pal
architects
town planners



ptl
building engineers
party wall surveyors
arboriculturists



contact
a: the dairy, packwood road, lapworth
solihull, west midlands b94 6ej
t: 01564 730 191
e: info@progressionarchitects.com

'do not scale from this drawing'

architects to be notified of any discrepancies in figures, dimensions and between site conditions and drawings.

this drawing and the works depicted within are the copyright of: **Progression Architects Ltd. & Progression Technical Services Ltd.** and may not be reproduced or amended except by written permission of: **Progression Architects Ltd. & Progression Technical Services Ltd.** and for use on this site only

before commencement of the works the contractor must check and verify all buildings and site dimensions and levels. all relevant sewer outfalls, invert levels and connection points.

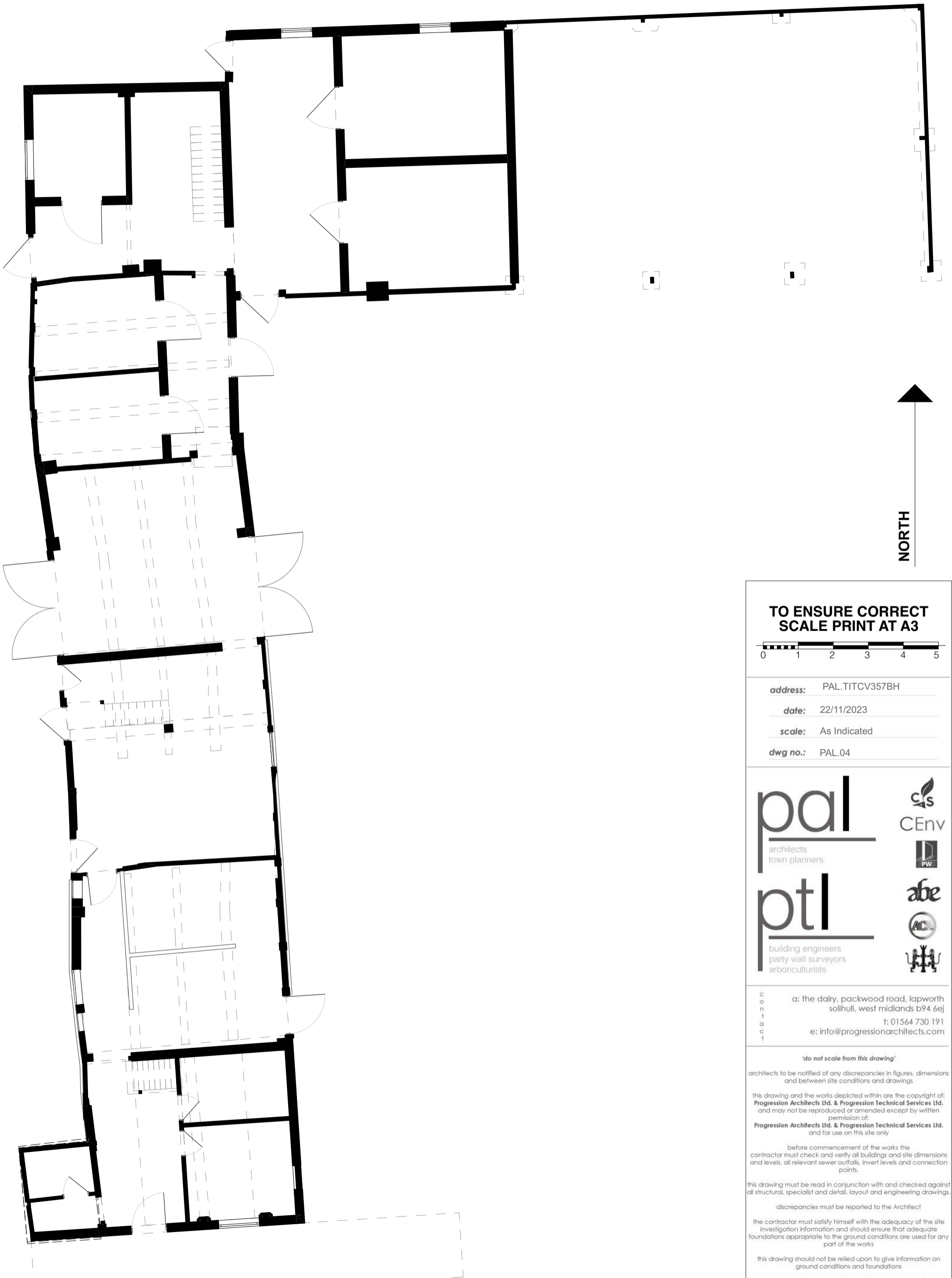
this drawing must be read in conjunction with and checked against all structural, specialist and detail, layout and engineering drawings.

discrepancies must be reported to the Architect

the contractor must satisfy himself with the adequacy of the site investigation information and should ensure that adequate foundations appropriate to the ground conditions are used for any part of the works

this drawing should not be relied upon to give information on ground conditions and foundations

the contractor is to carry out the work in compliance with the Building Regulations, relevant current British Standards and where appropriate NHBC, Zurich, AXA Equity or similar organisations are involved, to their standards of compliance



**TO ENSURE CORRECT
SCALE PRINT AT A3**



address: PAL.TITCV357BH
 date: 22/11/2023
 scale: As Indicated
 dwg no.: PAL.04

pal
architects
town planners

ptl
building engineers
party wall surveyors
arboriculturists

contact: a: the dairy, packwood road, lapworth
 solihull, west midlands b94 6ej
 t: 01564 730 191
 e: info@progressionarchitects.com

'do not scale from this drawing'

architects to be notified of any discrepancies in figures, dimensions and between site conditions and drawings

this drawing and the works depicted within are the copyright of: **Progression Architects Ltd. & Progression Technical Services Ltd.** and may not be reproduced or amended except by written permission of: **Progression Architects Ltd. & Progression Technical Services Ltd.** and for use on this site only

before commencement of the works the contractor must check and verify all buildings and site dimensions and levels, all relevant sewer outfalls, invert levels and connection points.

this drawing must be read in conjunction with and checked against all structural, specialist and detail, layout and engineering drawings.

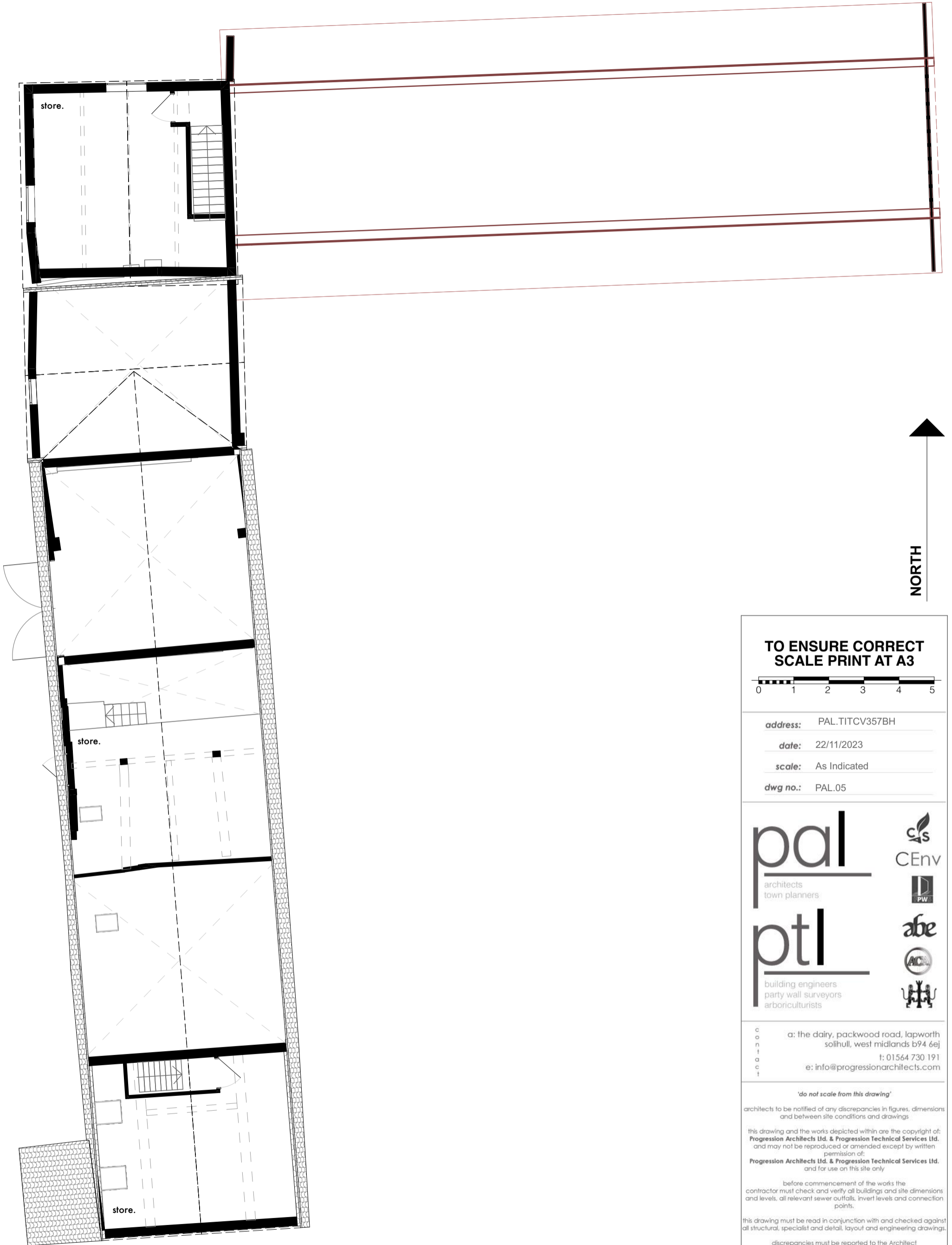
discrepancies must be reported to the Architect

the contractor must satisfy himself with the adequacy of the site investigation information and should ensure that adequate foundations appropriate to the ground conditions are used for any part of the works

this drawing should not be relied upon to give information on ground conditions and foundations

the contractor is to carry out the work in compliance with the Building Regulations, relevant current British Standards and where appropriate NHBC, Zurich, AXA Equity or similar organisations are involved, to their standards of compliance

existing ground floor
[SCALE 1:100]



**TO ENSURE CORRECT
SCALE PRINT AT A3**



address: PAL.TITCV357BH

date: 22/11/2023

scale: As Indicated

dwg no.: PAL.05

pal
architects
town planners



ptl
building engineers
party wall surveyors
arboriculturists



contact: the dairy, packwood road, lapworth
solihull, west midlands b94 6ej
t: 01564 730 191
e: info@progressionarchitects.com

'do not scale from this drawing'

architects to be notified of any discrepancies in figures, dimensions and between site conditions and drawings

this drawing and the works depicted within are the copyright of: **Progression Architects Ltd. & Progression Technical Services Ltd.** and may not be reproduced or amended except by written permission of: **Progression Architects Ltd. & Progression Technical Services Ltd.** and for use on this site only

before commencement of the works the contractor must check and verify all buildings and site dimensions and levels, all relevant sewer outfalls, invert levels and connection points.

this drawing must be read in conjunction with and checked against all structural, specialist and detail, layout and engineering drawings.

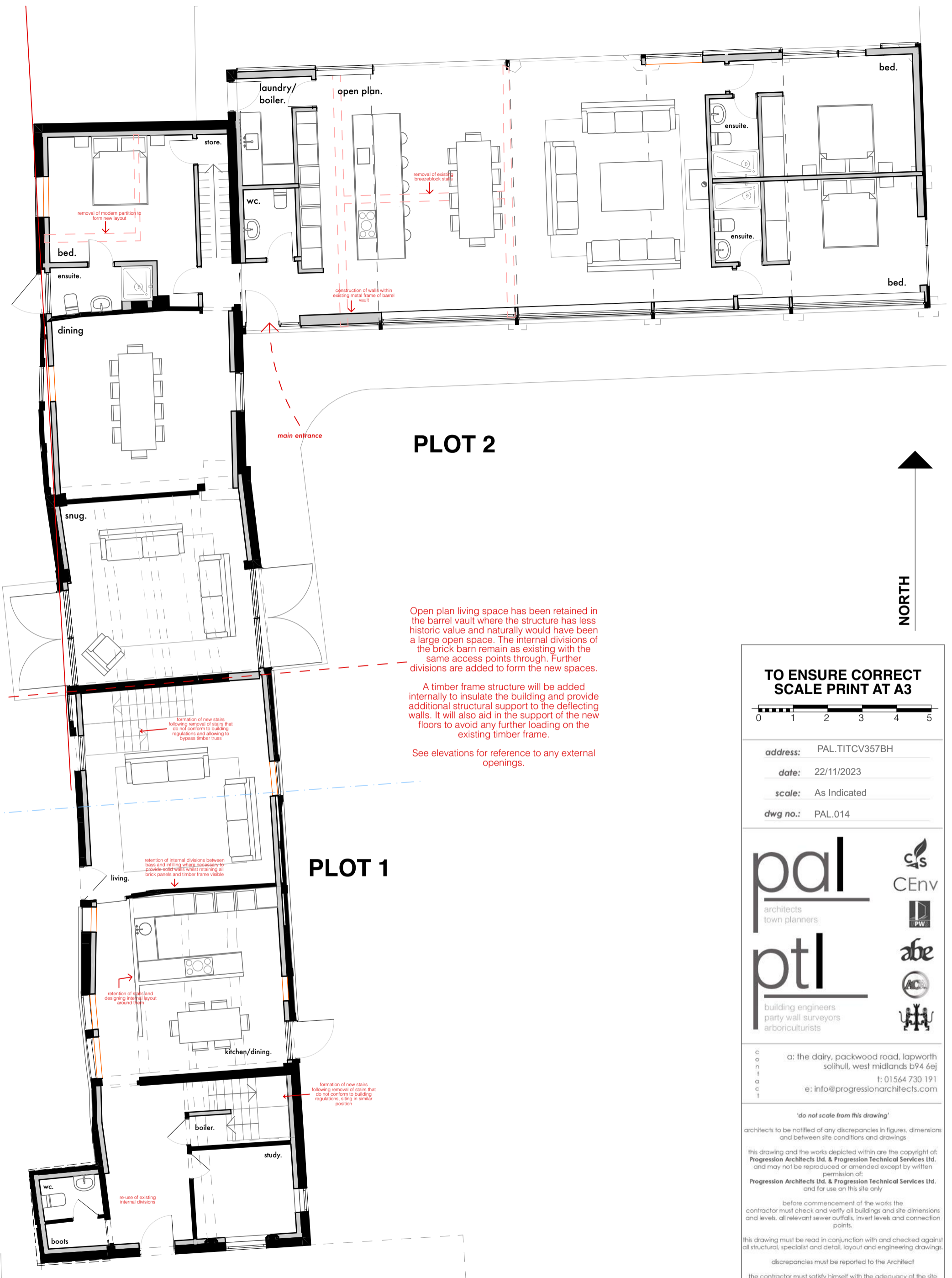
discrepancies must be reported to the Architect

the contractor must satisfy himself with the adequacy of the site investigation information and should ensure that adequate foundations appropriate to the ground conditions are used for any part of the works

this drawing should not be relied upon to give information on ground conditions and foundations

the contractor is to carry out the work in compliance with the Building Regulations, relevant current British Standards and where appropriate NHBC, Zurich, AXA Equity or similar organisations are involved, to their standards of compliance

existing first floor
[SCALE 1:100]



PLOT 2

Open plan living space has been retained in the barrel vault where the structure has less historic value and naturally would have been a large open space. The internal divisions of the brick barn remain as existing with the same access points through. Further divisions are added to form the new spaces.

A timber frame structure will be added internally to insulate the building and provide additional structural support to the deflecting walls. It will also aid in the support of the new floors to avoid any further loading on the existing timber frame.

See elevations for reference to any external openings.

PLOT 1

proposed ground floor
[SCALE 1:100]

TO ENSURE CORRECT SCALE PRINT AT A3



address: PAL.TITCV357BH
 date: 22/11/2023
 scale: As Indicated
 dwg no.: PAL.014

c
o
n
t
a
c
t
 a: the dairy, packwood road, lapworth
 solihull, west midlands b94 6ej
 t: 01564 730 191
 e: info@progressionarchitects.com

'do not scale from this drawing'

architects to be notified of any discrepancies in figures, dimensions and between site conditions and drawings

this drawing and the works depicted within are the copyright of: **Progression Architects Ltd. & Progression Technical Services Ltd.** and may not be reproduced or amended except by written permission of: **Progression Architects Ltd. & Progression Technical Services Ltd.** and for use on this site only

before commencement of the works the contractor must check and verify all buildings and site dimensions and levels, all relevant sewer outfalls, invert levels and connection points.

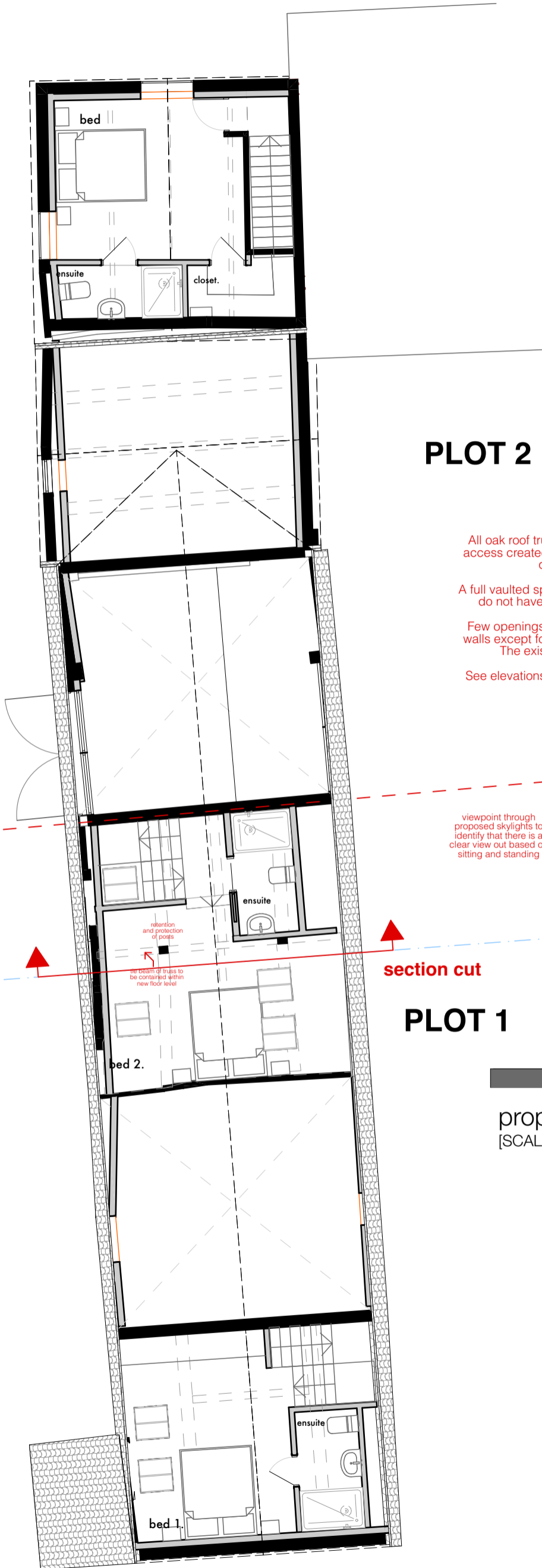
this drawing must be read in conjunction with and checked against all structural, specialist and detail, layout and engineering drawings.

discrepancies must be reported to the Architect

the contractor must satisfy himself with the adequacy of the site investigation information and should ensure that adequate foundations appropriate to the ground conditions are used for any part of the works

this drawing should not be relied upon to give information on ground conditions and foundations

the contractor is to carry out the work in compliance with the Building Regulations, relevant current British Standards and where appropriate NHBC, Zurich, AXA Equity or similar organisations are involved, to their standards of compliance



PLOT 2

All oak roof trusses remain as existing with access created within the central void of the queen post truss

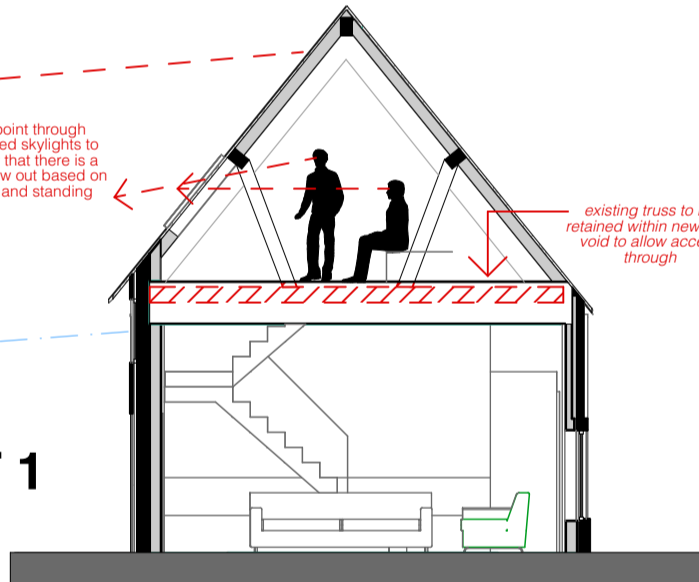
A full vaulted space is retained in all bays that do not have first floor spaces currently.

Few openings are proposed in the existing walls except for a number of door openings. The existing bays remain as is.

See elevations for reference to any external openings.

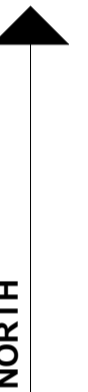
section cut

PLOT 1



proposed section
[SCALE 1:100]

proposed first floor
[SCALE 1:100]



**TO ENSURE CORRECT
SCALE PRINT AT A3**



address: PAL.TITCV357BH

date: 22/11/2023

scale: As Indicated

dwg no.: PAL.015

pal
architects
town planners



ptl
building engineers
party wall surveyors
arboriculturists



contact
a: the dairy, packwood road, lapworth
solihull, west midlands b94 6ej
t: 01564 730 191
e: info@progressionarchitects.com

'do not scale from this drawing'

architects to be notified of any discrepancies in figures, dimensions and between site conditions and drawings

this drawing and the works depicted within are the copyright of: **Progression Architects Ltd. & Progression Technical Services Ltd.** and may not be reproduced or amended except by written permission of: **Progression Architects Ltd. & Progression Technical Services Ltd.** and for use on this site only

before commencement of the works the contractor must check and verify all buildings and site dimensions and levels, all relevant sewer outfalls, invert levels and connection points.

this drawing must be read in conjunction with and checked against all structural, specialist and detail, layout and engineering drawings.

discrepancies must be reported to the Architect

the contractor must satisfy himself with the adequacy of the site investigation information and should ensure that adequate foundations appropriate to the ground conditions are used for any part of the works

this drawing should not be relied upon to give information on ground conditions and foundations

the contractor is to carry out the work in compliance with the Building Regulations, relevant current British Standards and where appropriate NHBC, Zurich, AXA Equity or similar organisations are involved, to their standards of compliance

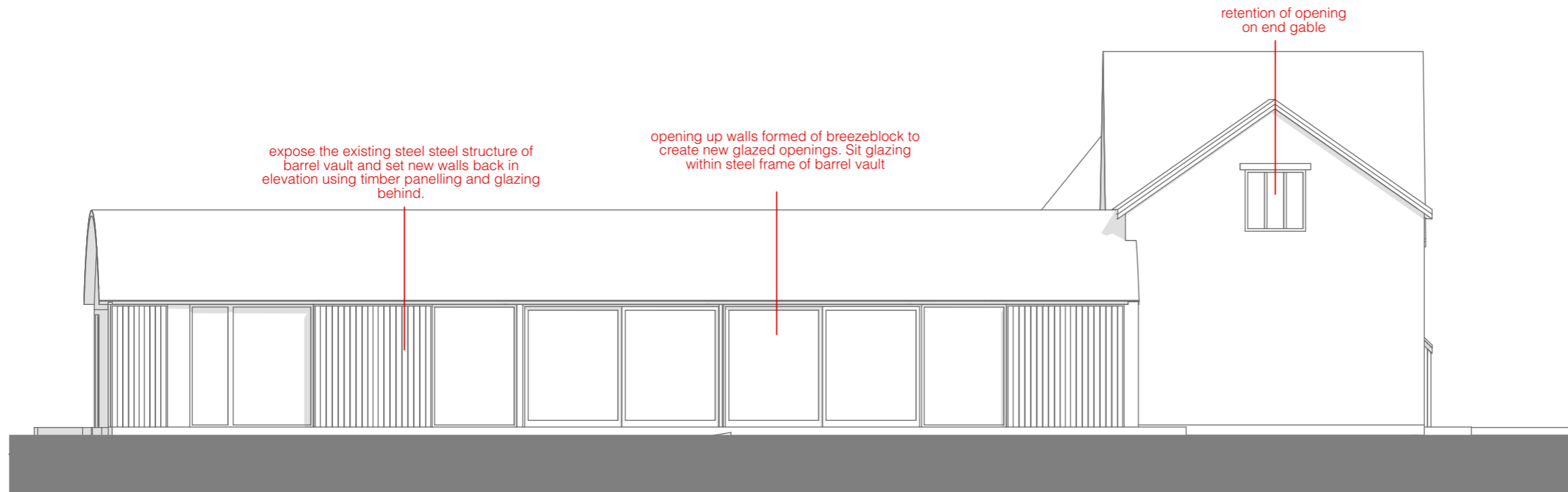
EXISTING

There are little proposed changes to the external elevations, all changes that are proposed are noted here.



1:100 existing north elevation

PROPOSED



1:100 proposed north elevation

TO ENSURE CORRECT SCALE PRINT AT A3



address: PAL.TITCV357BH
 date: 22/11/2023
 scale: As Indicated
 dwg no.: PAL.07








pal
 architects
 town planners

ptl
 building engineers
 party wall surveyors
 arboriculturists

c
o
n
t
a
c
t
 a: the dairy, packwood road, lapworth
 solihull, west midlands b94 6ej
 t: 01564 730 191
 e: info@progressionarchitects.com

'do not scale from this drawing'

architects to be notified of any discrepancies in figures, dimensions and between site conditions and drawings

this drawing and the works depicted within are the copyright of: **Progression Architects Ltd. & Progression Technical Services Ltd.** and may not be reproduced or amended except by written permission of: **Progression Architects Ltd. & Progression Technical Services Ltd.** and for use on this site only

before commencement of the works the contractor must check and verify all buildings and site dimensions and levels. all relevant sewer outfalls, invert levels and connection points.

this drawing must be read in conjunction with and checked against all structural, specialist and detail, layout and engineering drawings. discrepancies must be reported to the Architect

the contractor must satisfy himself with the adequacy of the site investigation information and should ensure that adequate foundations appropriate to the ground conditions are used for any part of the works

this drawing should not be relied upon to give information on ground conditions and foundations

the contractor is to carry out the work in compliance with the Building Regulations, relevant current British Standards and where appropriate NHBC, Zurich, AXA Equity or similar organisations are involved, to their standards of compliance

EXISTING

There are little proposed changes to the external elevations, all changes that are proposed are noted here.



DO NOT ENSURE CORRECT SCALE PRINT AT A3

2 3 4 5

PAL.TITCV357BH

22/11/2023

Indicated

L.08

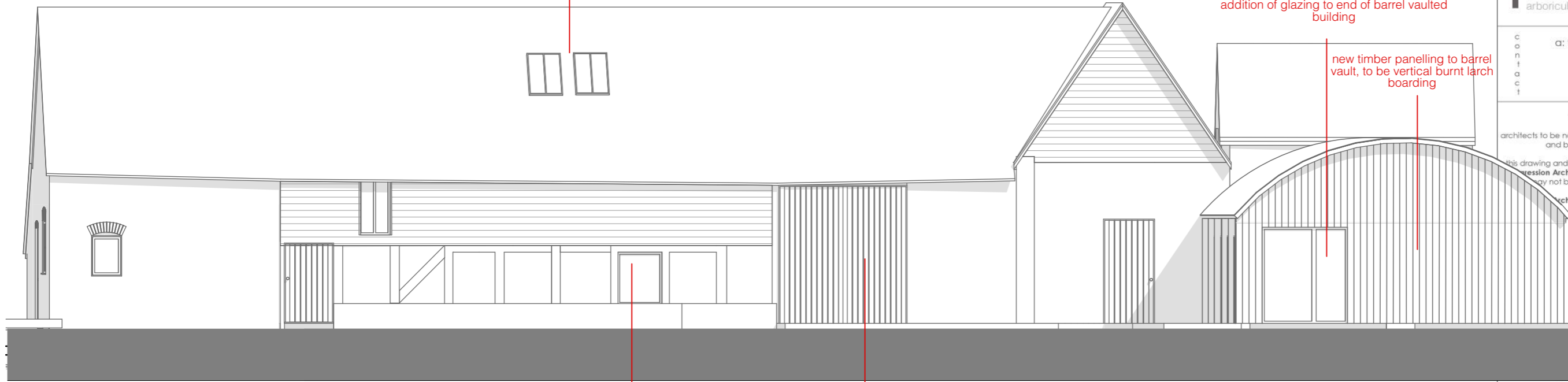
1:100 existing east elevation

PROPOSED

minimal conservation rooflights in roof to newly formed spaces in loft area

addition of glazing to end of barrel vaulted building

new timber panelling to barrel vault, to be vertical burnt larch boarding



enlarged size of existing opening to fit within full panel of timber frame

retained doors

1:100 proposed east elevation




 architects
 town planners






 building engineers
 party wall surveyors
 arboriculturists

contact
 address: the dairy, packwood road, lapworth
 solihull, west midlands b94 6ej
 telephone: 01564 730 191
 email: info@progressionarchitects.com

'do not scale from this drawing'
 architects to be notified of any discrepancies in figures, dimensions
 and between site conditions and drawings.

this drawing and the works depicted within are the copyright of:
 Progression Architects Ltd. & Progression Technical Services Ltd.
 they may not be reproduced or amended except by written
 permission of:
 Progression Architects Ltd. & Progression Technical Services Ltd.
 and for use on this site only

upon commencement of the works the contractor shall
 check and verify all buildings and site dimensions
 and sewer outfalls, invert levels and connection
 points.

the contractor shall read in conjunction with and checked against
 the specification, list and detail, layout and engineering drawings.
 any discrepancies must be reported to the Architect

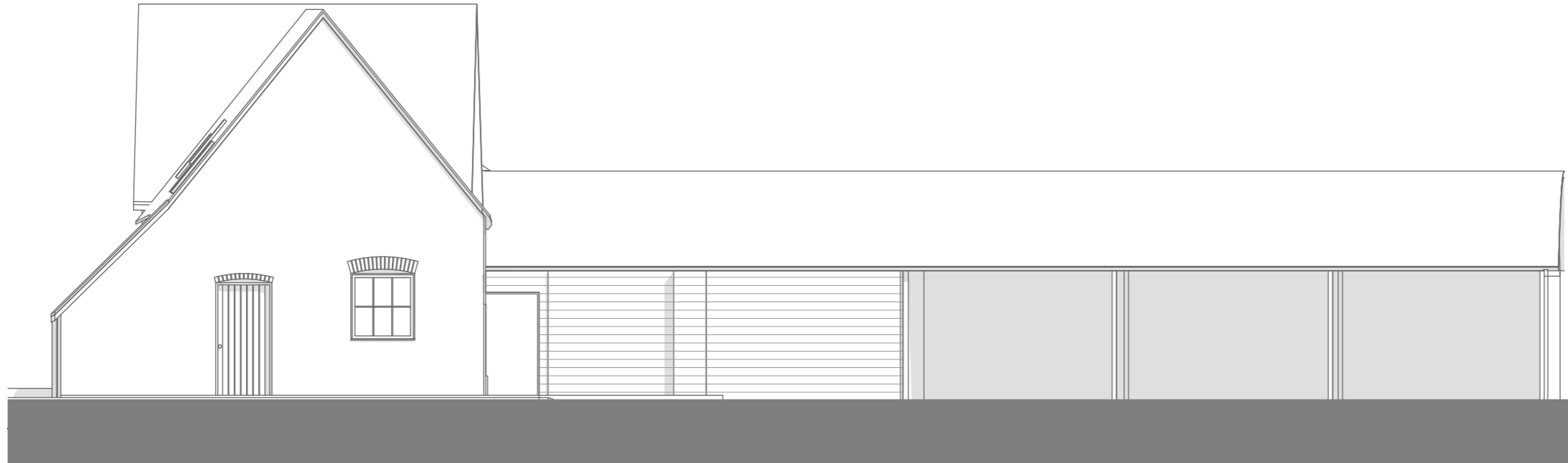
the contractor shall satisfy himself with the adequacy of the site
 conditions and ensure that adequate
 foundations and conditions are used for any
 works

the contractor shall be responsible for providing
 upon to give information on
 and foundations

the contractor is to carry out the work in compliance with the
 Building Regulations, relevant current British Standards and where
 appropriate NHBC, Zurich, AXA Equity or similar organisations are
 involved, to their standards of compliance

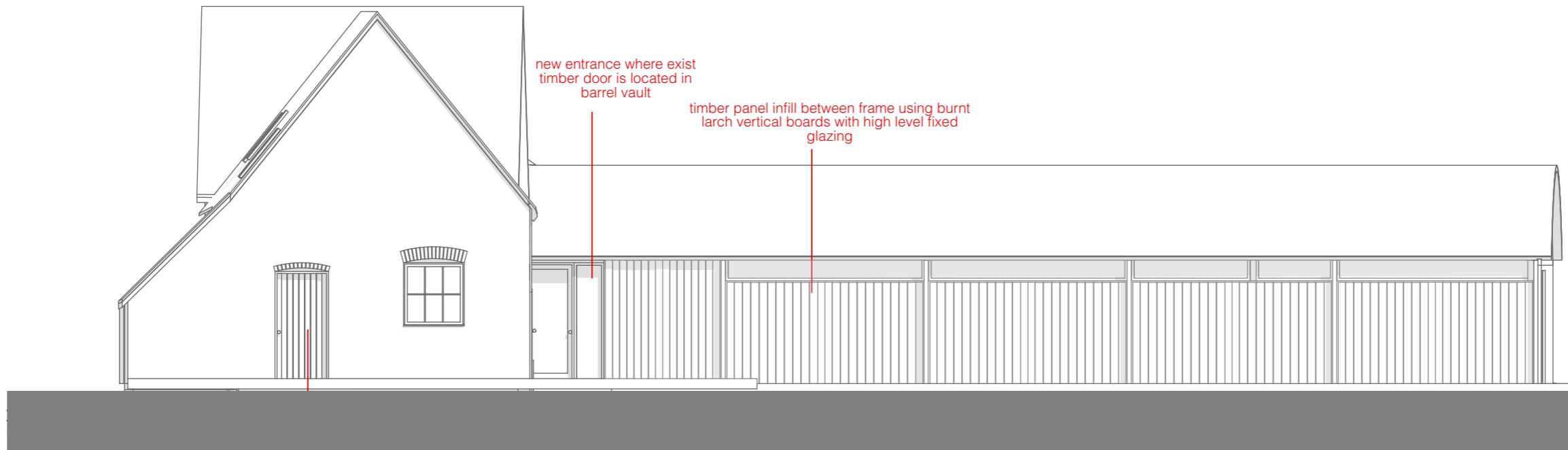
EXISTING

There are little proposed changes to the external elevations, all changes that are proposed are noted here.



1:100 existing south elevation

PROPOSED



1:100 proposed south elevation

retention of existing openings on end gable with use of door to enter south barn dwelling

new entrance where exist timber door is located in barrel vault

timber panel infill between frame using burnt larch vertical boards with high level fixed glazing

TO ENSURE CORRECT SCALE PRINT AT A3



address: PAL.TITCV357BH
 date: 22/11/2023
 scale: As Indicated
 dwg no.: PAL.017

ptl
 building engineers
 party wall surveyors
 arboriculturists

c
 o
 n
 t
 a
 c
 t
 a: the dairy, packwood road, lapworth
 solihull, west midlands b94 6ej
 t: 01564 730 191
 e: info@progressionarchitects.com

'do not scale from this drawing'

architects to be notified of any discrepancies in figures, dimensions and between site conditions and drawings

this drawing and the works depicted within are the copyright of: **Progression Architects Ltd. & Progression Technical Services Ltd.** and may not be reproduced or amended except by written permission of: **Progression Architects Ltd. & Progression Technical Services Ltd.** and for use on this site only

before commencement of the works the contractor must check and verify all buildings and site dimensions and levels, all relevant sewer outfalls, invert levels and connection points.

this drawing must be read in conjunction with and checked against all structural, specialist and detail, layout and engineering drawings. discrepancies must be reported to the Architect

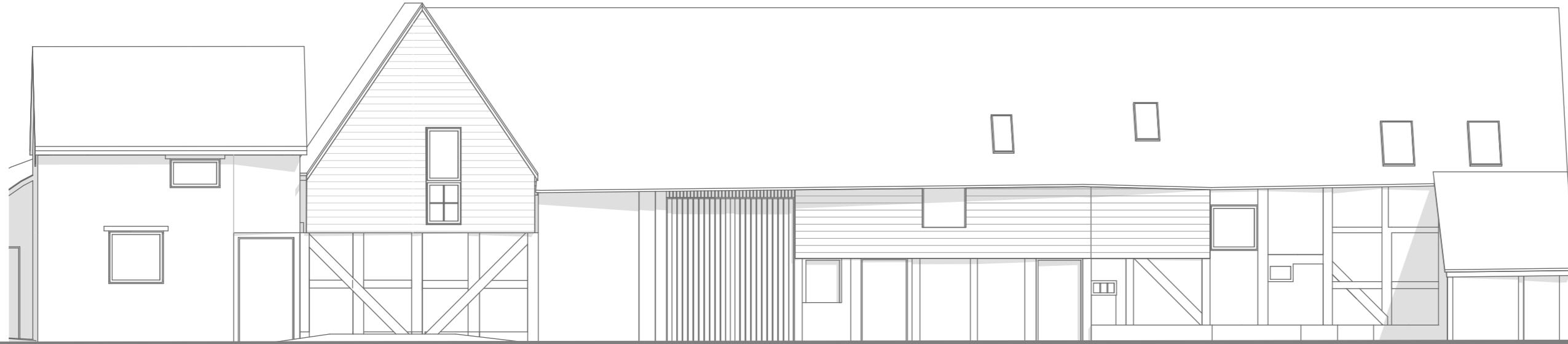
the contractor must satisfy himself with the adequacy of the site investigation information and should ensure that adequate foundations appropriate to the ground conditions are used for any part of the works

this drawing should not be relied upon to give information on ground conditions and foundations

the contractor is to carry out the work in compliance with the Building Regulations, relevant current British Standards and where appropriate NHBC, Zurich, AXA Equity or similar organisations are involved, to their standards of compliance

EXISTING

There are little proposed changes to the external elevations, all changes that are proposed are noted here.



1:100 existing west elevation

TO ENSURE CORRECT SCALE PRINT AT A3



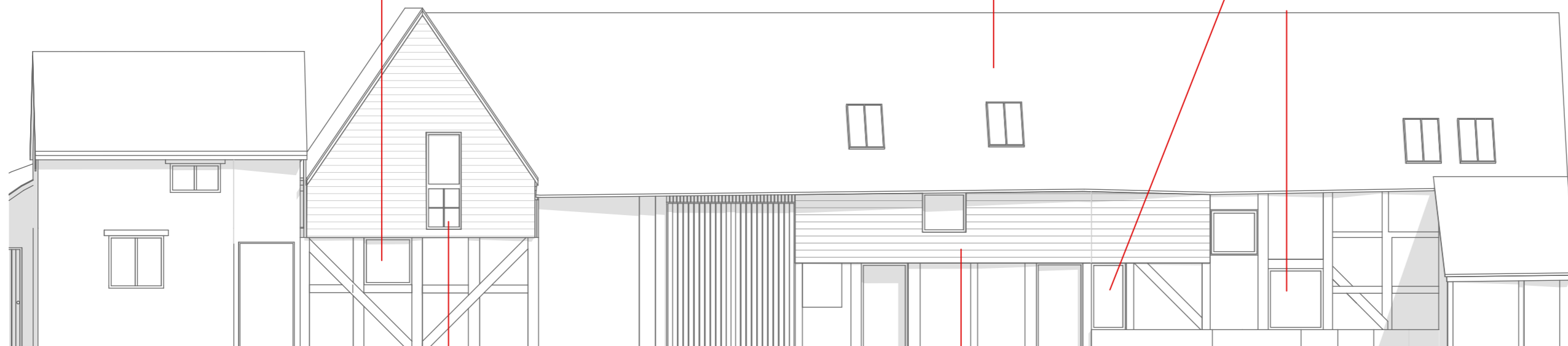
address: PAL.TITCV357BH
date: 22/11/2023
scale: As Indicated
dwg no.: PAL.018

PROPOSED

retention of glazing within gable with the removal of one brick panel in timber frame to provide window

replace all newly added rooflights for conservation rooflights. No increase on number from existing

enlarge existing window opening to fit within full panel of timber frame



new window to replicate panel configuration of existing

retention of panelling

1:100 proposed west elevation




 architects
 town planners






 building engineers
 party wall surveyors
 arboriculturists

contact
a: the dairy, packwood road, lapworth
solihull, west midlands b94 6ej
t: 01564 730 191
e: info@progressionarchitects.com

'do not scale from this drawing'
architects to be notified of any discrepancies in figures, dimensions and between site conditions and drawings

this drawing and the works depicted within are the copyright of: **Progression Architects Ltd. & Progression Technical Services Ltd.** and may not be reproduced or amended except by written permission of: **Progression Architects Ltd. & Progression Technical Services Ltd.** and for use on this site only

before commencement of the works the contractor must check and verify all buildings and site dimensions and levels, all relevant sewer outfalls, invert levels and connection points.

this drawing must be read in conjunction with and checked against all structural, specialist and detail, layout and engineering drawings. discrepancies must be reported to the Architect

the contractor must satisfy himself with the adequacy of the site investigation information and should ensure that adequate foundations appropriate to the ground conditions are used for any part of the works

this drawing should not be relied upon to give information on ground conditions and foundations

the contractor is to carry out the work in compliance with the Building Regulations, relevant current British Standards and where appropriate NHBC, Zurich, AXA Equity or similar organisations are involved, to their standards of compliance