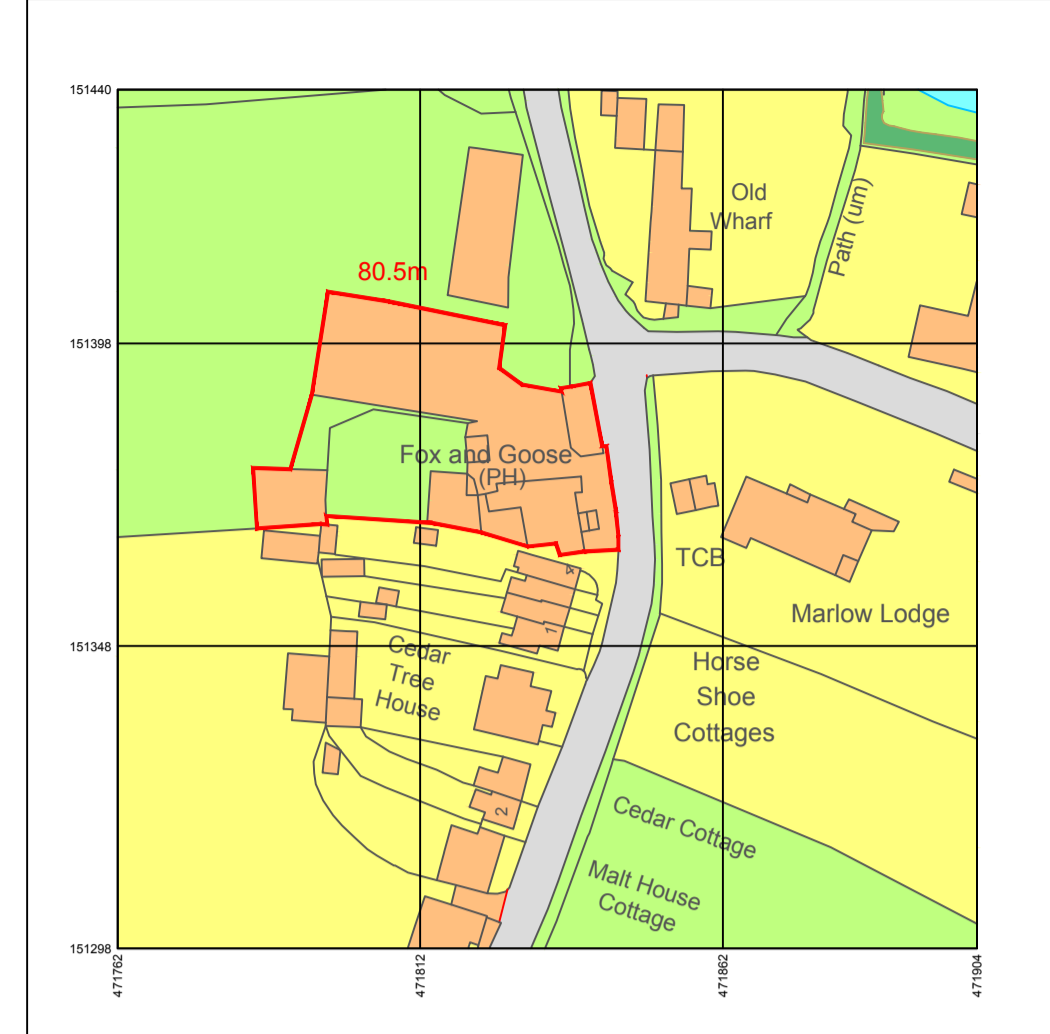


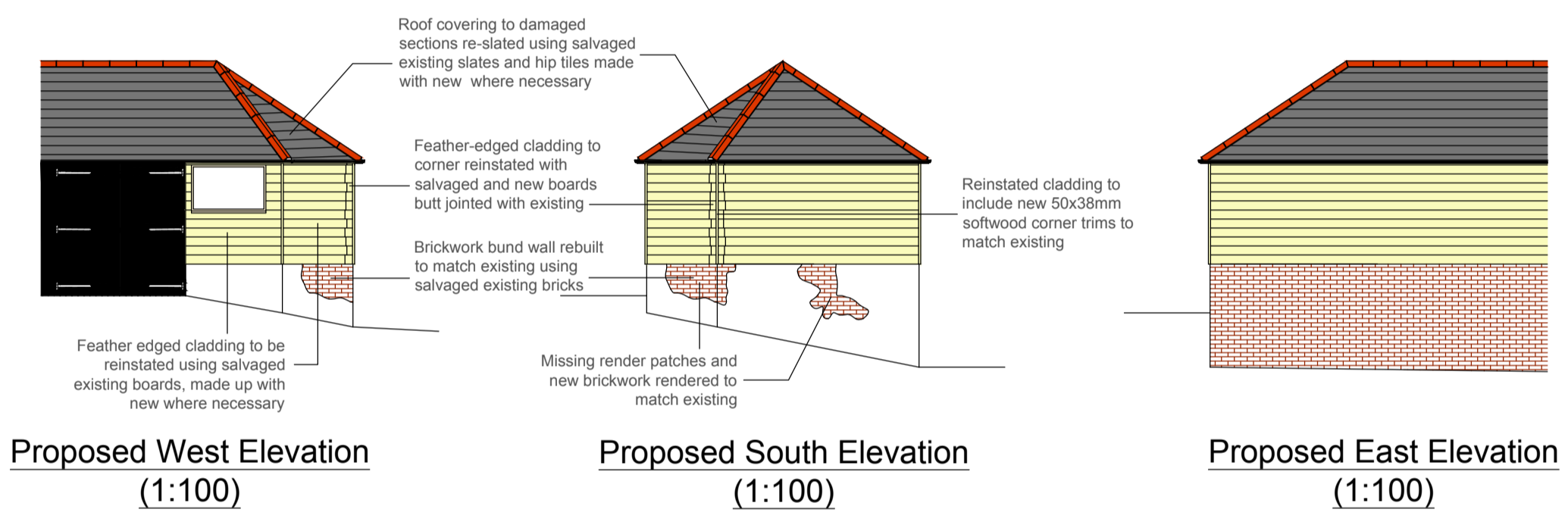
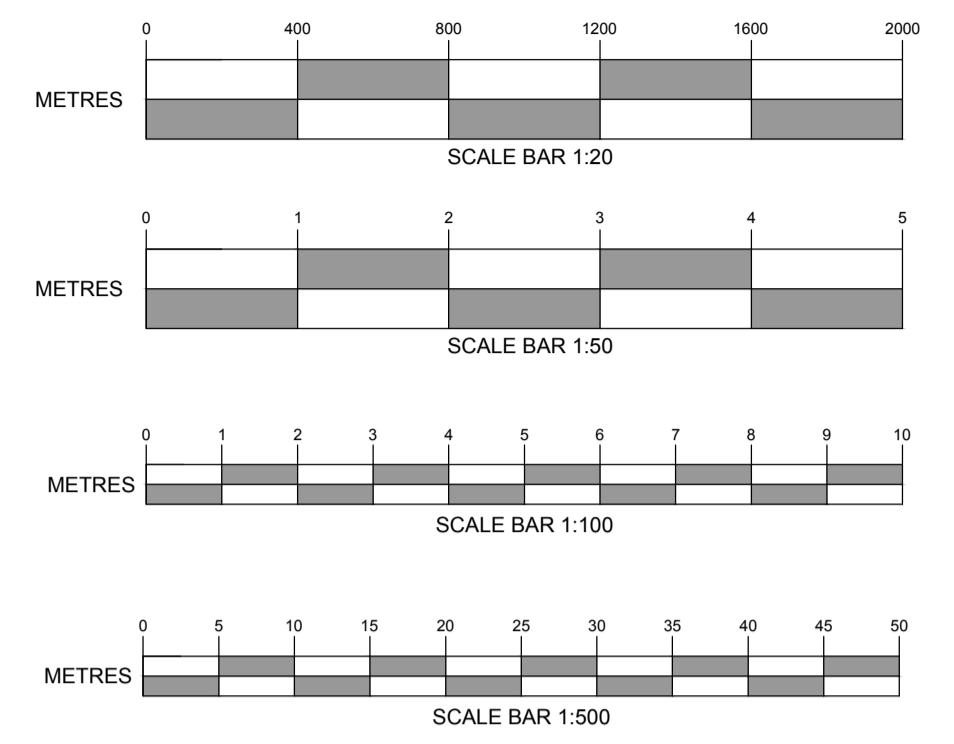


Site Plan
(1:500)



Location Plan
(1:1250)

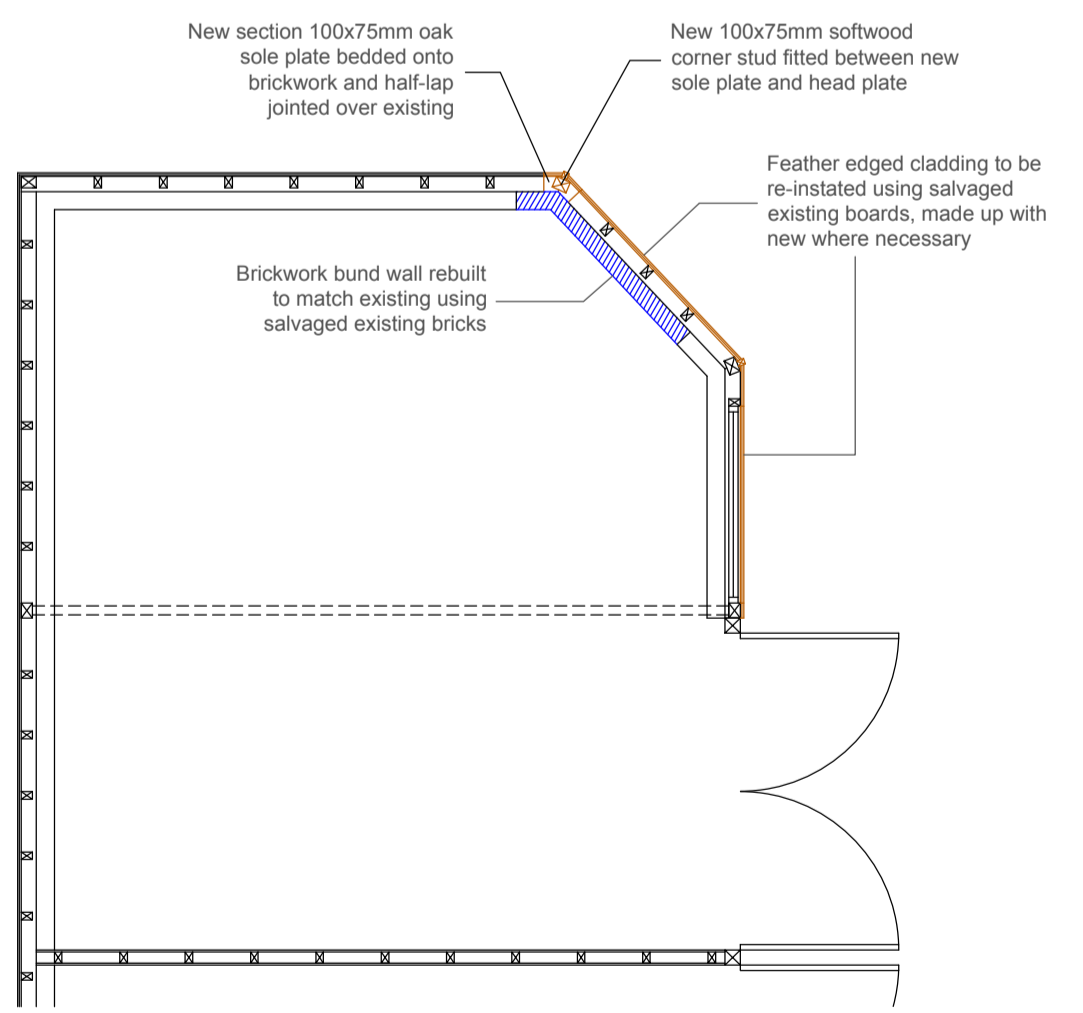
NOTES:
All dimensions to be checked on site and any discrepancy notified. Written dimensions are to be used in preference to scaled dimensions.
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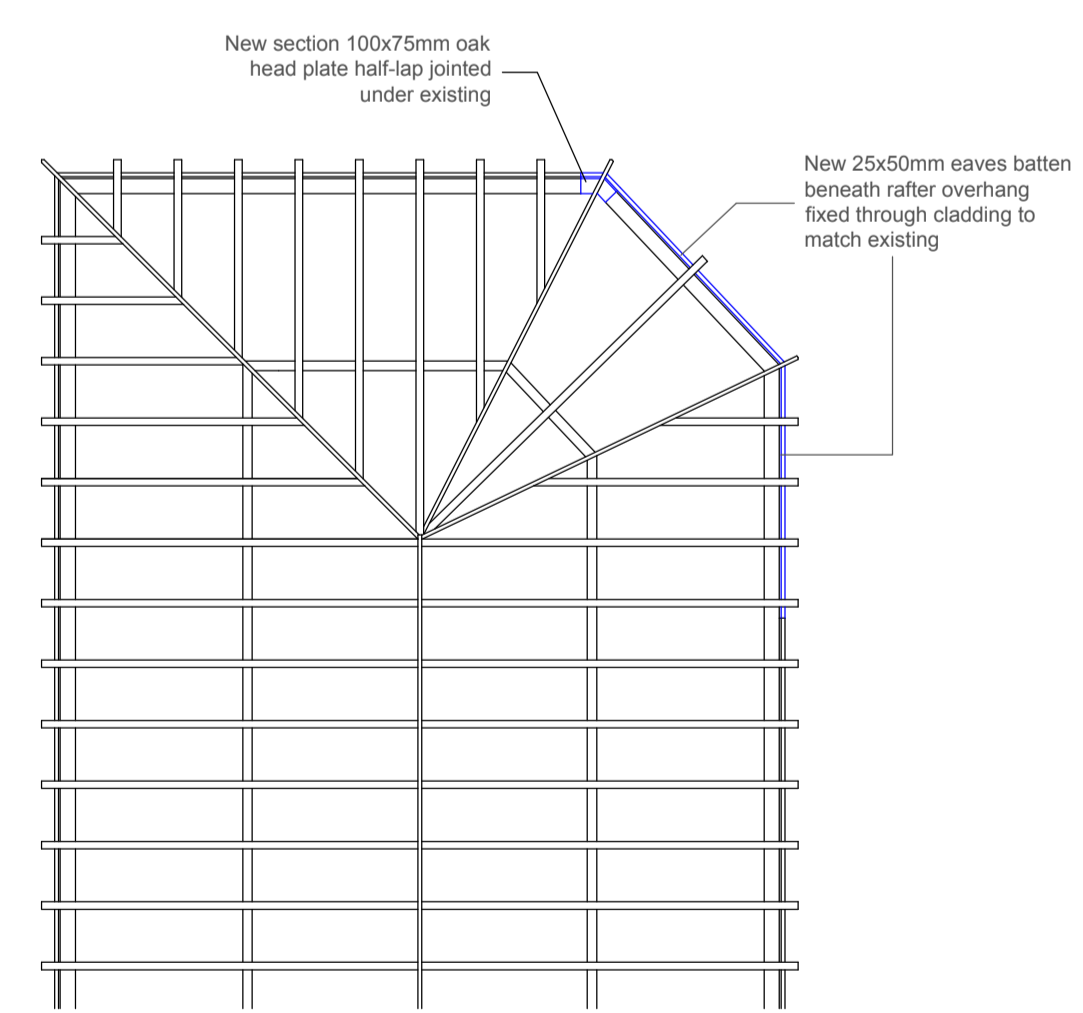
Proposed West Elevation
(1:100)

Proposed South Elevation
(1:100)

Proposed East Elevation
(1:100)



Proposed Floor Plan
(1:50)



Proposed Roof Structure Plan
(1:50)

Notes

Bund Wall Repair
Rebuilt brickwork to be 220mm thick solid construction to match existing, with new toothed into existing, using existing salvaged bricks made up with like-for-like salvage stock bricks to match existing where necessary, all built in 6:1:1 sand:cement:lime mortar with flush joint finish both sides.

Render Repair
Rendering to damaged patches and new brickwork to comprise 6:1:1 sand:cement:lime mortar mix, built up in two coats with overall thickness to match existing, with all surrounding loose render removed and brickwork wetted prior to application. No PVC or other bonding agents to be used. All new render to be painted with one mist coat and two full coats of Dulux Weathershield, colour matched to existing.

Timber Frame Repair
New 100x75mm oak sole plate to be inserted into corner where missing, bedded onto new brickwork with 6:1:1 sand:cement:lime mortar and half-lap jointed over existing plate to form flush joint. Any missing bedding beneath existing plate to be infilled with same mortar.

New 100x75mm oak head plate to be inserted into corner where missing, half-lap jointed with existing plate to form flush joint. Existing hip board to be spike fixed to new head plate with 100x6mm screws.

New 100x75mm softwood corner stud to be fitted between new patched sole and head plate, spike fixed with 3no. 100x8mm stainless steel screws each. Where necessary, additional 75x50mm softwood studs to be installed to allow cladding fixing where abutting with existing.

Cladding Repair
Loose or distorted cladding to be removed and all missing sections reinstated, using existing feather-edged softwood cladding as far as possible. Where necessary new purpose-made softwood cladding boards to be introduced, matching existing in size and profile. All to be cut around existing window and butt jointed into existing cladding where necessary, with additional studs fitted as above to facilitate fixing. All cladding to be fixed to studs with galvanised clout nails through pre-drilled holes to avoid splitting.

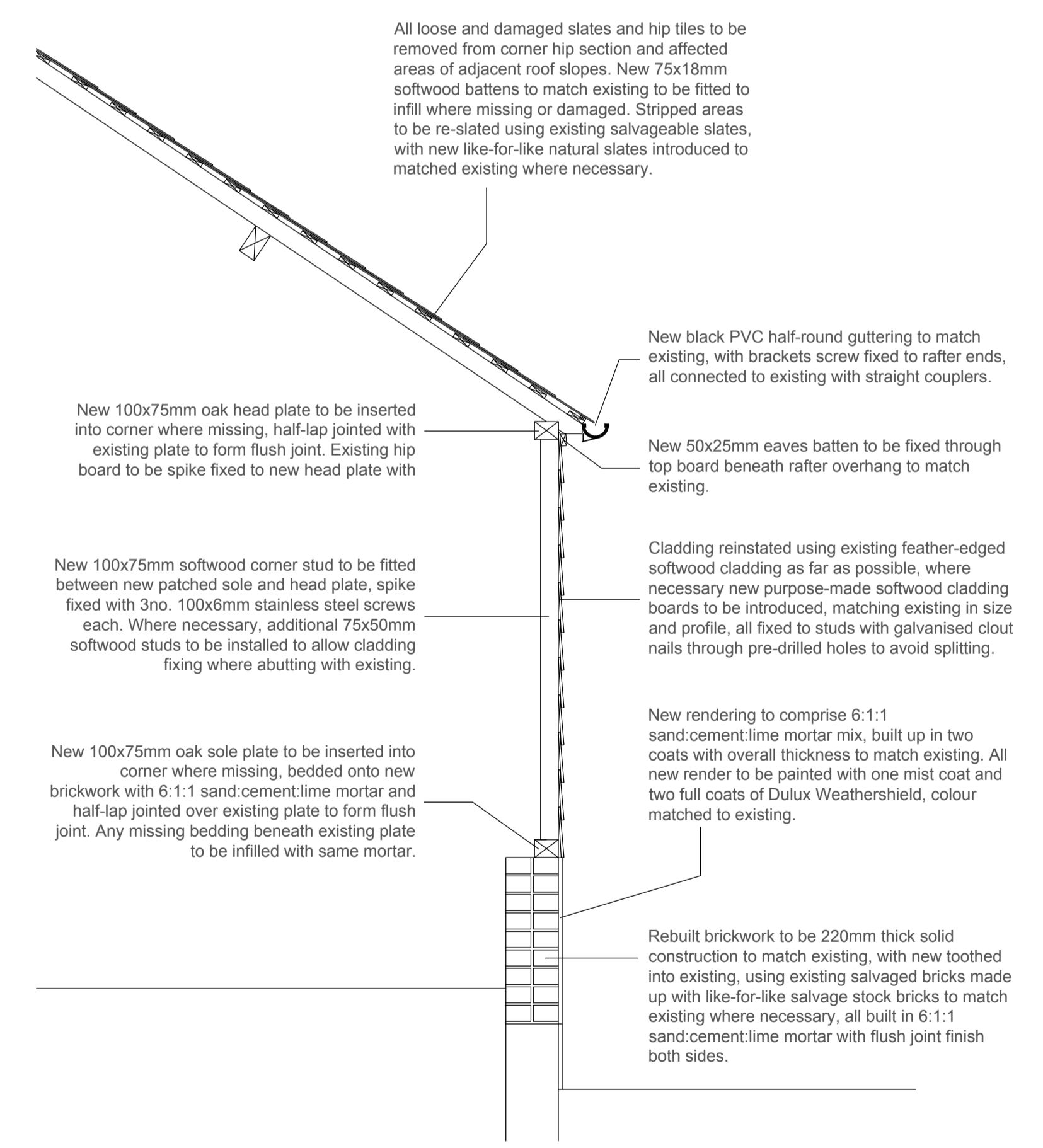
Corners to include new 50x38mm softwood trims fixed into corner studs, with new cladding boards butted into. New 50x25mm eaves batten to be fixed through top board beneath rafter overhang to match existing.

New cladding boards, trims and batten to be painted with two coats of Dulux Trade primer undercoat and one full gloss coat of Dulux Trade Gloss, colour matched to existing.

Roof
All loose and damaged slates and hip tiles to be removed from corner hip section and affected areas of adjacent roof slopes. New 75x18mm softwood battens to match existing to be fitted to infill where missing or damaged. Stripped areas to be re-slatted using existing salvageable slates, with new like-for-like natural slates introduced to matched existing where necessary.

Existing salvaged hip tiles to be re-bedded, made up with matching clay hip tiles where necessary, all bedded in 6:1:1 sand:cement:lime mortar with flush joint finish.

Guttering
Existing damaged PVC guttering to be removed and replaced with new black PVC half-round guttering to match existing, with brackets screw fixed to rafter ends, all connected to existing with straight couplers.



Proposed Section
(1:20)

Purpose
LISTED BUILDING CONSENT APPLICATION

Amendment	Date

Client
BRYNWELL (SOUTHERN) Ltd

Project
THE FOX AND GOOSE
GREYWELL
HOOK
HAMPSHIRE
RG29 1BY

Title
PROPOSED PLANS, ELEVATIONS AND DETAILS

Scale	Date
1:20; 1:50; 1:100; 1:500 @ A1	08.03.2024
Drawing No.	Revision
24/017/002	P1

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