

ARBORICULTURAL IMPLICATIONS ASSESSMENT

(In accordance with BS 5837 (2012)-Trees in relation to design, demolition and construction – recommendations)

Land adjacent to **65 Ryelaw Road, Church Crookham, Fleet GU52
6HY**

FLH Architectural Services

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1. INTRODUCTION

The Arboricultural Implications Assessment has been prepared by FLH Architectural Services to assess the potential impact on the extension building proposed at 65 Ryelaw Road, Church Crookham, Fleet GU52 6HY.

Planning specifically have requested that a survey of trees is carried out which may be effected by a proposed development and to provide details of the arboricultural implications and also to provide information on tree works required and tree protection measures to be implemented.

2. SITE DETAILS

The house at no. 65 Ryelaw Road sits within the village of Church Crookham.

Church Crookham is a large suburban village and civil parish, contiguous with the town of Fleet, in northeast Hampshire, England.

It is 38 miles (61 km) west-southwest of London. Formerly a separate village, it figures as a southern suburb of Fleet.

Geolocation – 51.264°N 0.840°W

Full Postal Address: 65 Ryelaw Road, Church Crookham, Fleet GU52 6HY

Site Location (Please do note - Not to Scale on this specific document):

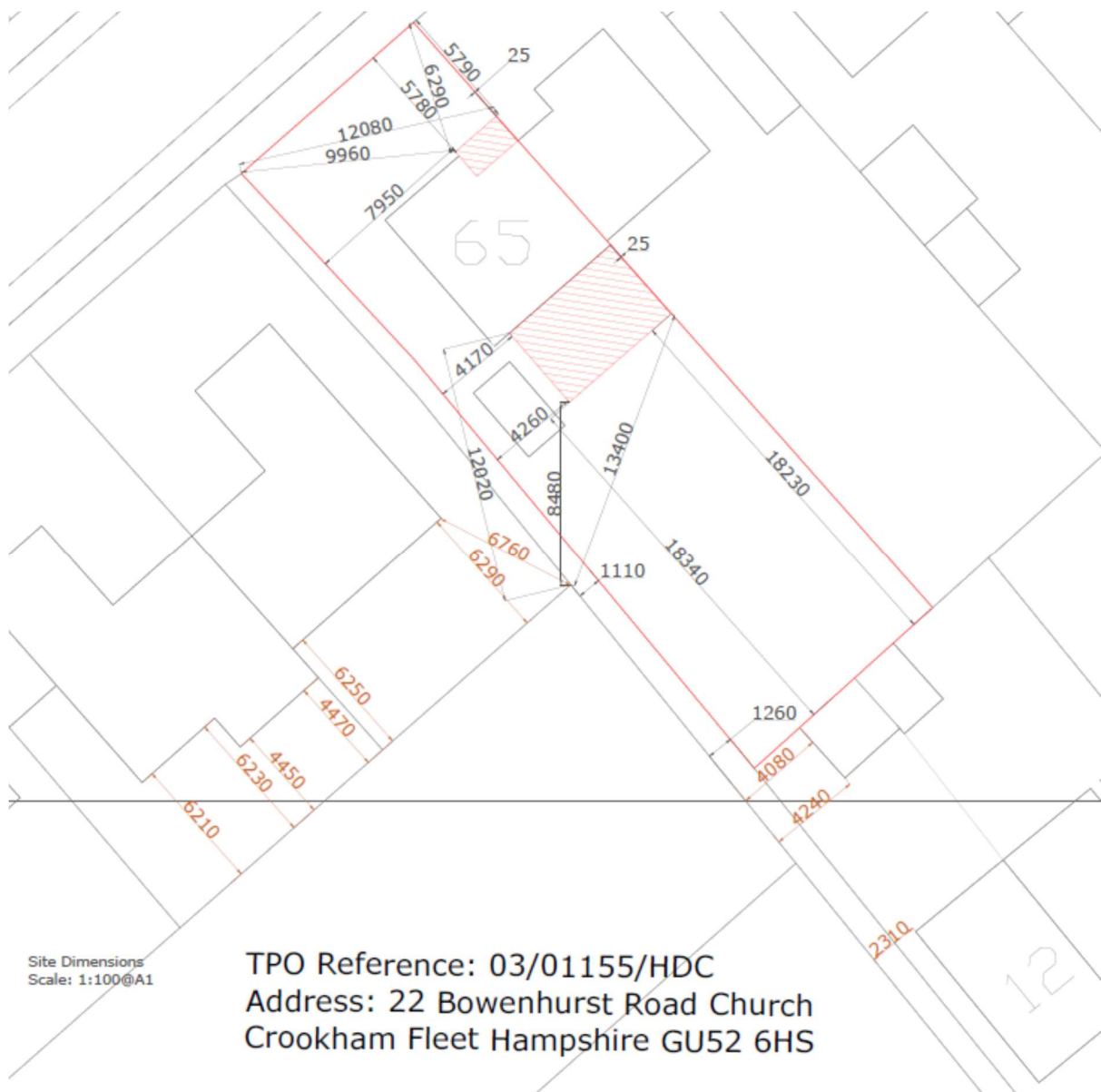


3. EXISTING TPO DETAILS

The TPO: 1155-2003 Ref MD/DC/10/1155-2003 at 22-32 Bowenhurst Road, Fleet depicts A60567 ' All trees located within marked A1 on map' & the additional TOP's to the rear of this site there are:

- 60717 (Scots Pine),
- 60718 (Beech),
- 60719 (Scots Pine),
- 60719 (Scots Pine)
- 60720 (Oak) are covered.

TPO 1155-2003 does not identify the species of trees and their dimensions, merely identifies the land as protected, therefore, I've added this TPO to the plans and run a dimension to show the proximity of the furthest corner of TPO 1155-2003 (not on my client's property) to the corner of the proposed extension - this is 8480mm - to the distance from a tree on that site.



4. CONCLUSION

NO trees are proposed to be removed, nor any work to trees or maintenance to tree's on-site or adjacent to the site will be affected by this proposed extension to 65 Ryelaw Road, Church Crookham, Fleet GU52 6HY.

At no point will the trees on the adjacent site be affected by the works as we (Owner & I.....and the approved contractor - not yet appointed of course) fully understand how the combination of shrinkable soils and trees, hedgerows and/or shrubs represents a hazard to proposed structures.

It is also understood that all tree species do take moisture from the ground and, in cohesive soils such as clay, this can cause significant volume changes resulting in ground movement which in turn has a potential to affect foundations and/or damage to other structures.

Therefore, to minimise any issues and be sympathetic to the adjacent land, the design of foundations will be undertaken by Structural engineers following a specific soil sample and (if required) a specialist arboriculturist will be involved so that the contractor appointed will construct to a minimum NHBC standard ensuring that the foundations will therefore be designed to accommodate the adjacent TPO and thus taken to a depth where the likelihood of damaging trees on the TPO is minimal.

5. ARBORICULTURAL METHOD STATEMENT (where appropriate)

- Ensure that tree protection measures are detailed on site constraints plans prior to any construction activity commencing.
- Install (if appropriate) any protection measures for trees identified on adjacent site.
- Where the footprint of the proposed development extends within a tree root zone, methods of construction which avoid root damage, soil compaction and other forms of damage to trees should be employed.
- Undertake exploratory hand digging within the expected root area of trees (if appropriate) to establish the extent of any root activity.
- Should significant roots be present, this should be assessed by a suitably qualified Arborist and/or Tree Officer. The method of construction of the proposed development may require amending to ensure root damage is avoided i.e. pile and beam foundation or similar.
- Where scaffold is required within the Root Protected Areas (RPA) the above ground protection measures should be installed.
- The root protection areas (RPAs) should be treated as sacrosanct, and the following guidelines should be followed:
 - o NO mechanised excavations
 - o NO movement of construction traffic or parking of vehicles
 - o NO storage of building materials
 - o NO storage of chemicals or fuels
 - o NO fires to be lit in close proximity to trees
- A need for areas of the land available which could be used for storage of materials - These details must all be finalised and approved prior to commencement development in located within RPA's. Site huts, welfare facilities and storage should take precedence over on-site contractor parking. Any materials stored on site must remain secure and outside of any tree protection areas
- The details of the routing of underground services that may affect the trees on site have not been supplied at this time. Should the routing of services cause conflict with the specified RPAs, then arboricultural advice should be sought. It is highly unlikely that this would affect per the proposed development.
- All service runs, utilities and similar infrastructure should take note of trees and allow for working methods that will minimise damage to trees by referring to documents such as NJUG Volume 4 - Guidelines for the planning, installation and maintenance of utility services in proximity to trees. (National Joint Utilities Group).
- It is paramount that no changes in ground levels are affected within proximity to trees without consultation with an arboricultural consultant. Under no circumstances should there be any works undertaken within the protection zones around retained trees.