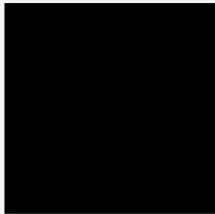


■ Design & Access Statement

In respect of:



Prepared for:



DESIGN AND ACCESS STATEMENT



Regarding:
**16-17 High Street
Tring
Hertfordshire
HP23 5AH**

Prepared by

**Brasier Freeth LLP
Wentworth Lodge
Great North Road
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INTRODUCTION

1.0 INSTRUCTIONS

1.1.1 Our instructions were received following reports of water ingress into the premises.

2.0 THE WORKS

2.1.1 The procurement of a scaffold design and scaffold licence to enable safe access and working platforms to undertake works.

2.1.2 The repair and re-roofing of the clay plain tiled roof surfaces including ridge tiles, valley tiles and verges.

2.1.3 The provision of replacement sarking felt.

2.1.4 The upgrading of roof void insulation.

2.1.5 The repair and replacement of rainwater goods, as required.

2.1.6 The repair and replacement of cracked pebbledash render to chimney stacks which may involve the brickwork repair of cracks behind the render, repair of chimney heads, chimney flaunchings, chimney pots and abutment flashings.

2.1.7 Redecoration of high level joinery to windows, fascias, soffits, bargeboards and the like, accessible from scaffold.

THE SITE & PREMISES

3.0 LOCATION

3.1.1 The property is situated on the High Street at the heart of Tring town centre, which provides a good range of shops and services with a number of multiples represented.

3.1.2 The building is at the left hand end of a retail parade and has a corner frontage onto the High Street and Rothschild Place, which leads from the High Street and provides shared access to a car park and other properties to the rear.

4.0 SIZE & SHAPE

4.1.1 The accommodation is arranged at basement, ground, first and second floor levels.

4.1.2 The basement layout is stairs leading from ground floor to corridor and two storage rooms.

- 4.1.3 The ground floor layout is a retail sales area and kitchen / store with a corridor leading to separately let offices (four rooms including kitchen area) and communal male/female WC's. Communal meeting room for the use of the two office tenants. Two stairways leading up to first floor and second floor offices.
- 4.1.4 The first floor layout is a corridor with male and female WC's, kitchen and four offices.
- 4.1.5 The second floor layout is a corridor with kitchen area and three offices.
- 4.1.6 The total size of this property is 3,088 Sq. ft (286.90 Sq. m).

5.0 BUILDINGS & STRUCTURES

- 5.1.1 The building is a substantial three storey building with a large basement. The building is occupied by three separate tenants, firstly, a charity shop on the majority of the ground floor, a financial services firm on part ground and first floor and an office based user on the second floor.
- 5.1.2 The building is of Arts & Crafts style and believed to date from circa. 1905. It is covered with roofs finished with clay plain tiles and the walls are principally finished with rough cast rendering although some areas include fair faced brickwork.
- 5.1.3 The windows comprise transomed single glazed casements at the upper floor levels and a mixture of metal and timber framed windows to the rear elevations.
- 5.1.4 There are plain bargeboards to the gables and long curved wrought iron gutter stays.
- 5.1.5 The rainwater goods are a combination of cast iron and uPVC gutters and downpipes.

6.0 GENERAL HISTORY

- 6.1.1 The building is Grade II Listed and within the Tring Conversation Area.
- 6.1.2 The official listing states "*Shop and offices. Circa. 1905 for Rothschild Estate. Pebbledash building with half-timbered ground floor steep red tile roofs. A 2 ½ storeys Art and Carfts style corner building facing north with triple conjoined dormer above small jetty, and bold 1st floor jetty on bull-nosed joists with moulded bressumer. Joists at LH project further with double curved brackets under, to support large rectangular oriel. Semi-circular hood to corner entrance. Small panes to transomed casements on upper floors. Small panes in heads of shop windows between timber uprights on ground floor. Similar panes in top of sash window to RH. Plain bargeboards to gables and long curved wrought iron gutter stays. Provides picturesque corner to square in front of church. Included for group value*".

7.0 PLANNING HISTORY

7.1.1 The following planning history exists on the site, the majority of which are for signage alterations to the ground floor retail unit.

App No:	Address:	Description	Date
4/00782/14/LBC Granted	16 High Street Tring HP23 5AH	Temporary Banner	15.04.2014
4/00588/14/ADV Granted	16 & 41 High Street Tring HP23 5AH	Temporary Banner	20.03.2014
4/00624/09/LBC Granted	16 High Street Tring HP23 5AH	Signage	21.04.2009
4/00609/09/ADV Granted	16 High Street Tring HP23 5AH	Signage	20.04.2009
4/02176/99/LBC Granted	16 High Street Tring HP23 5AH	Externally illuminated projecting sign	24.12.1999
4/020116/99/ADV Granted	16 High Street Tring HP23 5AH	Externally illuminated projecting sign	09.12.1999
4/01505/99/BLB Granted	Black Horse Agencies 16 High Street Tring HP23 5AH	Installation of wall mounted heritage style CCTV camera	25.08.1999
4/01504/99/FUL Granted	Black Horse Agencies 16 High Street Tring HP23 5AH	Installation of wall mounted heritage style CCTV camera	25.08.1999
4/00885/99/LBC Granted	Black Horse Agencies 16 High Street Tring HP23 5AH	Replacement fascia signs	17.05.1999
4/00418/99/ADV Granted	Black Horse Agencies 16 High Street Tring HP23 5AH	Non illuminated signs	09.03.1999
4/01411/96/FUL Granted	16 High Street (R/O) Tring Herts	Change of use from vets surgery to office	31.10.1996
4/01412/96/LBC Granted	16 High Street (R/O) Tring Herts	Internal and external works	31.10.1996

8.0 INFRASTRUCTURE

8.1.1 The building is at the left hand end of a retail parade and has a corner frontage onto the High Street and Rothschild Place, which leads off from the High Street and provides shared access to a car park and other properties to the rear.

9.0 ACCESS

9.1.1 There is a pedestrian access from the pavement serving the High Street and vehicular access via Rothschild Place over a communal drive to the rear car park.

10.0 NATURAL FEATURES AND ECOLOGY

10.1.1 The site is entirely hard paved. There are no gardens or cultivated grounds. There are no birds' nests or bat roosts on the property.

SURROUNDING AREA

11.0 LAND USE

11.1.1 The property is situated on the High Street in the heart of Tring town centre, which provides a good range of shops and services with a number of national multiples represented.

12.0 DEVELOPMENT TYPES

12.1.1 Tring provides a variety of buildings with multiple diverse uses and occupancies.

12.1.2 The majority of the properties on the High Street are retail with either office or residential accommodation above.

12.1.3 There is a well established care home to the left hand side accessible from Rothschild Place.

13.0 ROOFSCAPE

13.1.1 The building has multi-pitched steep sloping roofs covered with clay tiles and lead lined dormer windows.

MOVEMENT AND CONNECTIONS

14.0 STREET NETWORK

- 14.1.1 The High Street is the traditional throughfare through Tring Town Centre. Congestion from through traffic is alleviated by the A41 dual carriageway bypass which ensures most of the traffic bypasses the town centre.

15.0 ACCESS

- 15.1.1 There are no physical barriers to accessing the property or the site.

16.0 PEDESTRIAN MOVEMENT

- 16.1.1 The High Street has a relatively busy pedestrian movement on the pavement on both sides of the road due to its location in Tring town centre. The footpaths are quite narrow.

17.0 PARKING

- 17.1.1 The freehold title appears to include the rear car parking area. It appears that three parking spaces in the rear car park are demised within the lease of the shop and basement, five parking spaces are included within the lease of the ground and first floor offices and two parking spaces with the second floor offices.
- 17.1.2 There are a number of pay and display car parks within the town centre.

18.0 PUBLIC TRANSPORT

- 18.1.1 Road and public transport links are good. The A41 dual carriageway by-passes the town to the west, connecting with the M25 (J20) approximately 10 miles to the south.
- 18.1.2 Tring mainline station lies on the eastern outskirts of the town providing commuter services into London Euston with a journey time of approximately 37 minutes. Connections are also available to Milton Keynes to the north.
- 18.1.3 There is layby to the east of the property which is a designated bus stop.

APPENDIX I –PHOTOGRAPHS

16-17 High Street, Tring, Hertfordshire HP23 5AH



16-17 High Street, Tring, Hertfordshire HP23 5AH



APPENDIX II –SITE PLAN

bf.

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