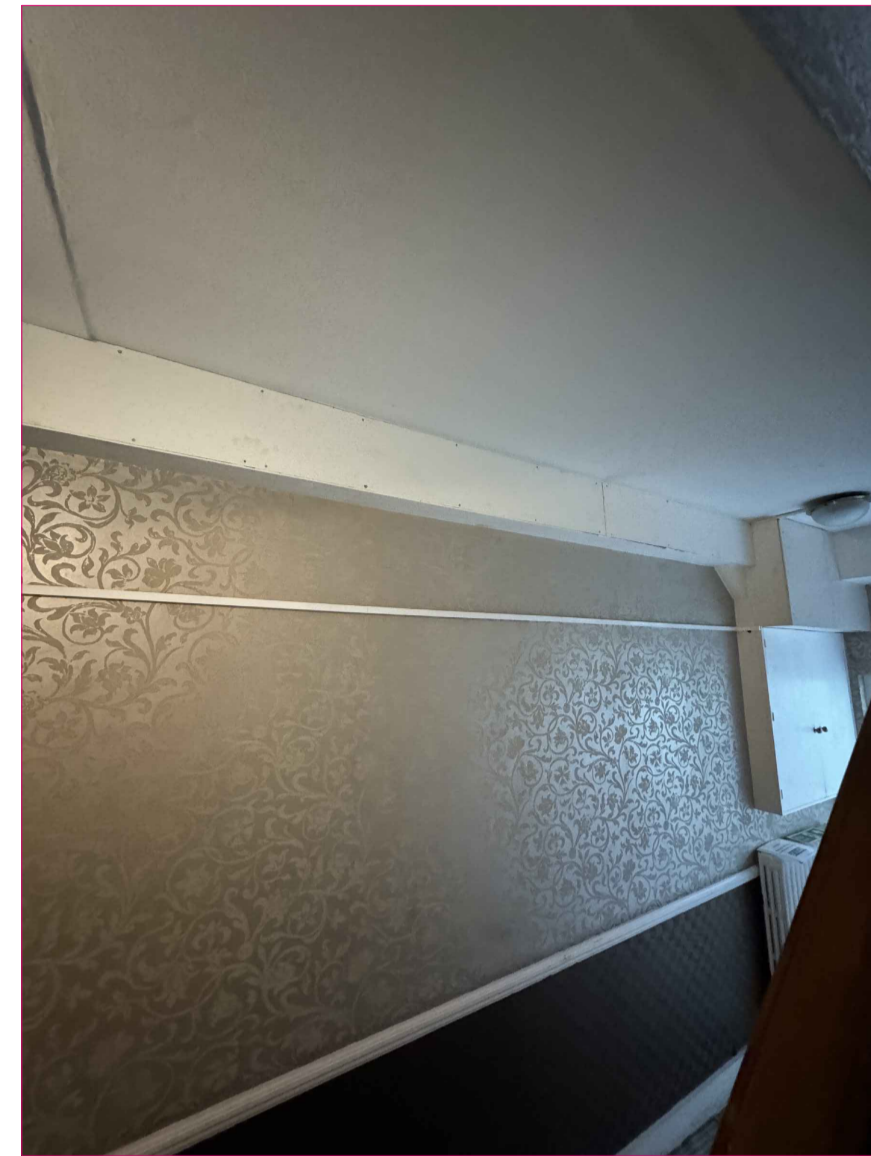
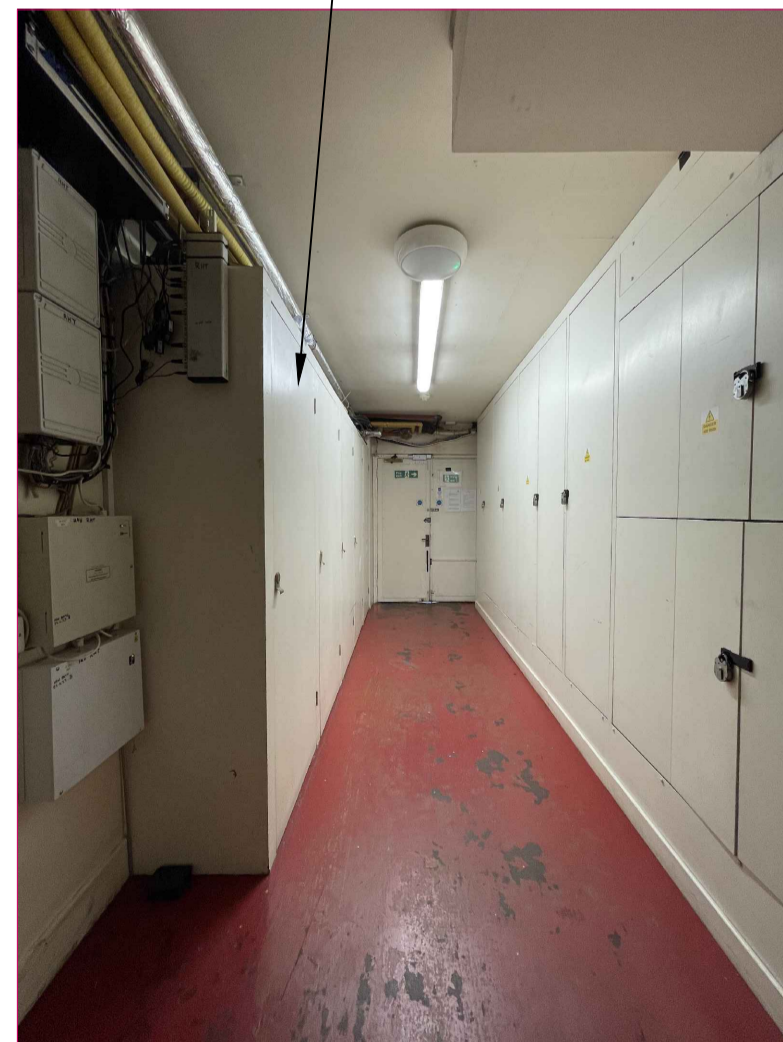


LOWER GROUND FLOOR - FLOOR PLAN (1:50)

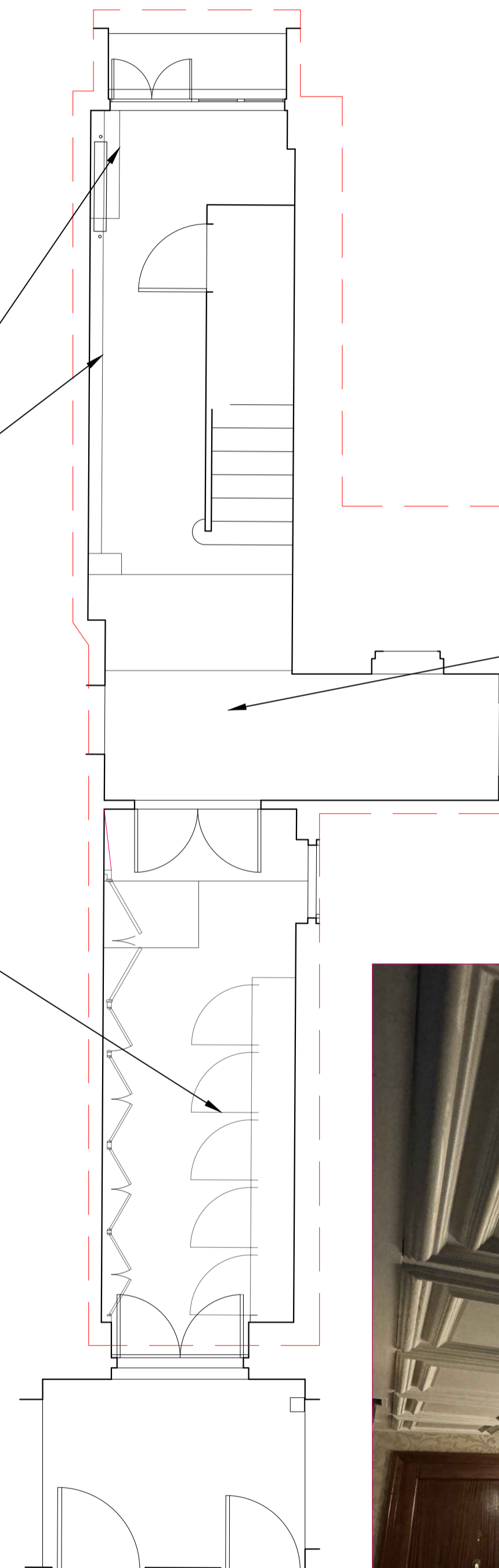


EXISTING OVERHEAD BOXING

EXISTING JOINERY TO BE REMOVED AND ALL CABLING AND DUCTING TO BE TIDIED AND HOUSED IN MESH BOXING



EXISTING

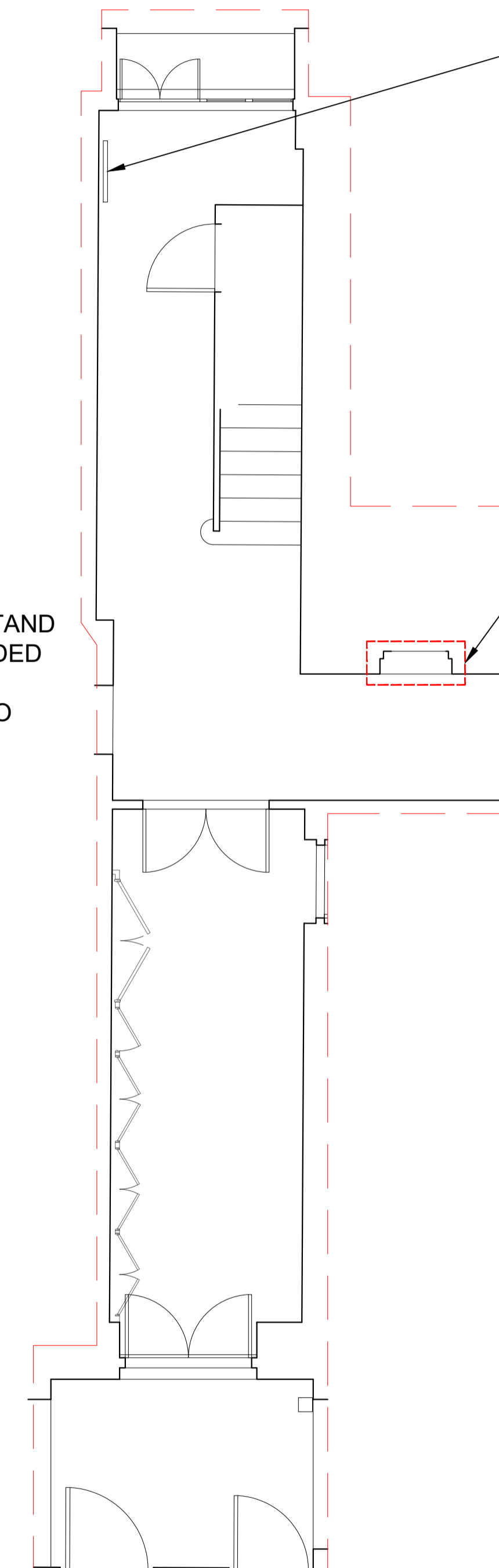


EXISTING DOWNSTAND BOXING / SUSPENDED CEILING TO BE REMOVED BACK TO ORIGINAL CEILING LEVEL.



FLAT ENTRANCE DOOR TO BE REPLACED

PROPOSED

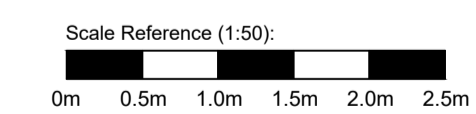


EXISTING RADIATOR AND PIPEWORK REMOVED AND REPLACED WITH SINGLE PANEL ELECTRIC RADIATORS

NEW LIFT SURROUND TO BE INSTALLED - REFER TO DRAWING 23.288/E2

NEW FLAT ENTRANCE DOOR TO BE REPLACED WITH NEW SUITABLE FIRE DOOR, TO MATCH EXISTING

NOTE: ALL EXISTING HISTORICAL SKIRTING, DADO RAILS, PICTURE RAILS, CORNICING ETC. TO BE RETAINED IN SITU AND DECORATED AS REQUIRED



RCP: REFER TO RCP PACK APPENDED TO THIS APPLICATION
 FLOOR FINISHES: REFER TO FLOOR FINISH PACK APPENDED TO THIS APPLICATION
 WALL FINISHES: REFER TO WALL FINISH PACK APPENDED TO THIS APPLICATION
 WALL PANELLING: REFER TO GENERAL WALL PANELLING EXAMPLE ELEVATION PACK

Murray Birrell Chartered Surveyors Mortimer House 128 Mount Street 40 Chatsworth Parade Mayfair Queensway London W1K 3NU Feltes Wood 020 7499 6317 Kent BR5 1DE T: 01689 898 288 E: mb@murraybirrell.co.uk www.murraybirrell.co.uk				
CLIENT GROSVENOR PROPERTY UK				
JOB COMMON PARTS REFURBISHMENT				
DRG TITLE EXISTING AND PROPOSED LOWER GROUND PLANS				
SCALE	1:50 (@A1)	DRG NO.	REV	
DATE	MARCH 2024	23.288/01		
DRAWN	OF			

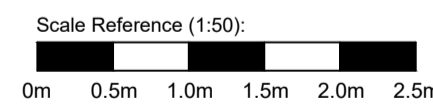
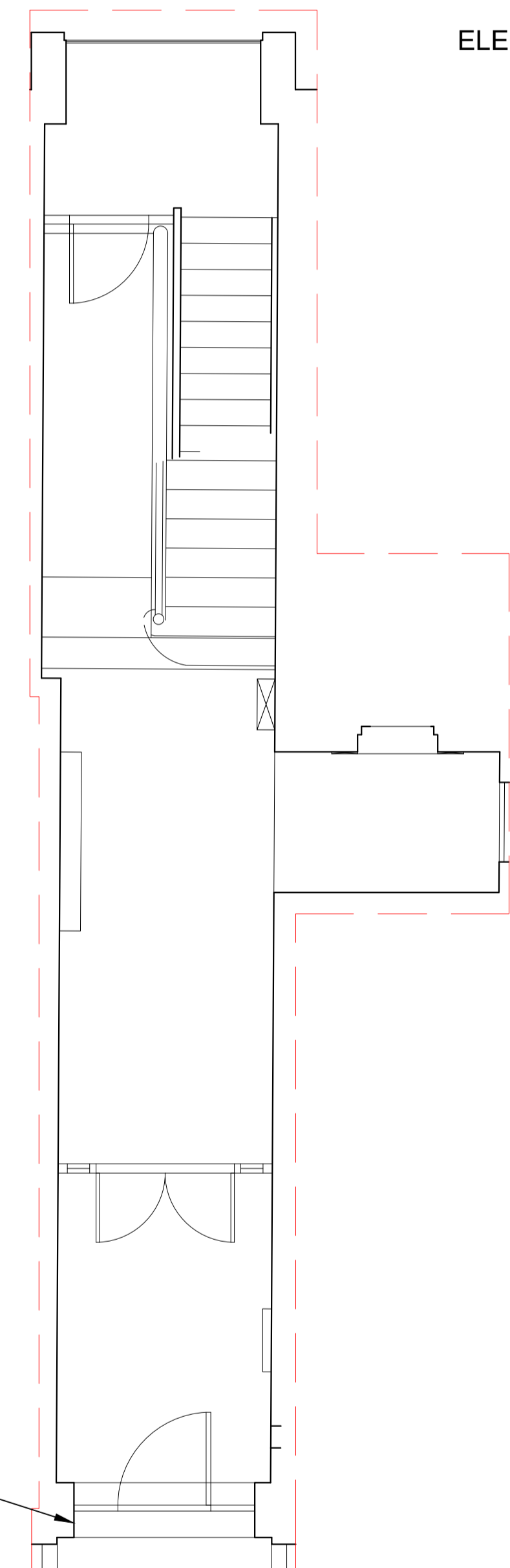
GROUND FLOOR - FLOOR PLAN (1:50)

EXISTING

PROPOSED



EXISTING INTERCOM PANEL



EXISTING RADIATOR AND PIPEWORK REMOVED AND REPLACED WITH SINGLE PANEL ELECTRIC RADIATORS

EXISTING BOXING TO BE INVESTIGATED ON SITE AND REMOVED IF POSSIBLE, INCLUDING FOR EXISTING SERVICES TO BE CHASED INTO MASONRY / PLASTERWORK

EXISTING TIMBER DOOR, FANLIGHT AND SIDE LIGHTS REPLACED WITH NEW CRITTAL STYLE - SEE DRAWING 23.288/E1 FOR ELEVATIONS

NEW FACEPLATE TO BE INSTALLED TO THE ENTRANCE INTERCOM PANEL - IMAGE DENOTES AN EXISTING PANEL INSTALLED ELSEWHERE ON EATON SQUARE AND THE PROPOSED WILL BE LIKE FOR LIKE.

EXISTING TIMBER DOOR, FANLIGHT AND SIDE LIGHTS REPLACED WITH NEW CRITTAL STYLE - SEE DRAWING 23.288/E4 FOR ELEVATIONS

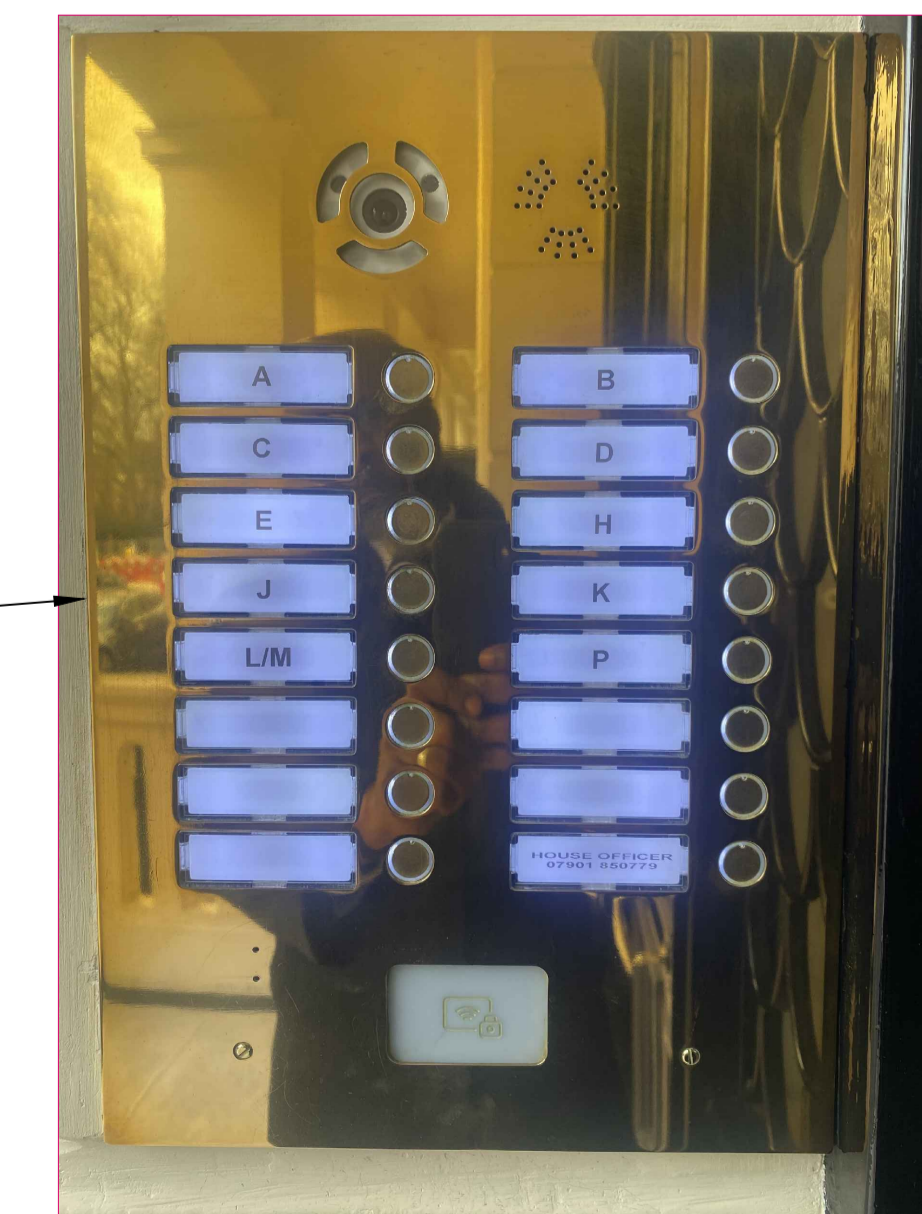
NEW LIFT SURROUND TO BE INSTALLED - REFER TO DRAWING 23.288/E2

NEW COFFERED CEILINGS - REFER TO DRAWING 23.288/E2

EXISTING DOOR OPENING INFILLED - REFER TO DRAWING 23.288/E3

EXISTING BOXING TO BE REMOVED AND REPLACED WITH FIRE-RESISTANT MDF, ACCESS PANELS INSTALLED, AND ALL ARCHITECTURAL FEATURES TO BE CAREFULLY REMOVED AND REFIXED UPON COMPLETION

MINOR RELOCATION OF THE EXISTING FIRE ALARM PANEL, TO BE LOCATED CLOSER TO THE ENTRANCE DOOR



NOTE: ALL EXISTING HISTORICAL SKIRTING, DADO RAILS, PICTURE RAILS, CORNICING ETC. TO BE RETAINED IN SITU AND DECORATED AS REQUIRED

Murray Birrell

Chartered Surveyors
Mortimer House 128 Mount Street
40 Chatsworth Parade Mayfair
Queensway London W1K 3NU
Patis Wood 020 7499 6317
Kent BR5 1DE
T: 01689 898 288
E: mb@murraybirrell.co.uk
www.murraybirrell.co.uk



CLIENT
GROSVENOR PROPERTY UK

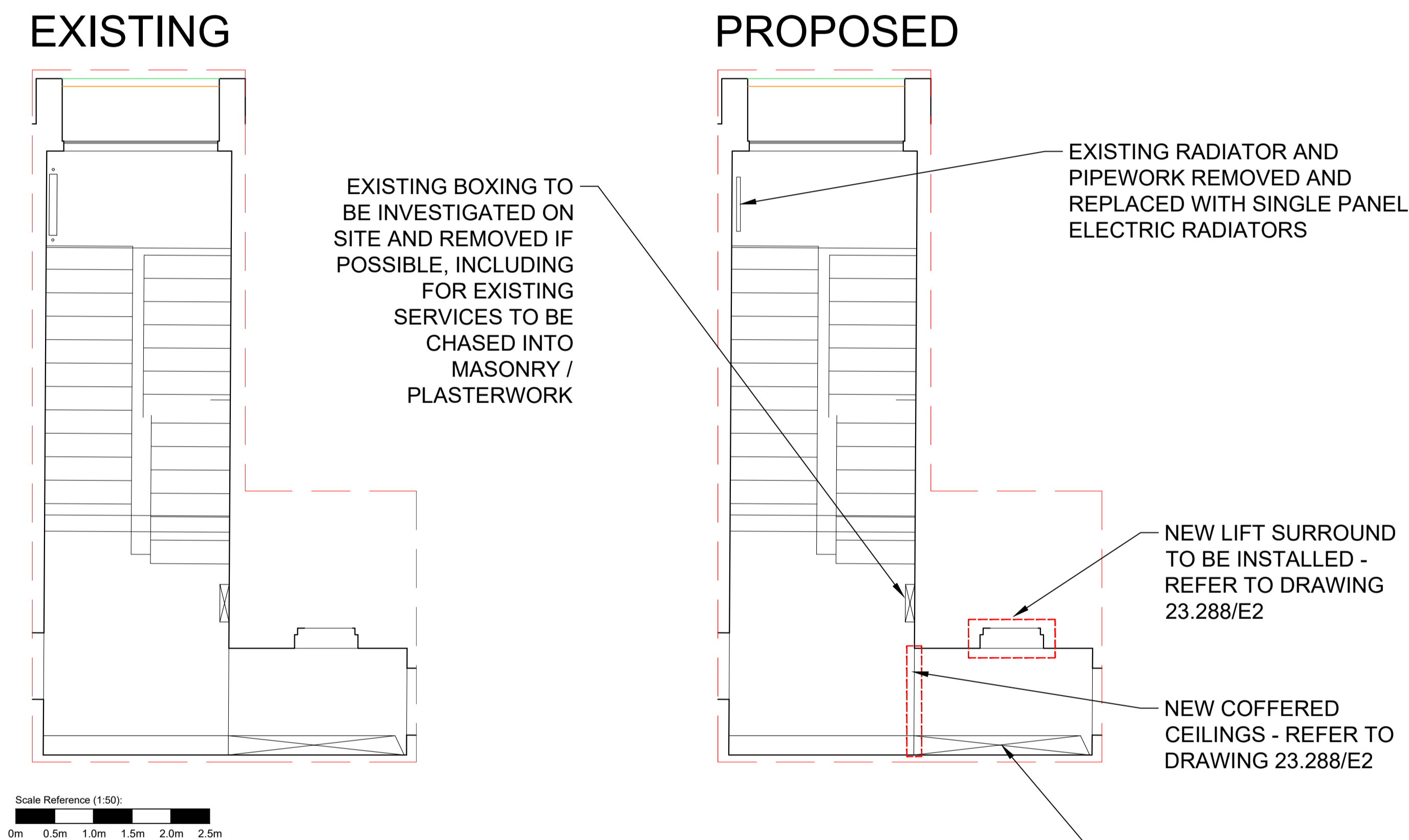
JOB
COMMON PARTS
REFURBISHMENT

DRG TITLE
EXISTING AND PROPOSED
GROUND FLOOR PLANS

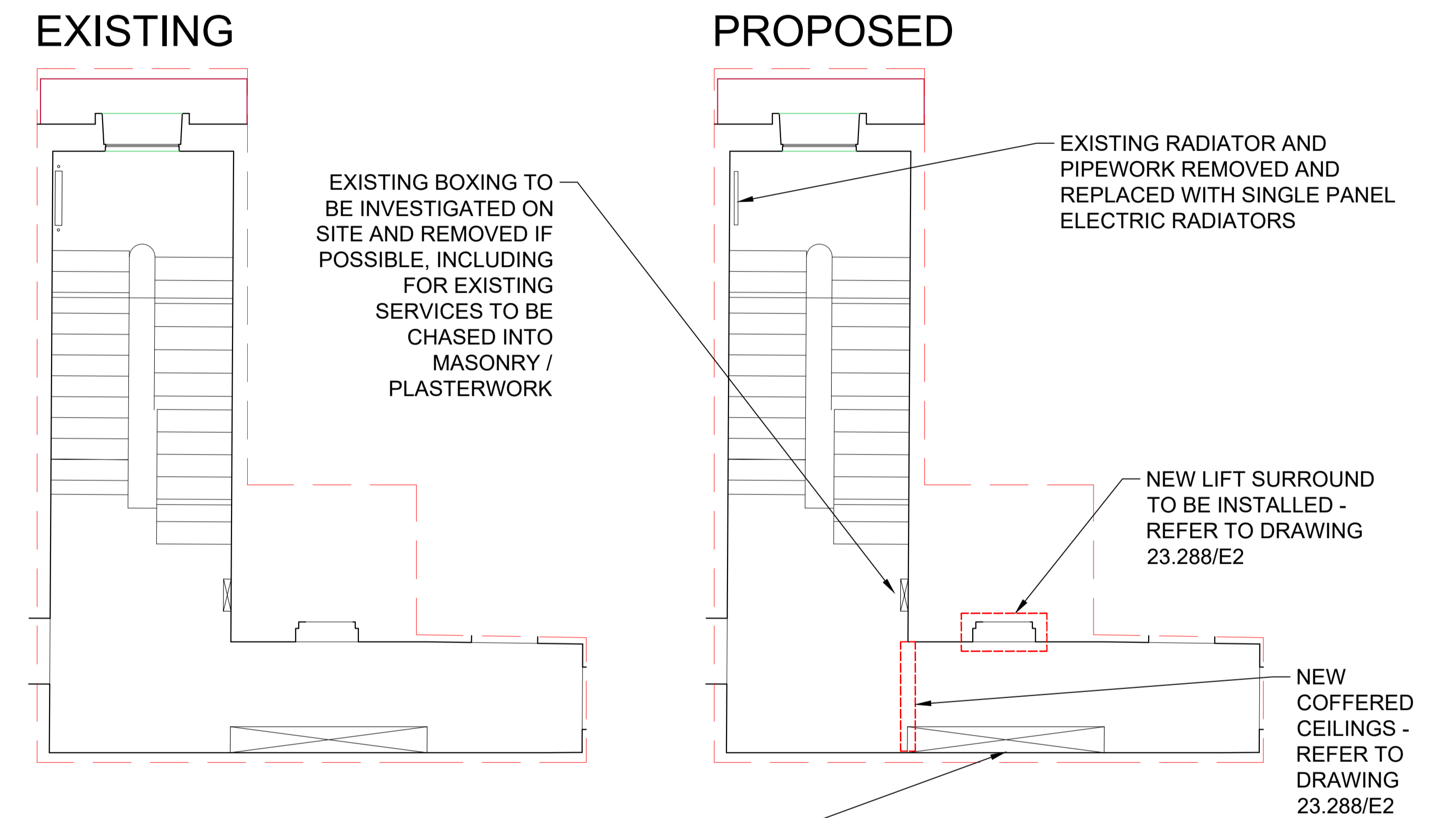
SCALE	1:50 (@A1)	DRG NO.	23.288/02	REV
DATE	MARCH 2024			
DRAWN	OF			

RCP: REFER TO RCP PACK APPENDED TO THIS APPLICATION
FLOOR FINISHES: REFER TO FLOOR FINISH PACK APPENDED TO THIS APPLICATION
WALL FINISHES: REFER TO WALL FINISH PACK APPENDED TO THIS APPLICATION
WALL PANELLING: REFER TO GENERAL WALL PANELLING EXAMPLE ELEVATION PACK

FIRST FLOOR - FLOOR PLAN (1:50)



SECOND FLOOR - FLOOR PLAN (1:50)



EXISTING BOXING TO BE REMOVED AND REPLACED WITH FIRE-RESISTANT MDF, ACCESS PANELS INSTALLED, ALL ARCHITECTURAL FEATURES TO BE CAREFULLY REMOVED AND REFIXED UPON COMPLETION

NOTE: ALL EXISTING HISTORICAL SKIRTING, DADO RAILS, PICTURE RAILS, CORNICING ETC. TO BE RETAINED IN SITU AND DECORATED AS REQUIRED

RCP: REFER TO RCP PACK APPENDED TO THIS APPLICATION
 FLOOR FINISHES: REFER TO FLOOR FINISH PACK APPENDED TO THIS APPLICATION
 WALL FINISHES: REFER TO WALL FINISH PACK APPENDED TO THIS APPLICATION
 WALL PANNELLING: REFER TO GENERAL WALL PANNELLING EXAMPLE ELEVATION PACK

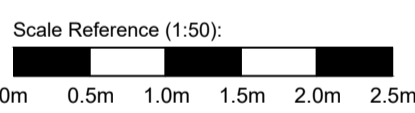
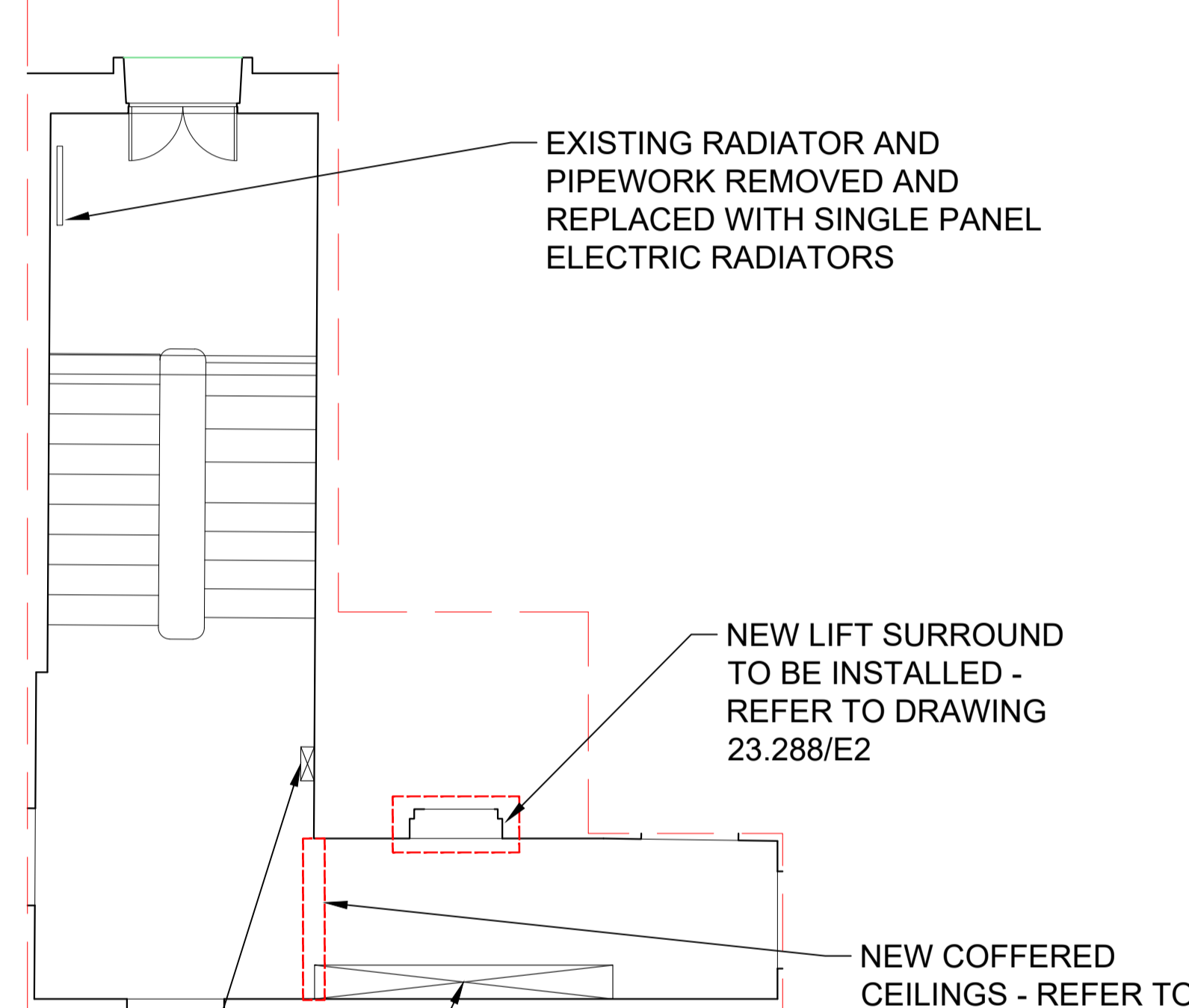
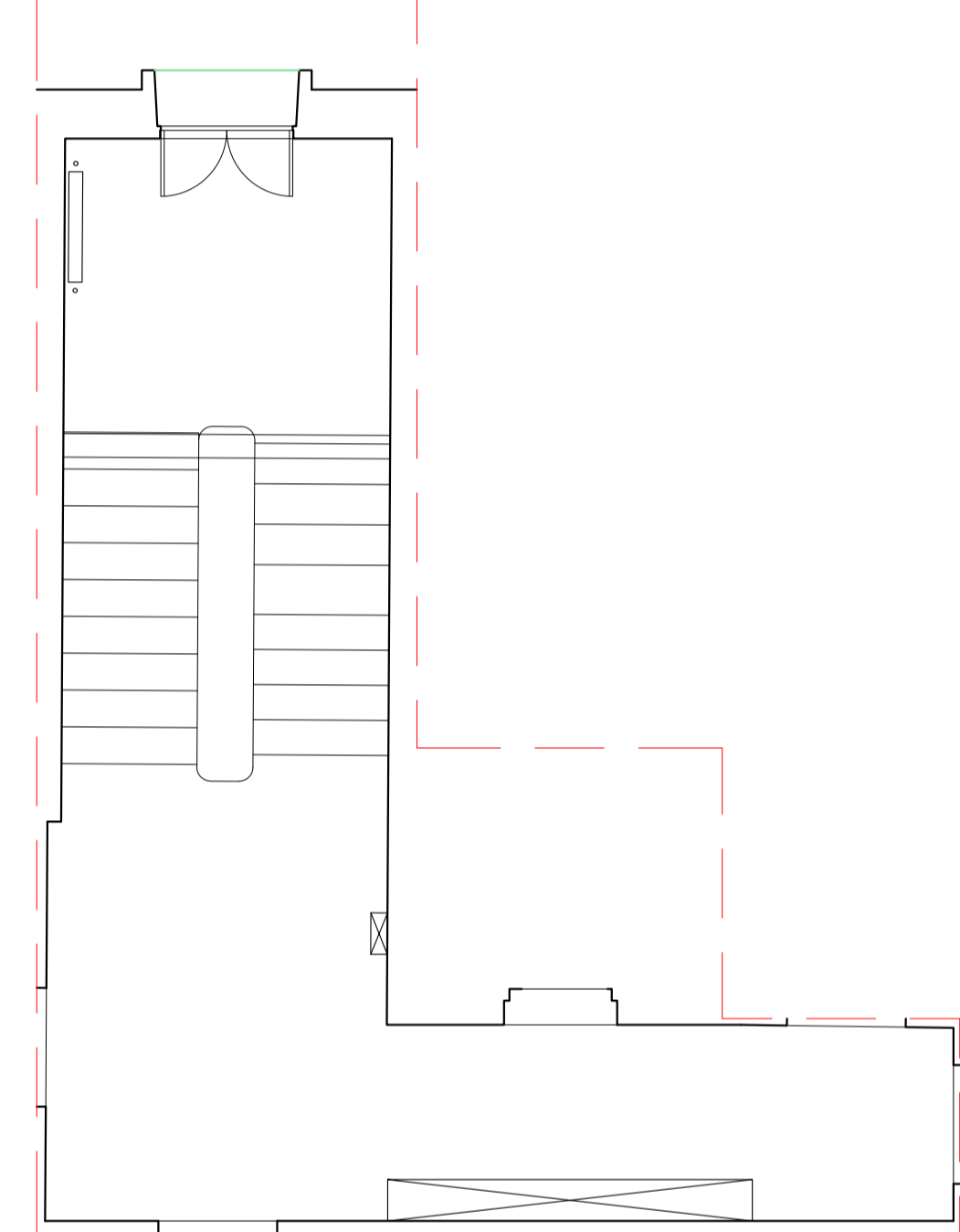
Murray Birrell Chartered Surveyors Mortimer House 128 Mount Street 40 Chatsworth Parade Mayfair Queensway London W1K 3NU Felis Wood 020 7499 6317 Kent BR5 1DE T: 01689 898 288 E: mb@murraybirrell.co.uk www.murraybirrell.co.uk			
CLIENT GROSVENOR PROPERTY UK			
JOB COMMON PARTS REFURBISHMENT			
DRG TITLE EXISTING AND PROPOSED FIRST & SECOND FLOOR PLANS			
SCALE	1:50 (@A1)	DRG NO.	
DATE	MARCH 2024	23.288/04	
DRAWN	OF	REV	

THIRD FLOOR - FLOOR PLAN (1:50)

FOURTH FLOOR - FLOOR PLAN (1:50)

EXISTING

PROPOSED



EXISTING BOXING TO BE INVESTIGATED ON SITE AND REMOVED IF POSSIBLE, INCLUDING FOR EXISTING SERVICES TO BE CHASED INTO MASONRY / PLASTERWORK

EXISTING BOXING TO BE REMOVED AND REPLACED WITH FIRE-RESISTANT MDF, ACCESS PANELS INSTALLED, ALL ARCHITECTURAL FEATURES TO BE CAREFULLY REMOVED AND REFIXED UPON COMPLETION

EXISTING RADIATOR AND PIPEWORK REMOVED AND REPLACED WITH SINGLE PANEL ELECTRIC RADIATORS

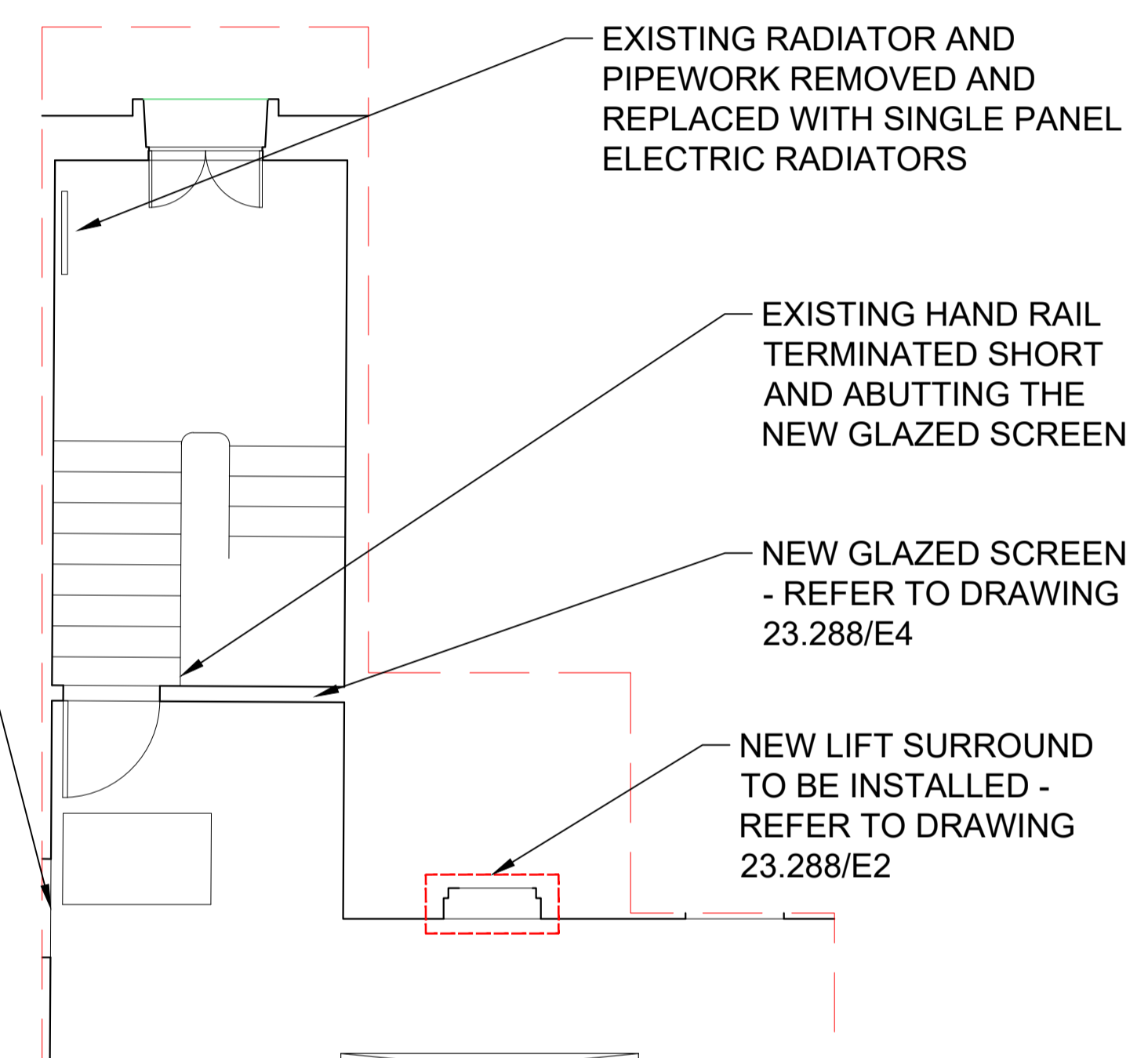
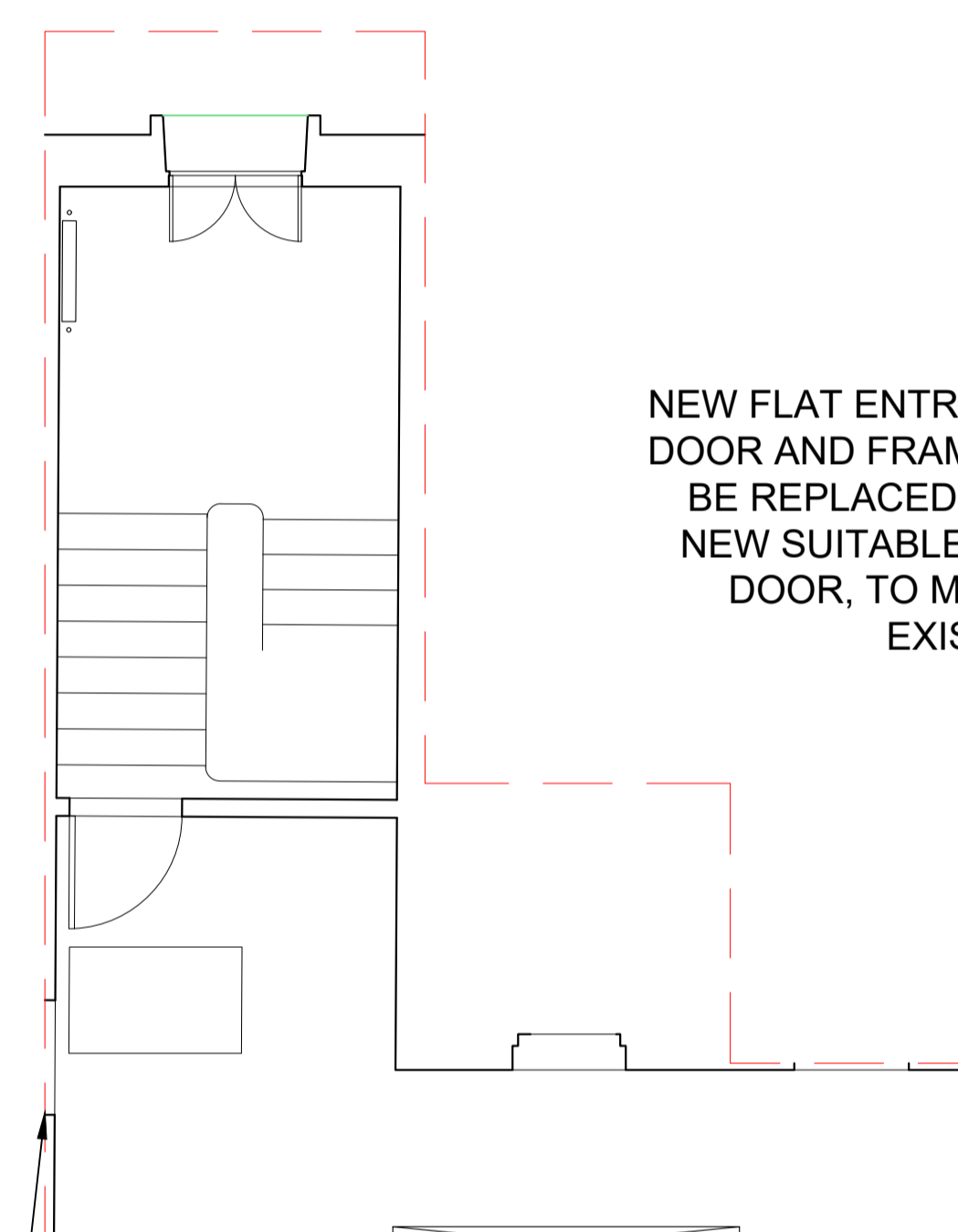
NEW LIFT SURROUND TO BE INSTALLED - REFER TO DRAWING 23.288/E2

NEW COFFERED CEILINGS - REFER TO DRAWING 23.288/E2

FLAT ENTRANCE DOOR TO BE REPLACED

EXISTING

PROPOSED



NEW FLAT ENTRANCE DOOR AND FRAME TO BE REPLACED WITH NEW SUITABLE FIRE DOOR, TO MATCH EXISTING

EXISTING RADIATOR AND PIPEWORK REMOVED AND REPLACED WITH SINGLE PANEL ELECTRIC RADIATORS

EXISTING HAND RAIL TERMINATED SHORT AND ABUTTING THE NEW GLAZED SCREEN

NEW GLAZED SCREEN - REFER TO DRAWING 23.288/E4

NEW LIFT SURROUND TO BE INSTALLED - REFER TO DRAWING 23.288/E2



EXISTING BOXING TO BE REMOVED AND REPLACED WITH FIRE-RESISTANT MDF, ACCESS PANELS INSTALLED, ALL ARCHITECTURAL FEATURES TO BE CAREFULLY REMOVED AND REFIXED UPON COMPLETION

NOTE: ALL EXISTING HISTORICAL SKIRTING, DADO RAILS, PICTURE RAILS, CORNICING ETC. TO BE RETAINED IN SITU AND DECORATED AS REQUIRED

RCP: REFER TO RCP PACK APPENDED TO THIS APPLICATION
 FLOOR FINISHES: REFER TO FLOOR FINISH PACK APPENDED TO THIS APPLICATION
 WALL FINISHES: REFER TO WALL FINISH PACK APPENDED TO THIS APPLICATION
 WALL PANELLING: REFER TO GENERAL WALL PANELLING EXAMPLE ELEVATION PACK

Murray Birrell Chartered Surveyors Mortimer House 128 Mount Street 40 Chatsworth Parade Mayfair Queensway London W1K 3NU Pettis Wood 020 7499 6317 Kent BR5 1DE T: 01689 898 288 E: mb@murraybirrell.co.uk www.murraybirrell.co.uk			
CLIENT GROSVENOR PROPERTY UK			
JOB COMMON PARTS REFURBISHMENT		DRG TITLE EXISTING AND PROPOSED THIRD AND FOURTH FLOOR PLANS	
SCALE 1:50 (@A1)	DRG NO. 23.288/05		REV
DATE MARCH 2024	DRAWN OF		

MAIN LOBBY DOOR

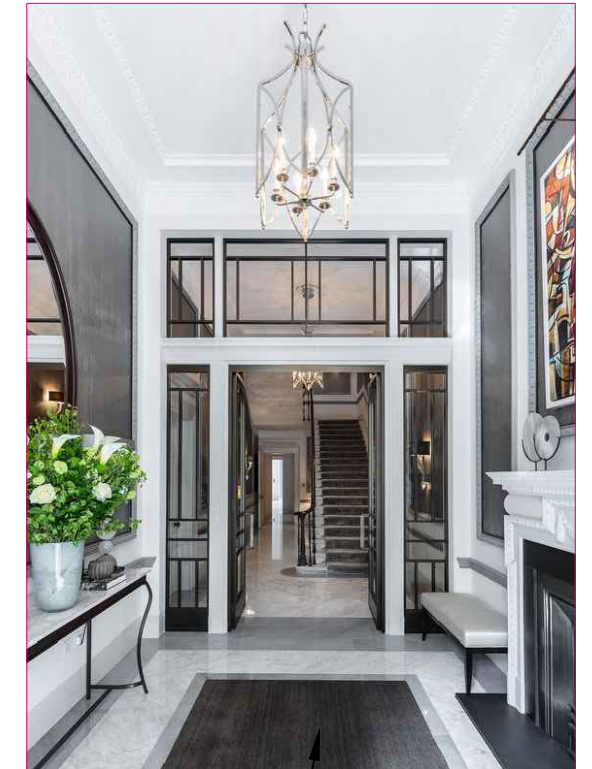
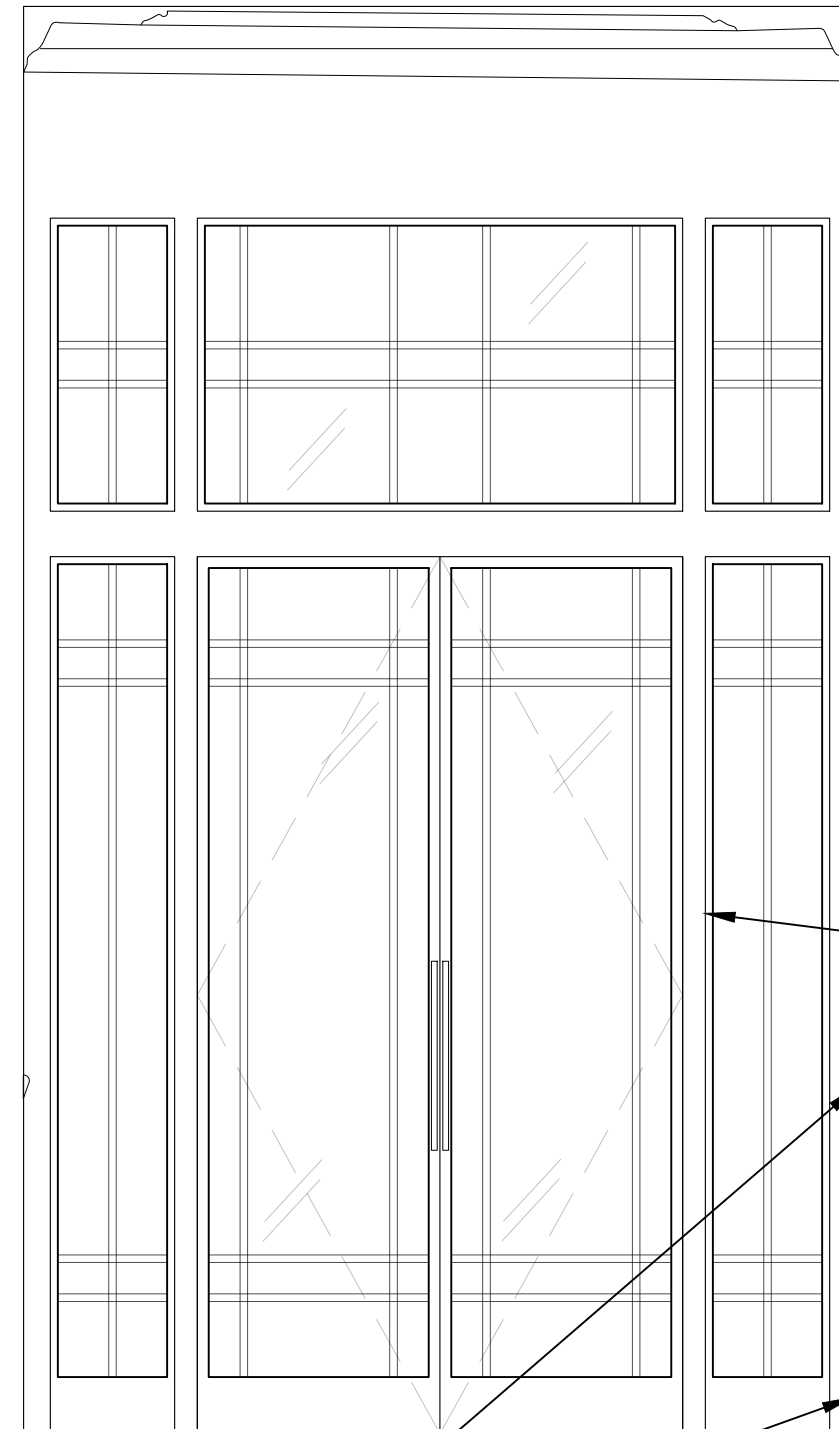
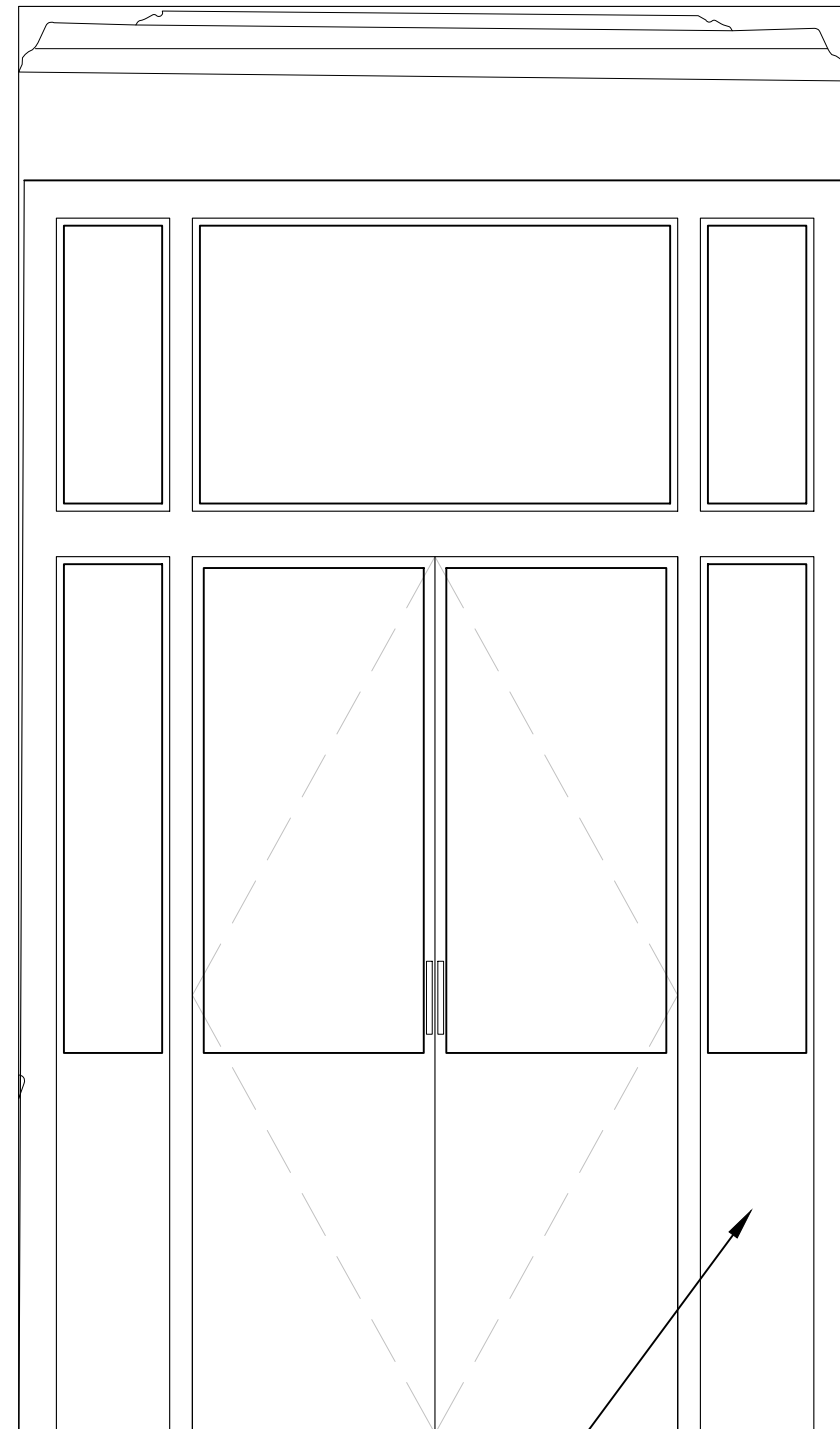
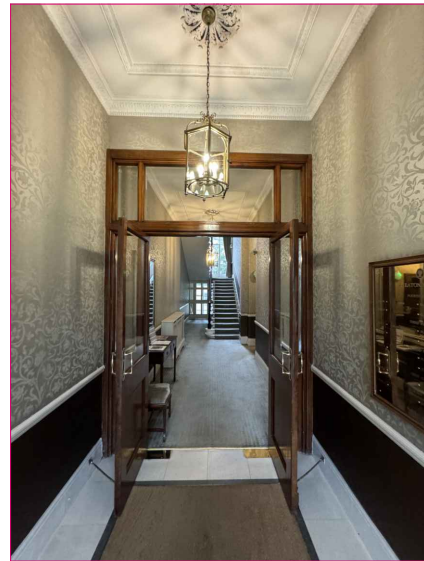
1:20

EXISTING

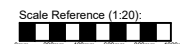
PROPOSED

PROPOSED VISUALISATION

EXISTING



PROPOSED FULL GLAZED
CRITTAL STYLE DOORS,
SIDE LIGHTS AND FAN
LIGHT.



EXISTING HALF HEIGHT
TIMBER DOORS

ALL EXISTING
ARCHITECTURAL
FEATURES SUCH AS DADO
RAILS, SKIRTING, AND
CORNING TO BE
RETAINED.

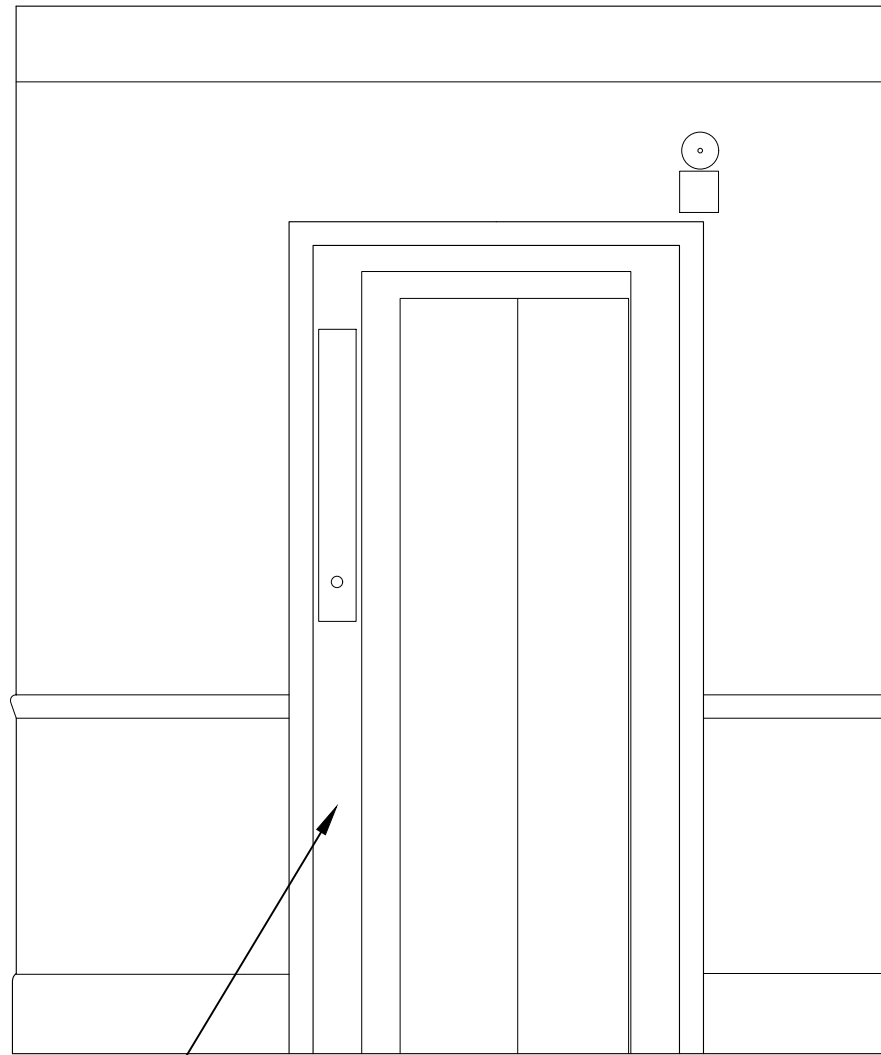
Murray Birrell Chartered Surveyors Mortimer House 40 Chatsworth Parade Queensway Petts Wood Kent BR5 1DE T: 01689 898 288 E: mb@murraybirrell.co.uk www.murraybirrell.co.uk					
CLIENT					
GROSVENOR PROPERTY UK					
JOB					
COMMON PARTS REFURBISHMENT					
DRG TITLE					
SUB LOBBY DOOR ELEVATIONS					
SCALE	1:20	(@A3)	DRG NO.	23.288/E1	REV
DATE	MARCH 2024				
DRAWN	OF				

LIFT ENTRANCE DOOR SURROUNDS AND COFFERED CEILINGS

1:20

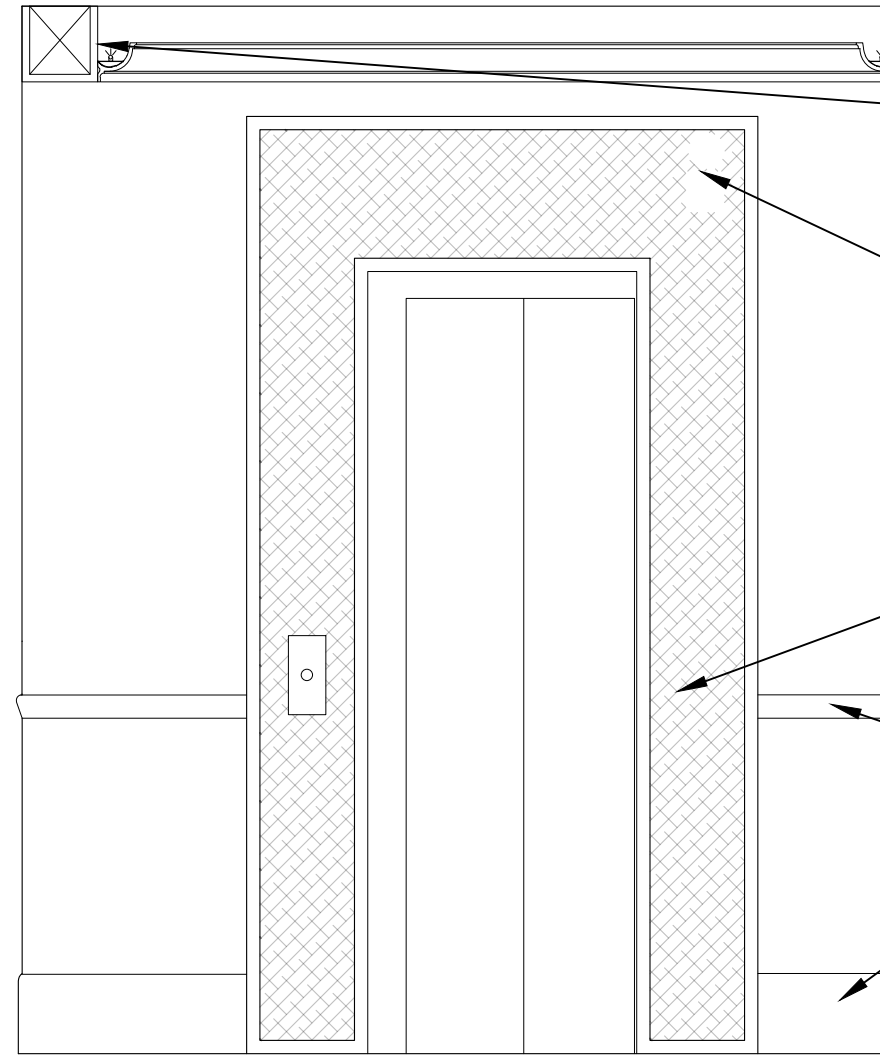
DO NOT SCALE FROM THIS DRAWING
(exception of Local Authority Planning Departments)

EXISTING



EXISTING TIMBER FRAMED LIFT SURROUND

PROPOSED



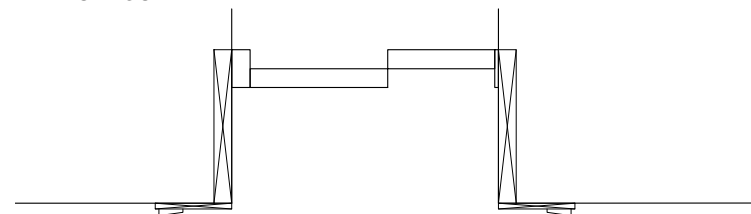
FORMATION OF BULKHEADS WITHIN LOBBIES TO INCORPORATE NEW COVINGS WITH RECESS FOR LIGHTING.

EXISTING, REDUNDANT, LIFT ALARM TO BE REMOVED AS PART OF THE WORKS AND SURROUNDING AREAS REINSTATED/DECORATED TO MATCH SURROUNDING SURFACES

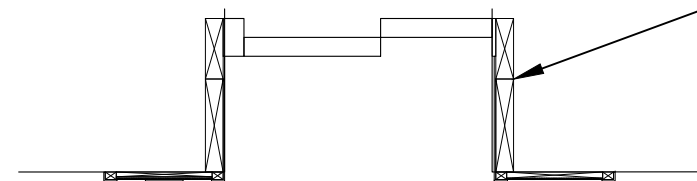
NEW FINISH PROPOSED TO TIMBER LIFT SURROUND, INCORPORATING NEW METAL TRIM AND WOVEN MESH METAL

EXISTING DADO RAILS AND SKIRTING RETAINED

REFER TO DRAWING NUMBER HGD549_00.04.10 FOR FURTHER DETAILS



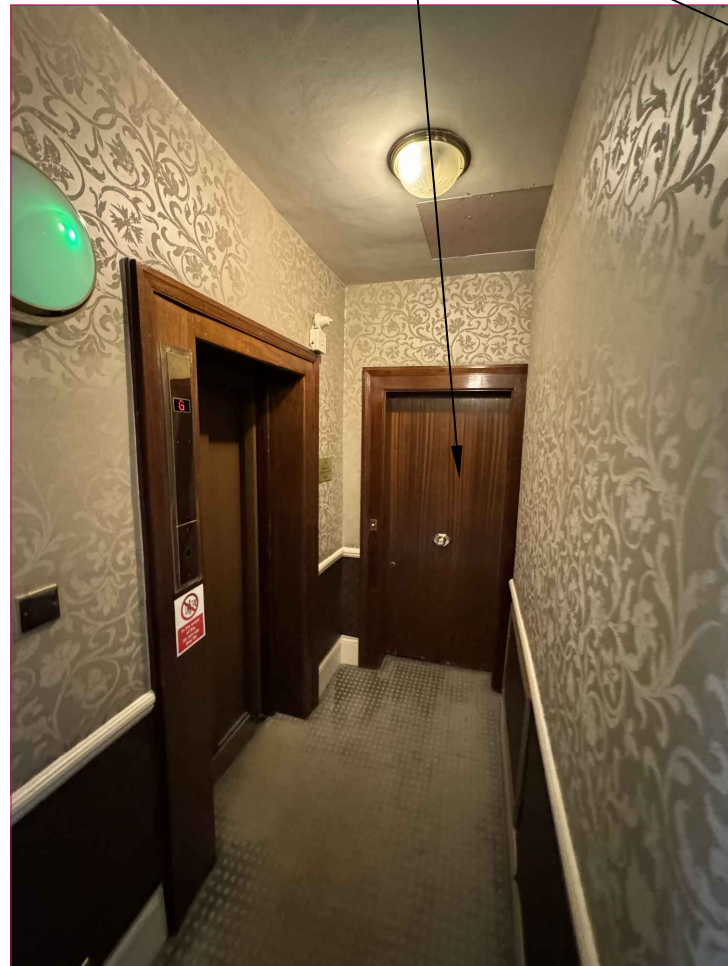
Scale Reference (1:20)



Murray Birrell Chartered Surveyors Mortimer House 128 Mount Street 40 Chatsworth Parade Mayfair Queensway London W1K 3NU Petts Wood 020 7499 6317 Kent BR5 1DE T: 01689 898 288 E: mb@murraybirrell.co.uk www.murraybirrell.co.uk		
CLIENT GROSVENOR PROPERTY UK		
JOB COMMON PARTS REFURBISHMENT		
DRG TITLE LIFT ENTRANCE DOOR SURROUNDS AND COFFERED CEILING ELEVATIONS / SECTIONS		
SCALE	1:20 (@A3)	DRG NO.
DATE	MARCH 2024	23.288/E2
DRAWN	OF	REV

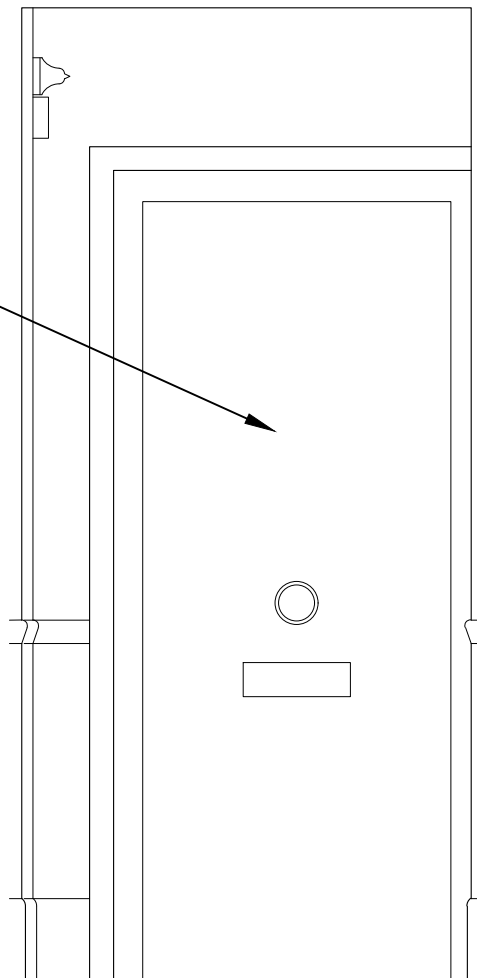
GROUND FLOOR DOOR INFILL

1:20

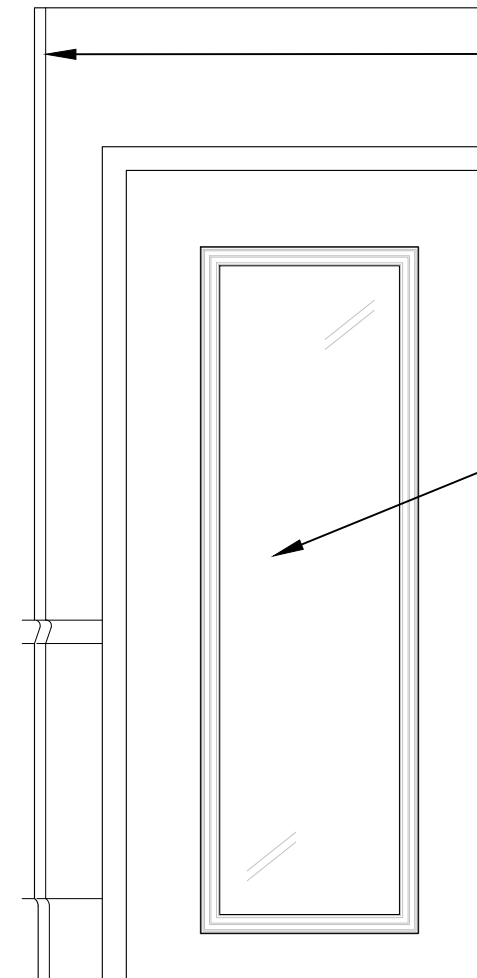


EXISTING DOOR OPENING

EXISTING



PROPOSED



EXISTING, REDUNDANT, LIFT ALARM TO BE REMOVED AS PART OF THE WORKS AND SURROUNDING AREAS REINSTATED/DECORATED TO MATCH SURROUNDING SURFACES

EXISTING DOOR TO BE INFILLED WITH TIMBER STUD WALL, PAINTED TO MATCH SURROUNDING - REFER TO WALL FINISHES PACK

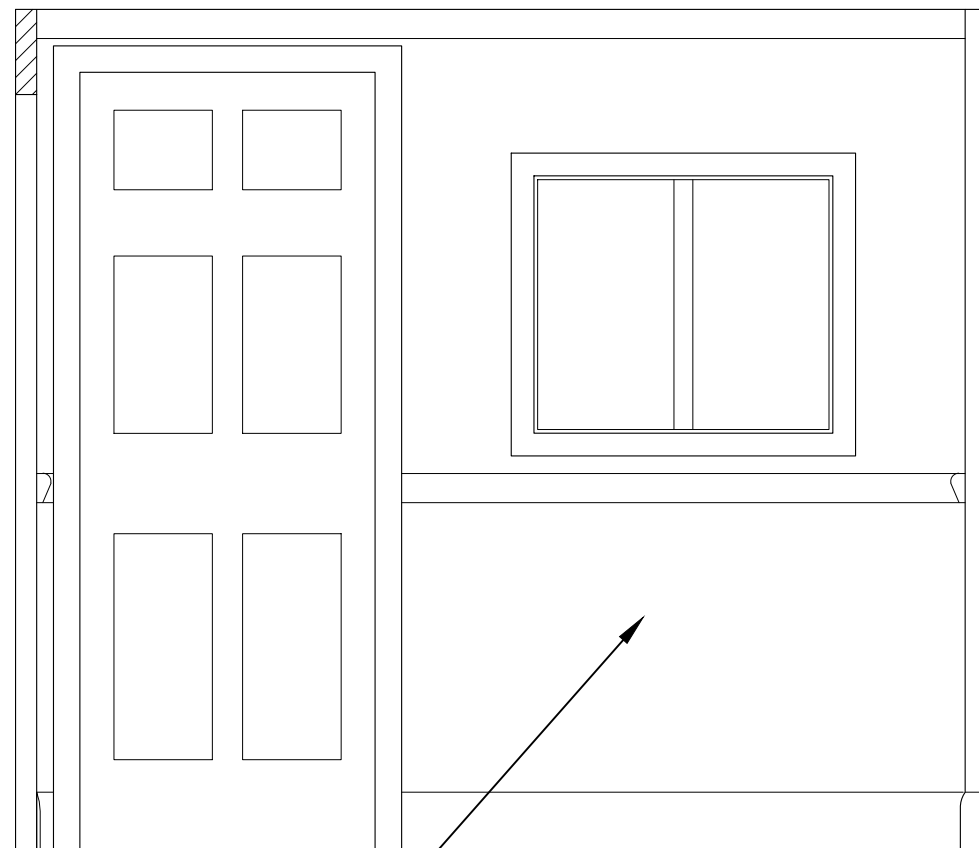


Murray Birrell Chartered Surveyors Mortimer House 40 Chatsworth Parade Queensway Petts Wood Kent BR5 1DE T: 01689 898 288 E: mb@murraybirrell.co.uk www.murraybirrell.co.uk			
128 Mount Street Mayfair London W1K 3NU 020 7499 6317			
CLIENT GROSVENOR PROPERTY UK			
JOB COMMON PARTS REFURBISHMENT			
DRG TITLE LIFT ENTRANCE DOOR SURROUNDS AND COFFERED CEILING ELEVATIONS / SECTIONS			
SCALE	1:20 (@A3)	DRG NO.	
DATE	MARCH 2024	23.288/E3	
DRAWN	OF		

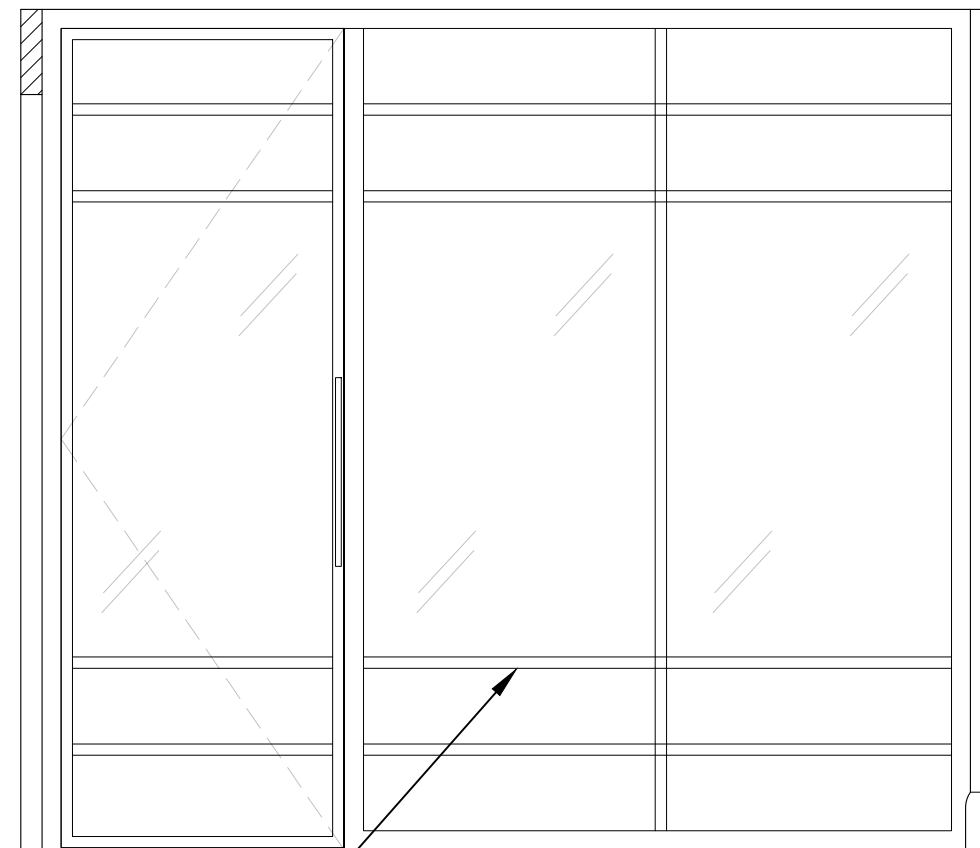
FOURTH FLOOR REPLACEMENT SCREEN

1:20

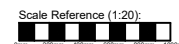
EXISTING



PROPOSED



EXISTING DADO RAILS,
CORNICE AND SKIRTING
REMOVED TO SUIT THE
NEW INSTALLATION.



EXISTING PLASTERBOARD
STUD WALL
INCORPORATING A
WINDOW AND DOOR
SERVING THE FOURTH
FLOOR.

NEW CRITTAL STYLE
GLAZED PARTITION TO
MATCH OTHER
PROPOSALS WITHIN THE
BLOCK AND EXISTING
CRITTAL REAR WINDOWS

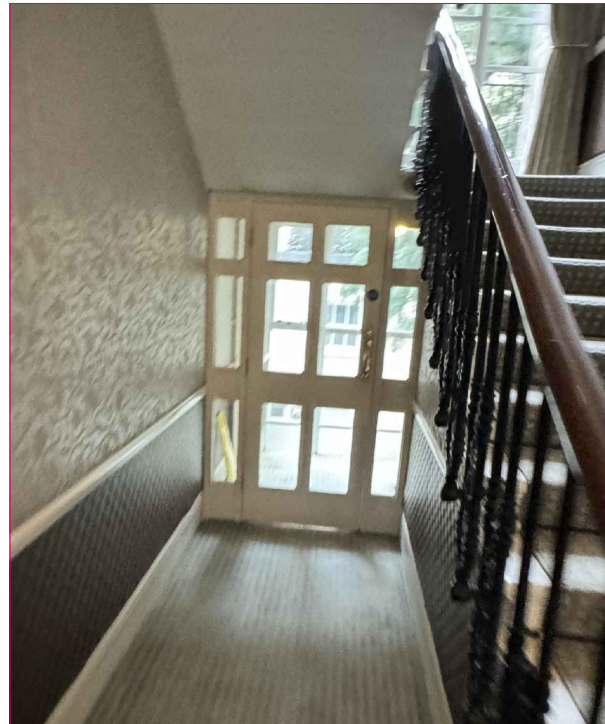
Murray Birrell Chartered Surveyors Mortimer House 40 Chatsworth Parade Queensway Petts Wood Kent BR5 1DE T: 01689 898 288 E: mb@murraybirrell.co.uk www.murraybirrell.co.uk		128 Mount Street Mayfair London W1K 3NU 020 7499 6317	
CLIENT GROSVENOR PROPERTY UK			
JOB COMMON PARTS REFURBISHMENT			
DRG TITLE FOURTH FLOOR REPLACEMENT SCREEN			
SCALE 1:20 (@A3)	DRG NO. 23.288/E4	REV	
DATE MARCH 2024			
DRAWN OF			

FOURTH FLOOR REPLACEMENT SCREEN

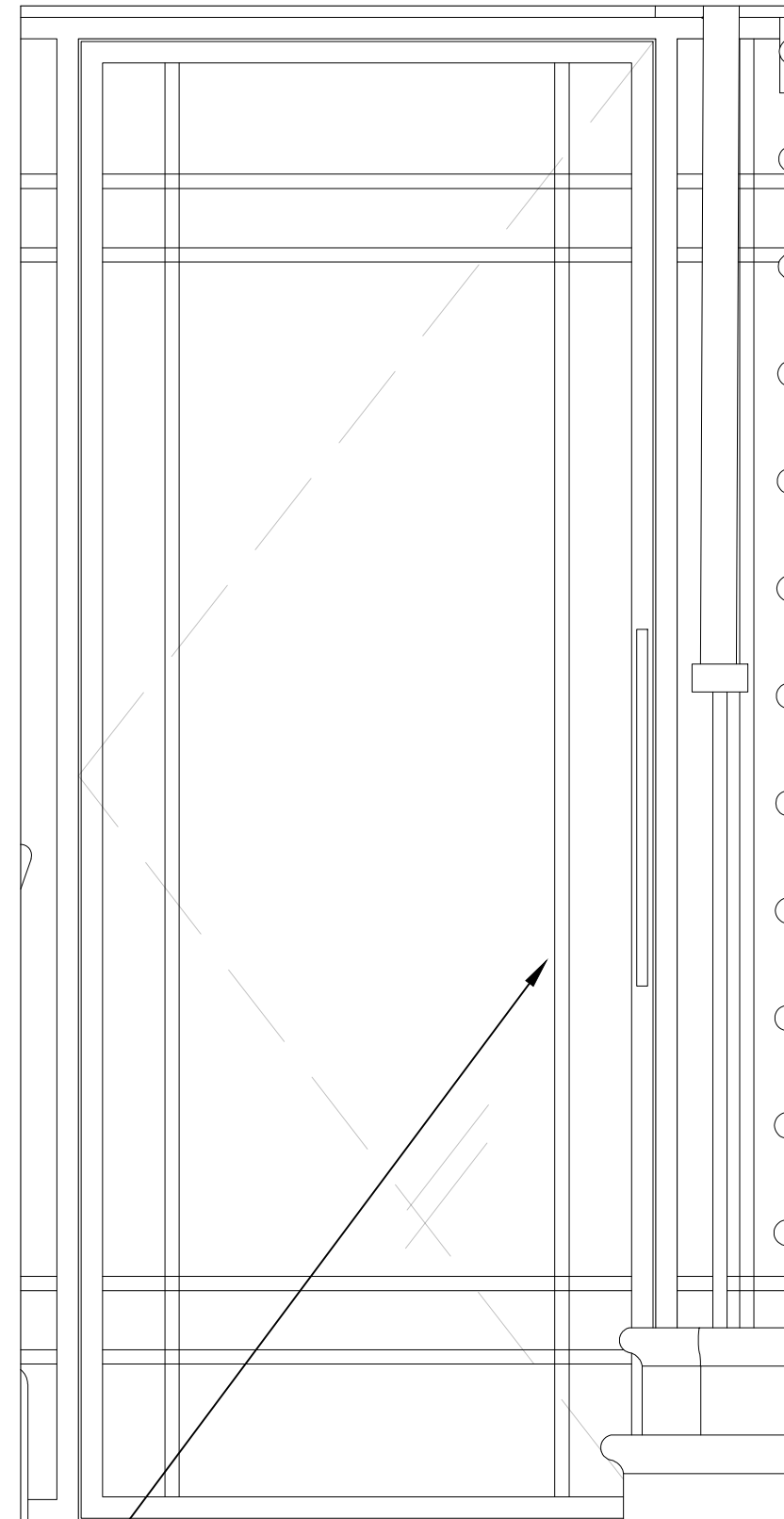
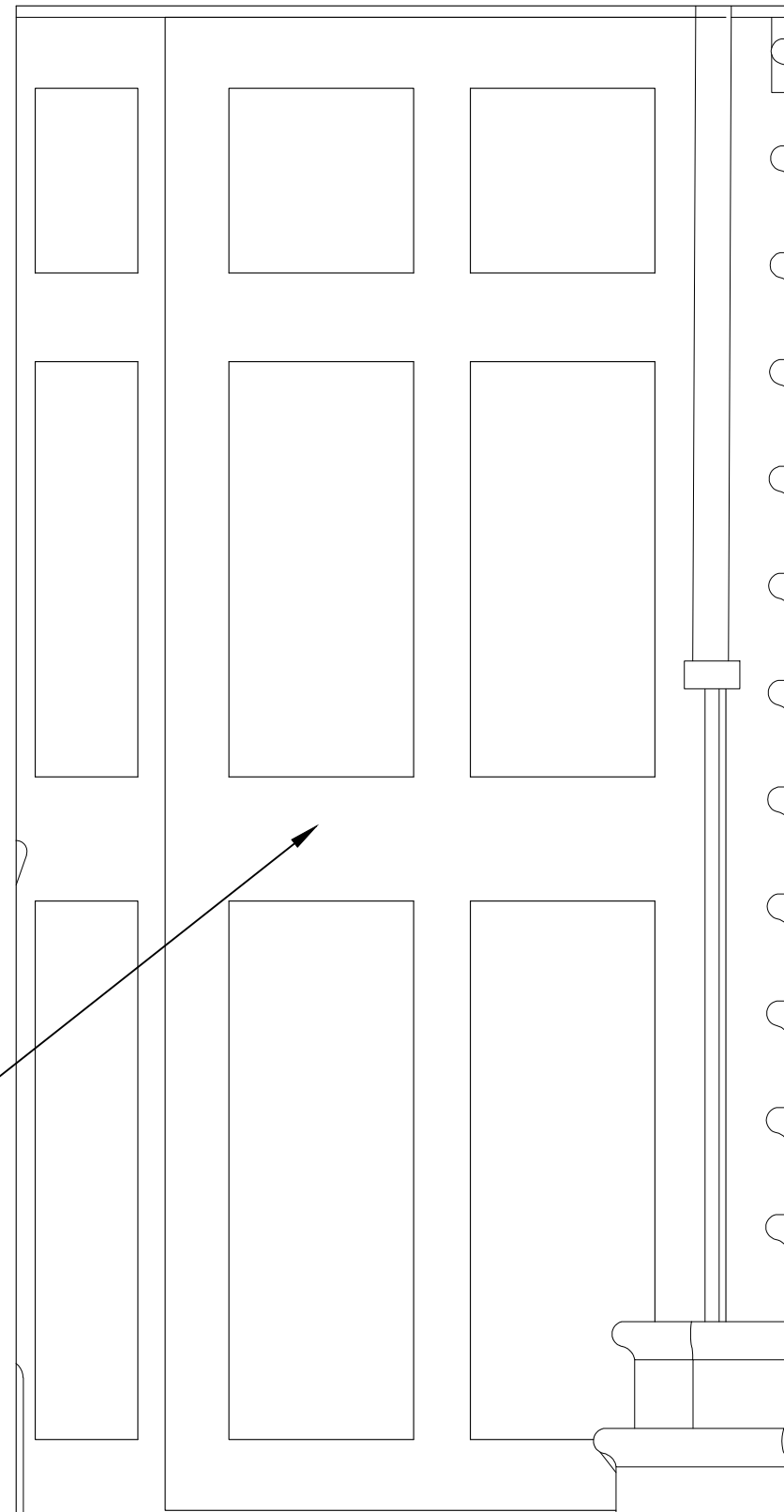
1:20

EXISTING

PROPOSED



EXISTING SIX PANEL DOOR
AND SIDE LIGHTS TO BE
REMOVED



NEW CRITTAL STYLE
GLAZED DOOR AND SIDE
LIGHT TO MATCH OTHER
PROPOSALS WITHIN THE
BLOCK AND EXISTING
CRITTAL REAR WINDOWS

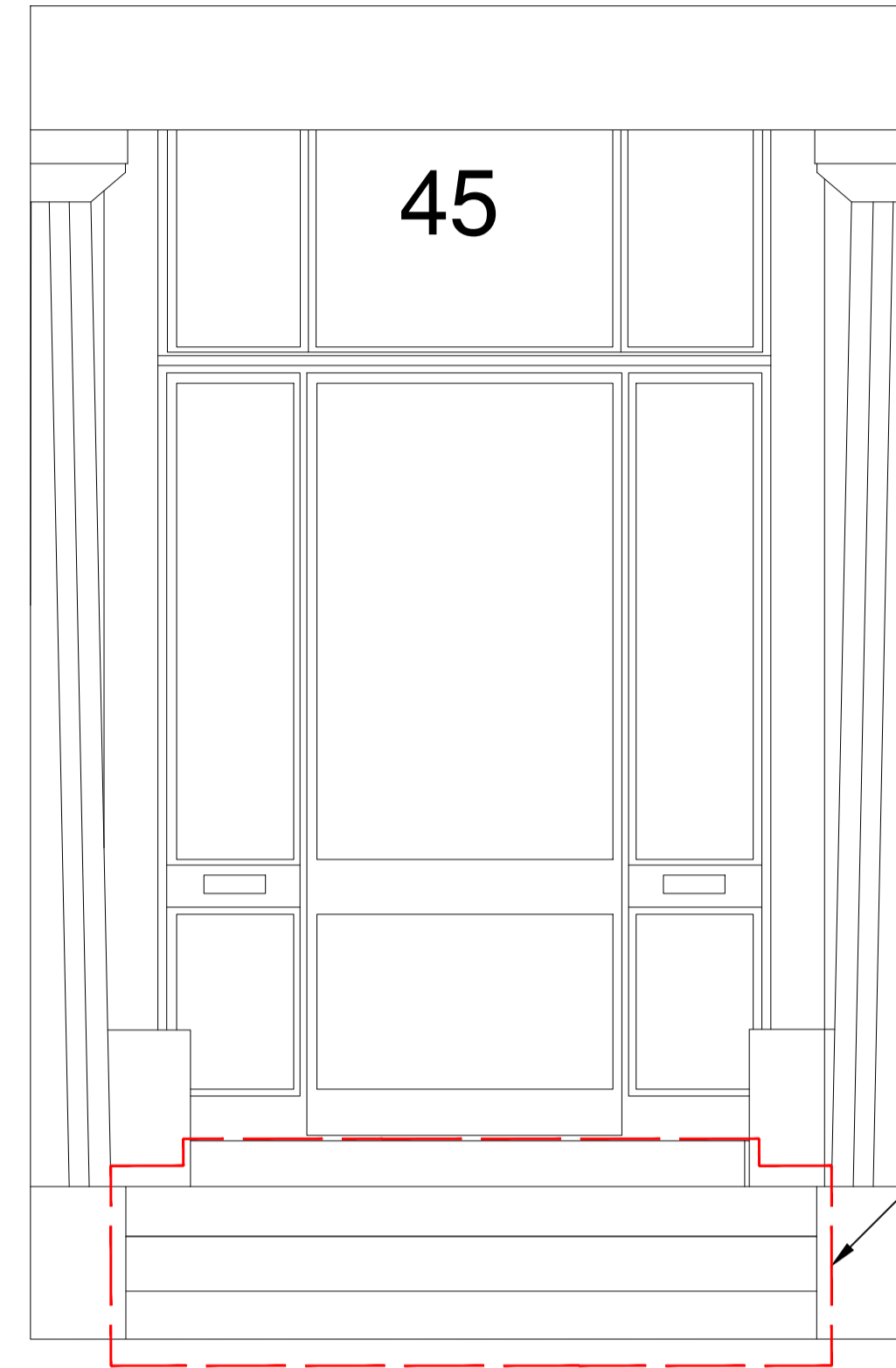
Scale Reference (1:10):
0mm 100mm 200mm 300mm 400mm 500mm

Murray Birrell Chartered Surveyors Mortimer House 40 Chatsworth Parade Queensway Petts Wood Kent BR5 1DE T: 01689 898 288 E: mb@murraybirrell.co.uk www.murraybirrell.co.uk		128 Mount Street Mayfair London W1K 3NU 020 7499 6317
mb		
CLIENT GROSVENOR PROPERTY UK		
JOB COMMON PARTS REFURBISHMENT		
DRG TITLE GROUND FLOOR INTERNAL REAR DOOR		
SCALE 1:10 (@A3)	DRG NO. 23.288/E5	REV
DATE MARCH 2024		
DRAWN OF		

**FRONT ELEVATION
EXISTING 1:50**



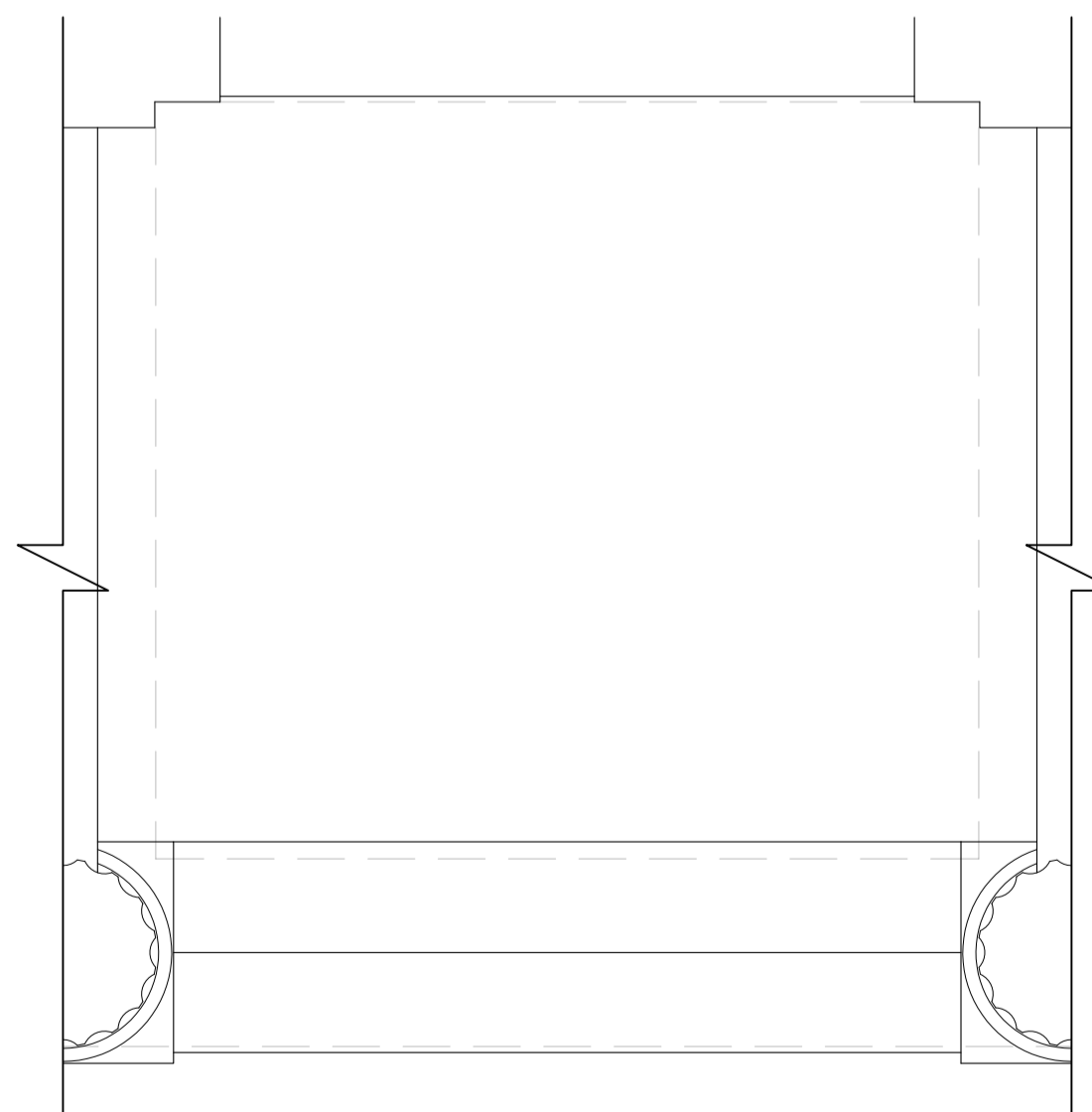
**FRONT ELEVATION
PROPOSED 1:50**



EXISTING TERRAZO / TILED
STEP ENTRANCE TO BE
CAREFULLY REPLACED
WITH NEW PORTLAND
STONE.

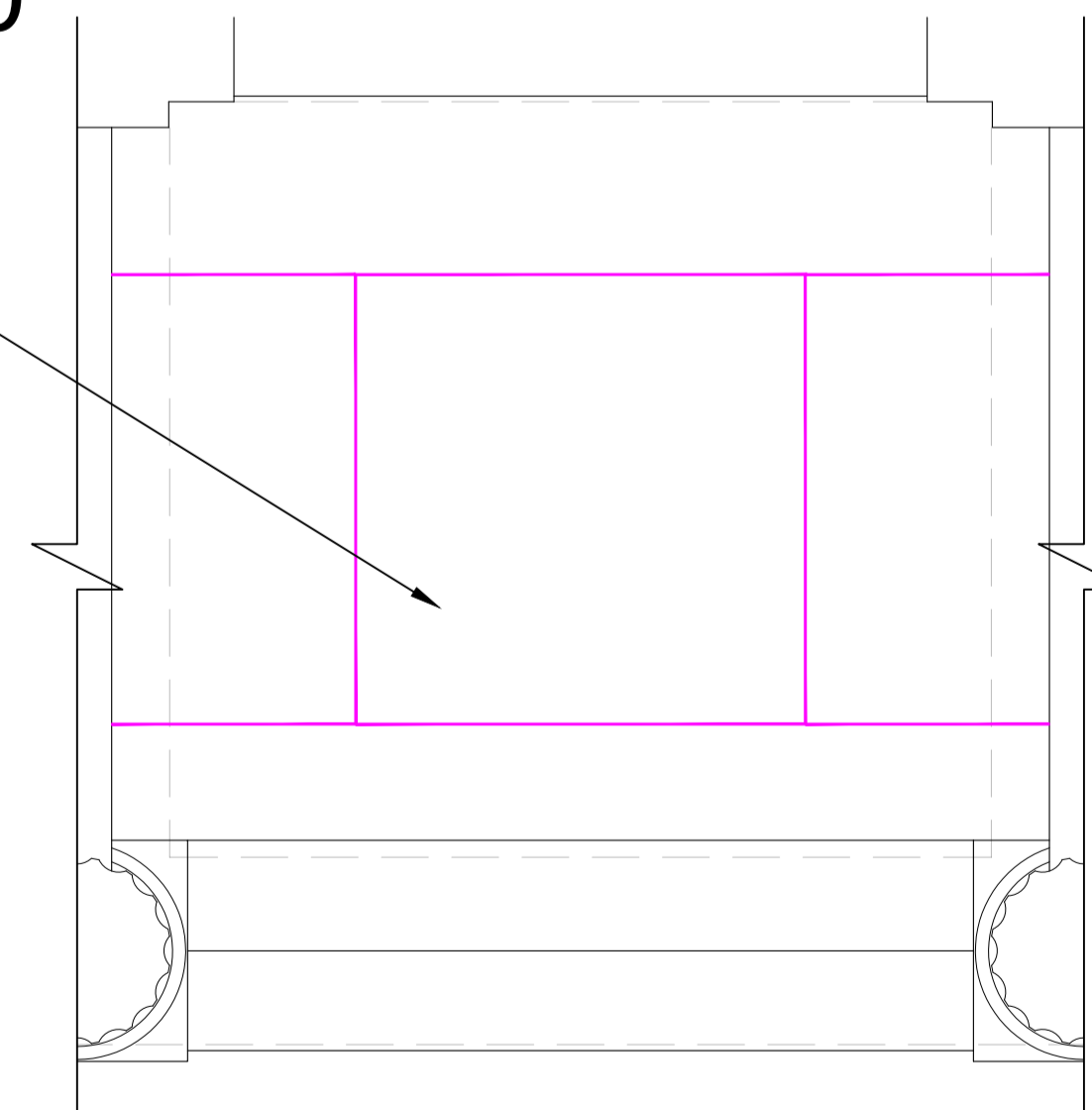


**45 EATON SQUARE PORTICO PLAN
EXISTING
1:20**



**45 EATON SQUARE PORTICO PLAN
PROPOSED
1:20**

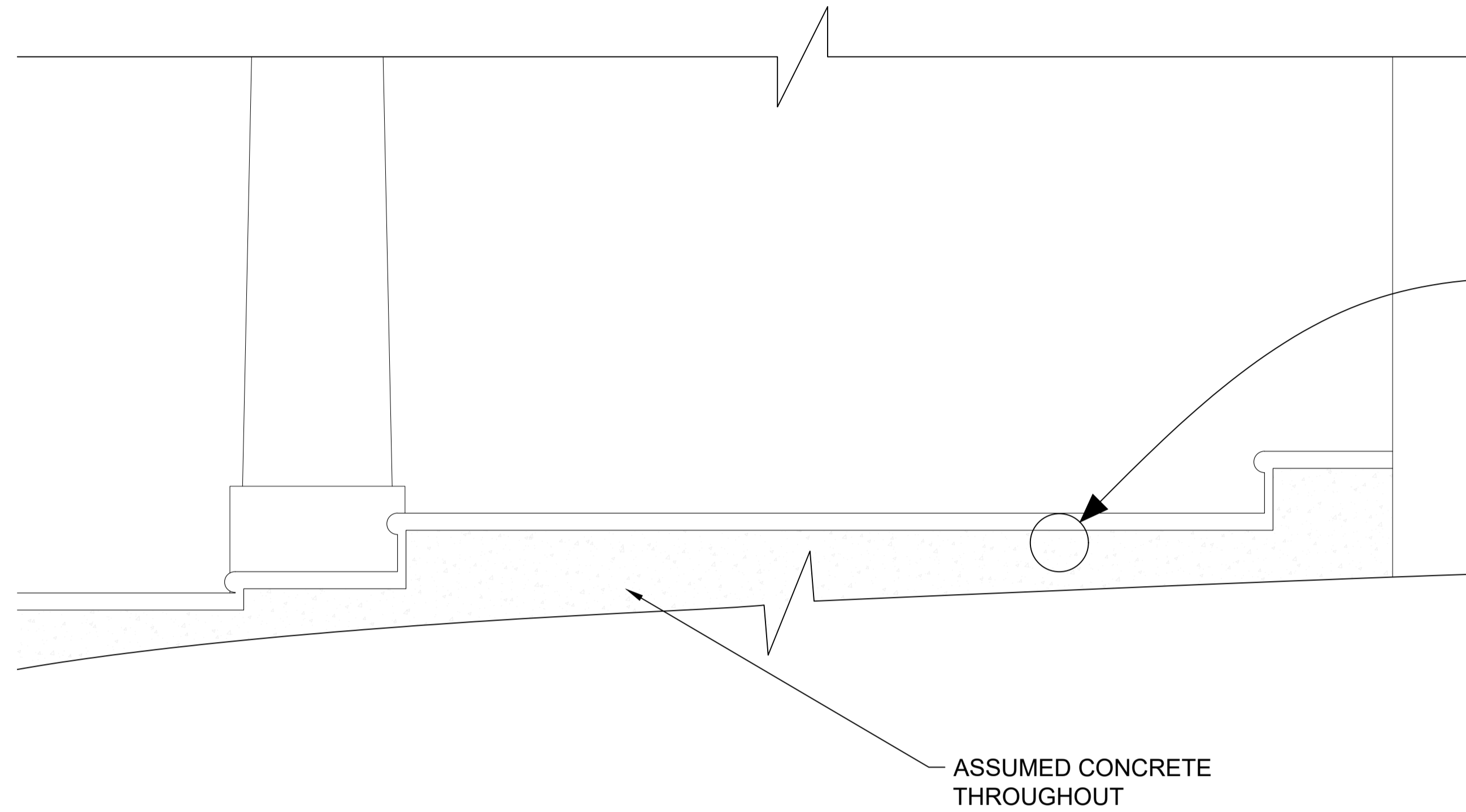
INDICATIVE LAYOUT
AND DIMENSIONS
OF THE PROPOSED
PORTLAND STONE



Murray Birrell Chartered Surveyors Mortimer House 128 Mount Street 40 Chatsworth Parade Mayfair Queensway London W1K 3NU Petts Wood 020 7499 6317 Kent BR6 1DE T: 01689 898 288 E: mb@murraybirrell.co.uk www.murraybirrell.co.uk			
CLIENT GROSVENOR PROPERTY UK			
JOB COMMON PARTS REFURBISHMENT			
DRG TITLE EXISTING AND PROPOSED ENTRANCE STEP ELEVATIONS & PLANS			
SCALE 1:50 (@A1)	DRG NO.	REV	
DATE MARCH 2024	23.288/E6		
DRAWN OF			

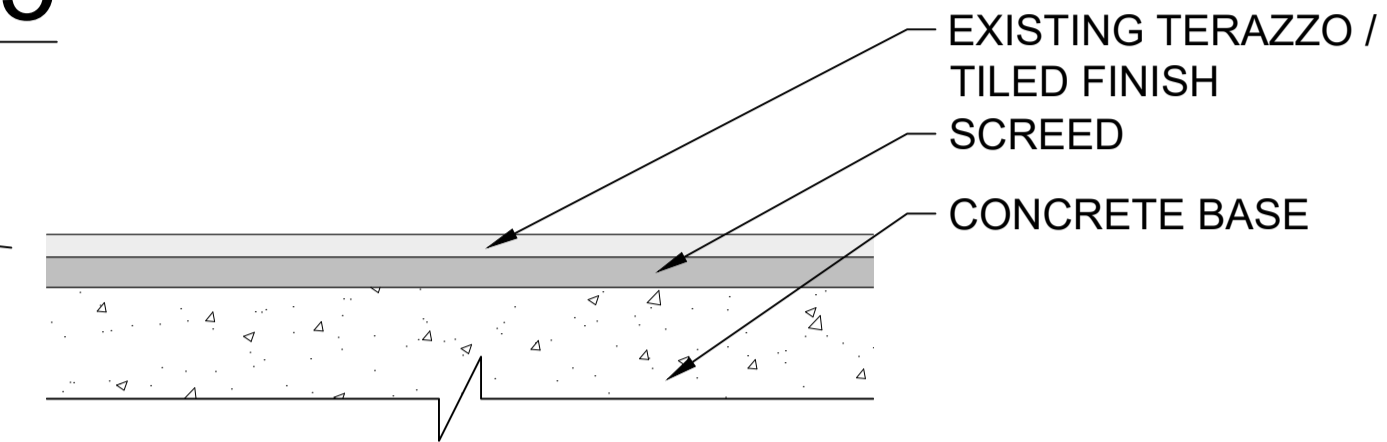
EXISTING SECTION DETAIL

1:10



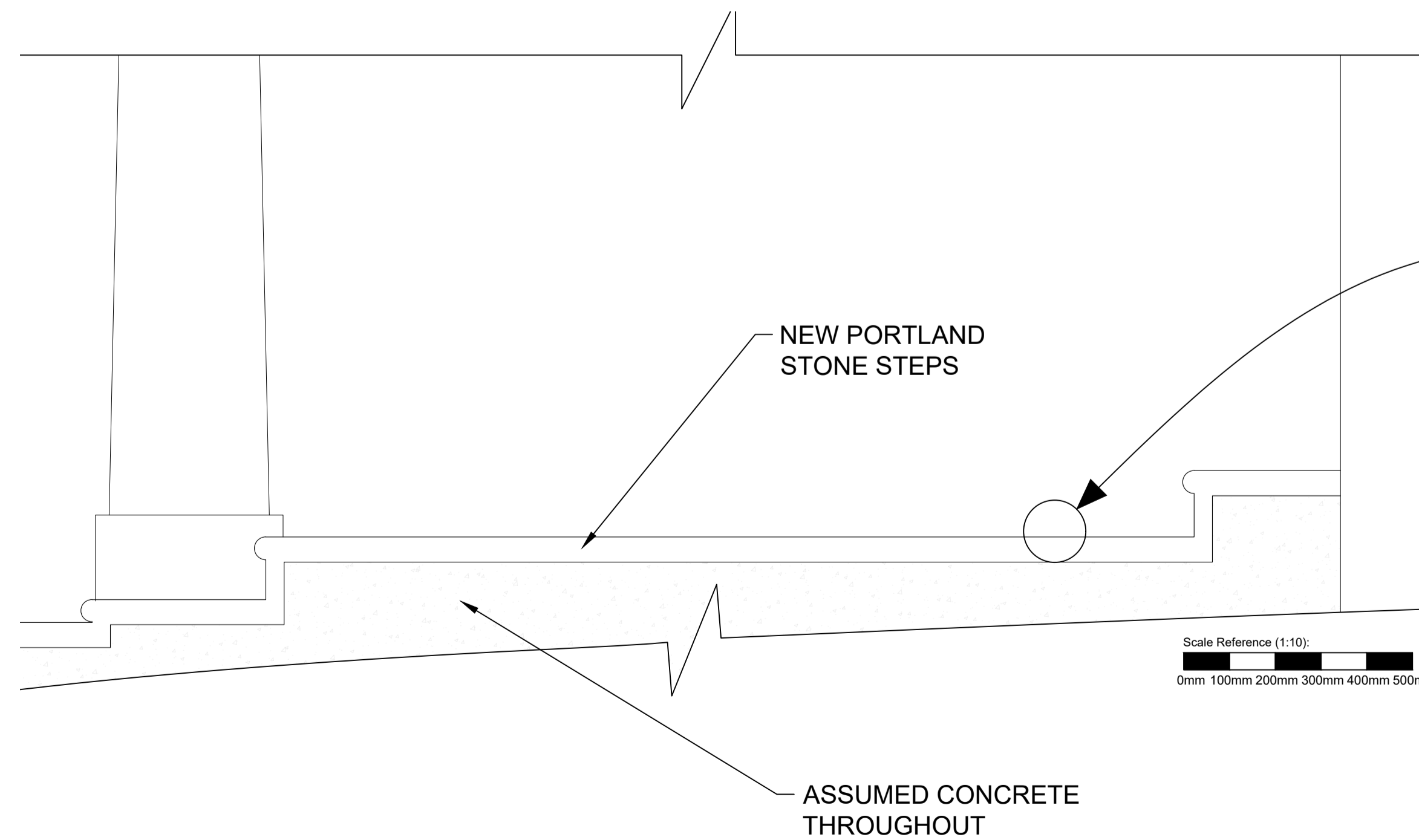
EXISTING SECTION DETAIL

1:5



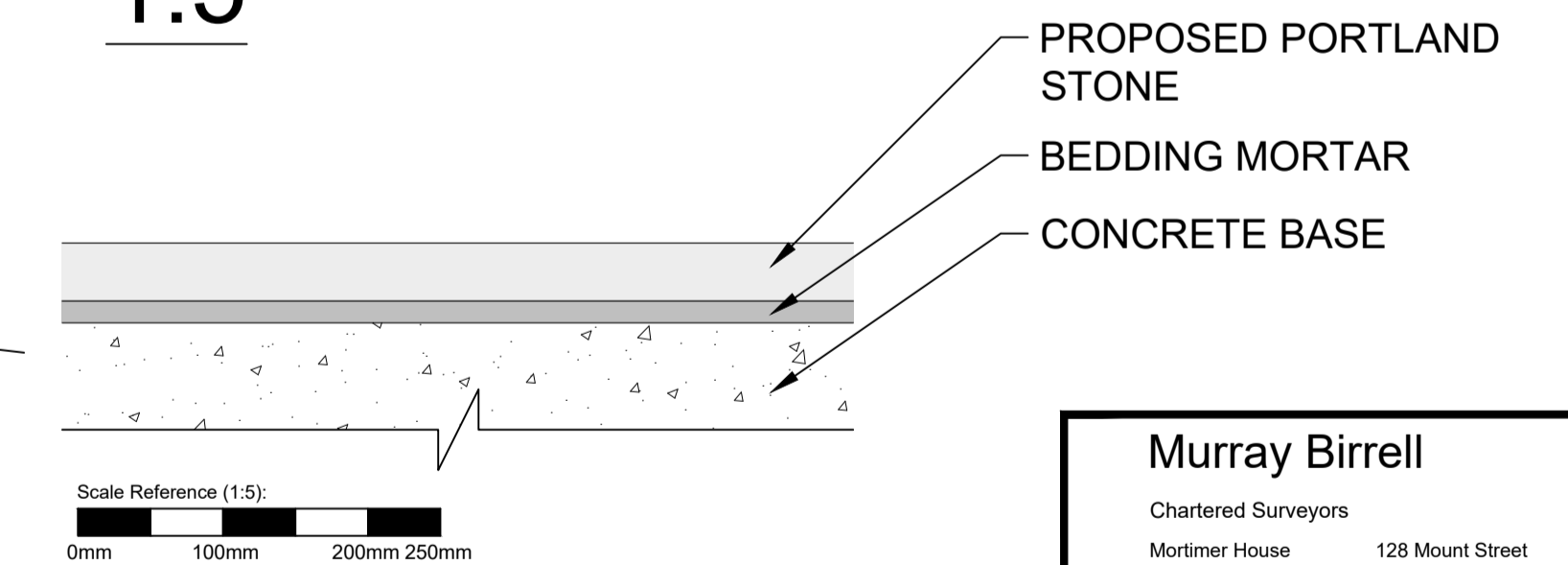
PROPOSED SECTION DETAIL

1:10



PROPOSED SECTION DETAIL

1:5



<p>Murray Birrell Chartered Surveyors Mortimer House 128 Mount Street 40 Chatsworth Parade Mayfair Queensway London W1K 3NU Petts Wood 020 7499 6317 Kent BR6 1DE T: 01689 898 288 E: mb@murraybirrell.co.uk www.murraybirrell.co.uk</p>		
<p>CLIENT GROSVENOR PROPERTY UK</p>		
<p>JOB COMMON PARTS REFURBISHMENT</p>		
<p>DRG TITLE EXISTING AND PROPOSED BUILD UP SECTIONS</p>		
SCALE	1:50 (@A1)	DRG NO.
DATE	MARCH 2024	23.288/E7
DRAWN	OF	REV

mb