



S M I T H




G R O U P

WEST STREET_Design Document

This document has been prepared by Smith Group on behalf of our client Pam Venning, of, West Street, Deal, Kent.

CONFIDENTIAL

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01 INTRODUCTION

76 West Street_Heritage statement

This Heritage Statement accompanies a detailed planning application submitted by Smith Group on behalf of our client for the refurbishment, extension, and part demolition of 76 West Street, Deal Kent, CT14 6AZ.

The application seeks for the approval of planning consent for the following proposed scope of works, but not limited to:

- Demolition of parts of existing house including removal of walls
- One storey rear & side extension
- Interior alterations

This Heritage Statement aims to provide a brief explanation of the design principles, which have informed the scheme and how access issues have been dealt with. This report will analyse important areas of the site and should be read together with the accompanying set of planning drawings and photographs included within this document.

The property is not a listed building however it is located within a conservation area. It has no nearby Listed Buildings or protected trees to consider.

The proposals will take into careful consideration the effect and appearance of the existing house, the local neighbourhood, adjacent buildings and their occupants through a sensitive approach to scale, design and materiality.



Site Location Plan
NOT TO SCALE



02 EXISTING SITE

76 West Street_Heritage statement

EXISTING SITE

The site is a residential dwelling along West Street, Deal, Kent. The site is a large rectangular plot in form, which kinks off diagonally. The house is a terraced house, it is currently three storey (inc basement) The site features an existing large outbuilding to the rear of the garden.

The front is a relatively simple design consisting of a front to back roof with a parapet wall. It has two sash windows and is brick. To the rear, the house has an outrigger two storey extension with a hipped roof, which was added a number of years ago. The rear of the house is render and painted.

Along West Street it can be seen how there has been several ad-hoc extensions over the years by neighbours. This has resulted in a variety of roof forms including flat roofs, pitched gables and hipped roofs, therefore there is no distinct architectural style.

EXISTING SITE CONSTRAINTS

The houses along West Street are all use class C3 residential and comprises of terraced houses laid out on a traditional street. The property is located on a long plot with minimal level changes from the front to the rear of the house. The house is accessible by foot and car on the front via West Street, there is also access to the rear of the property by foot by a shared alleyway with the neighbours.

The scheme aims to contribute to the high quality neighbourhood without comprising the character and appearance of the area.

The proposal has also searched to address Local and National Development Policies, and in particular:

- National Planning Policy Framework (NPPF)
- Dover District Local Plan
- Supplementary Planning Guidance documents

The proposals seek to complement the existing street scene including its adjacent neighbours. Choice of materials will be carefully considered and managed through already present materials to complement the architectural vision.

SURROUNDING AREA & CHARACTER

West Street comprises all two storey (plus basement) dwellings which are an eclectic mix of housing stocks. Roof forms are generally pitched, though otherwise of varied form and design. Overall ridge heights are broadly consistent along the road.

There is a variety in the materials used ranging from brick, painted brick, peppledash render and modern render. The forms to the front of each of the dwellings are all notably similar in scale and mass with a range of hipped and front to back roofs. But to the rear of the properties, there has been a series of extensions which vastly range in character and appearance, with flat roofs, pitched and hipped roofs, which therefore results in a varied character for the area.



Rear of the property. Showing both sets of neighbours.



Rear of the property showing existing extension of neighbouring building.



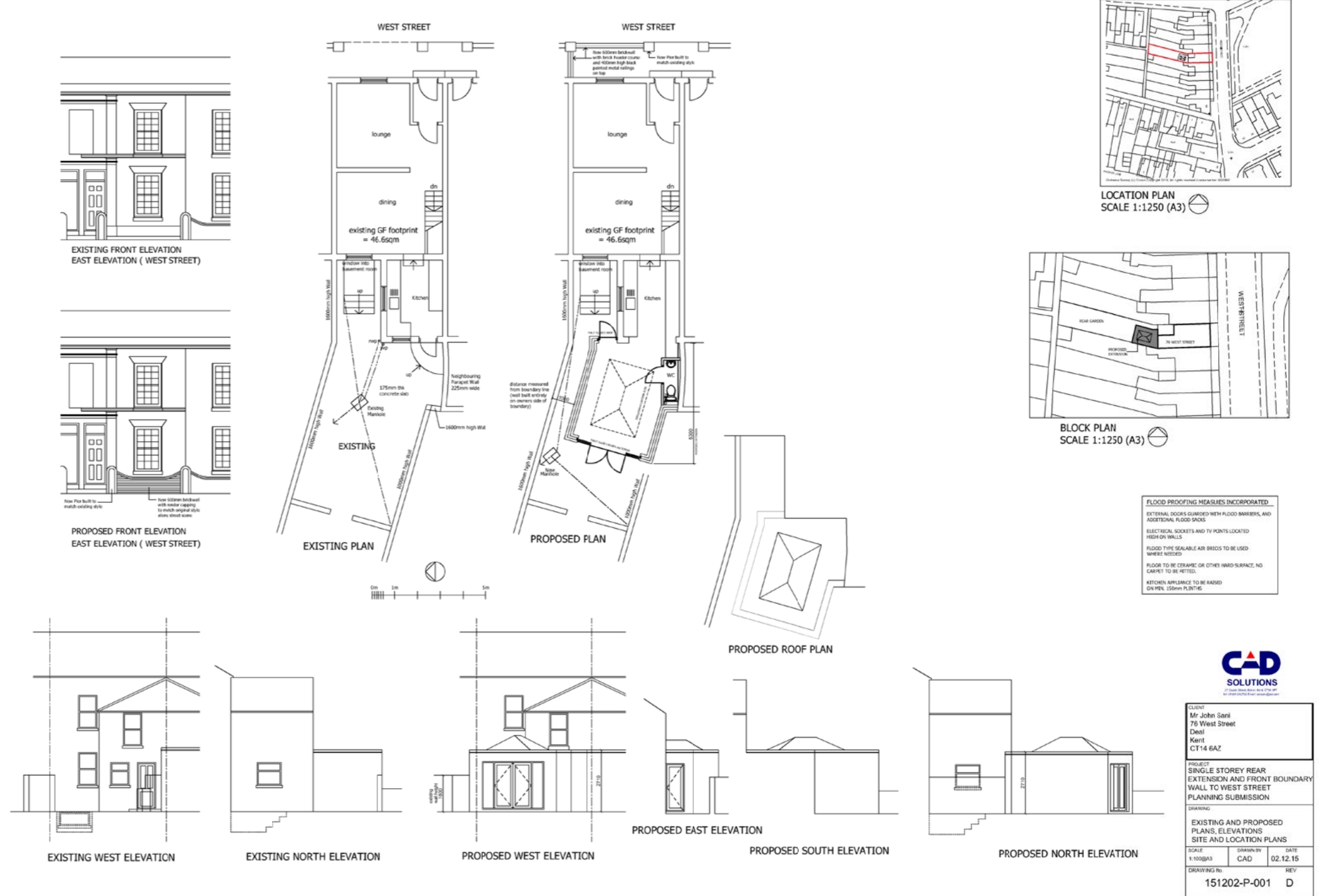
02 EXISTING SITE

76 West Street_Heritage statement

PREVIOUS PLANNING HISTORY

Planning was granted for a similar extension in 2016. We are seeking to renew the planning permission with a new design.

Reference	16/00117
Proposal	Erection of a single storey rear extension and alterations to the front boundary wall.
Decision	Grant Planning Permission
Date Issued	Tue 10 May 2016



Drawing found at DDC planning portal. Produced by Cad Solutions. Do not scale.



03 HERITAGE STATEMENT

76 West Street_Heritage statement

OVERVIEW

The design proposal seeks to ensure that the material pallet is in keeping but also complimentary and adding a contemporary design to the area. We have used render which is used throughout properties in West Street, which ensures consistency with the properties along the rear street scene. The proposals attempt to match the neighbour extension with design of a parapet roof and external doors onto the rear garden. We have proposed to keep access to the basement for fire escape purposes by providing a 600mm access pathway to the side of the extension, and ensure we are not overly obstructive to the neighbouring building.

USE

A change of use is not proposed and the use class will be continued as C3 residential. A new WC, utility & large open planned kitchen will be created.

AMOUNT

Whilst the proposals will add to the amount of development on the site, the amount of development has been carefully considered to respect the character of the immediate surroundings.

LAYOUT

The proposed locations of the extension would respect the building lines of immediate neighbours and the general pattern of development up and down the Street. The improved internal layout responds directly to the existing topography on site and would create an improved levelled connection between internal and external spaces promoting the use of rear amenity by the occupants.

SCALE

The proposals relate to the scale expected of a domestic residential dwelling, adopting similar overall proportions and a matching flat parapet roof to the neighbouring extension. Furthermore, the range of scale in extensions shows that there is no overarching or distinct architectural style and we are improving the conservation area by adding a contemporary addition, using matching materials and which adheres to the modern day building regs. The proposal is much more comparable to the plot size and the relationship to the neighbouring properties.

APPEARANCE

The new dwelling achieves a well-balanced appearance adopting simple geometry and architectural detailing with well managed placement of materials. The simple material palette shows a clear intention to utilise high quality products matching the existing house and the rest of the conservation area, including the use of render, to match existing. The materials selected deliver a low maintenance solution which will ensure long term durability and robustness to the appearance of the building.

CONCLUSION

The proposal is for the extension and refurbishment of a full time dwelling. Given the existing use of the plot is solely residential and the building itself is not listed or provides any notable architectural merit, we believe that the principle of extending the current dwelling is acceptable. It will be enjoyed all year round by the clients as oppose to a weekend home. The surrounding built form is all two storey dwellings (with basements) with a series of outrigger two storey rear extensions with single storey additions, and as such, the proposed one storey extension responds to the local context.

To the rear of the property the fenestration at ground floor has been redesigned to improve the internal space and large doors will open out onto the rear garden.

All the rear extensions along West Street are idiosyncratic, therefore no precedent is set for any look of any property within the Conservation Area, but it has been an important element of the brief to ensure that all wall finishes and materials will match the existing house.

The proposals seek to deliver good design on all levels secured by a context driven approach, helping to promote and raise the standards of design in the context generally.

We believe the configuration and scale of the extensions along with the minimal pallet of materials proposed, will provide an elegant, simple extension in keeping with the character and scale of the surrounding properties. The design of the extension and the careful location of windows would prevent the build impacting negatively on the daylight

and views of the neighbouring dwellings and also minimal overlooking. By upgrading the existing property, the proposal ensures the continued use of the existing building for full time occupation. The renovation looks to improve the area for the local residents, visitors to the area and the local council.

The design put forward responds to National and Local Planning Policy and Guidance. In summary we feel that this is a highly positive enhancement to the building and we trust the proposals are met with planning approval.





SMITH GROUP *(KENT) LIMITED*

ARCHITECTS. PLANNERS. INTERIOR DESIGNERS.

