

PLANNING DESIGN AND ACCESS STATEMENT

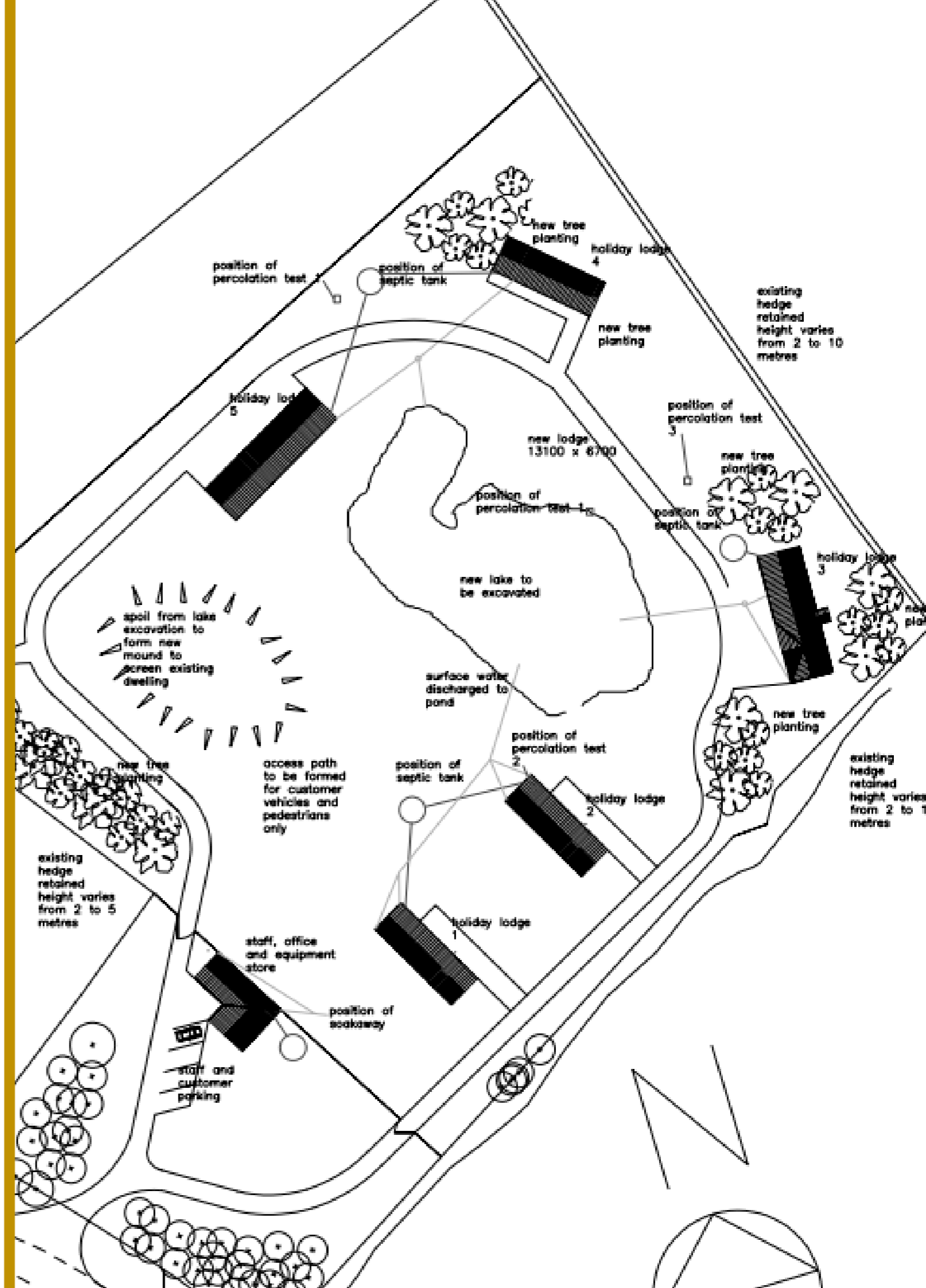
PROPOSED RETROSPECTIVE CHANGE OF USE OF LAND FOR THE SITING OF 5 NO HOLIDAY LODGES WITH ASSOCIATED WORKS, INCLUDING LANDSCAPING, EXCAVATION OF A LAKE, ERECTION OF A STAFF FACILITIES BUILDING AND ERECTION OF A BUILDING FOR STORAGE OF BINS AND EQUIPMENT

EASTFIELD, FEOFFEE COMMON LANE, BARMBY, YO42 1PG

PREPARED BY AMS PLANNING, ARCHITECTURE AND DEVELOPMENT CONSULTANCY

henry@amsplanning.co.uk / 07377263536 / www.amsplanning.co.uk

Document Control		
Internal Reference	23.085	
Document Version	Draft	
Date	January 2024	
Client	Mr A Farrow	
	Name	Position
Written By	Henry Collison	Planning Consultant
Checked and Approved By	Steve Hesmondhalgh	Director



1. INTRODUCTION	3
Planning History	4
2. PLANNING CONSIDERATIONS	6
Principle of Development	7
3. PROPOSED DEVELOPMENT	8
4. CONCLUSION	10

EXECUTIVE SUMMARY

This Planning, Design and Access Statement has been produced to support a planning application submitted on behalf of our client, Mr A Farrow (*the applicant*), seeking retrospective consent for the erection of two holiday lodges and the siting on three holiday lodges (caravan act compliant) with associated works, including landscaping, the excavation of a lake and erection of a staff facilities building.

Planning consent was granted for the subject site in June 2020 (19/04192/PLF) permitting the siting of 5 no. holiday lodges with associated works, including landscaping, excavation of a lake, erection of a staff facilities building and building for the storage of bins and equipment. The consent lapsed on the 22nd June 2023, with elements of the development not built in accord with the approved plans of the aforementioned consent.

Following advice as set out in the Officers Report pursuant application ref. 22/40171/NONMAT, the subject application seeks to regularise what has been built on site.

It is submitted that as the policy context remains fundamentally unchanged following the initial consent, accepting minor revisions to the National Planning Policy Framework in July 2021, September 2023 and December 2023, the proposed development remains acceptable in policy terms.

This supporting statement will provide an overview of the following aspects of the application:

- *The Planning History and Policy Context;*
- *Planning Considerations; and,*
- *Conclusions.*

The reports submitted with the subject application remain valid and are being updated. In line with the conditions attached to the original consent (19/04192/PLF) it is our intention to submit the following updated reports to the Case Officer following validation;

- *Trial Trenching (conditions 15 of 19/04192/PLF);*
- *Drainage Strategy (conditions 5, 6 and 7 of 19/04192/PLF); and,*
- *Updated CEMP and WEP (conditions 13 and 14 of 19/04192/PLF).*

Site Location and Surroundings

The subject site is located in the countryside, approximately 1.5 miles to the south east of Barmby Moor village and 3.5 miles from the centre of the market town of Pocklington. The immediate locality has a distinctly rural character with the subject site surrounded to the north, south and east by agricultural fields.

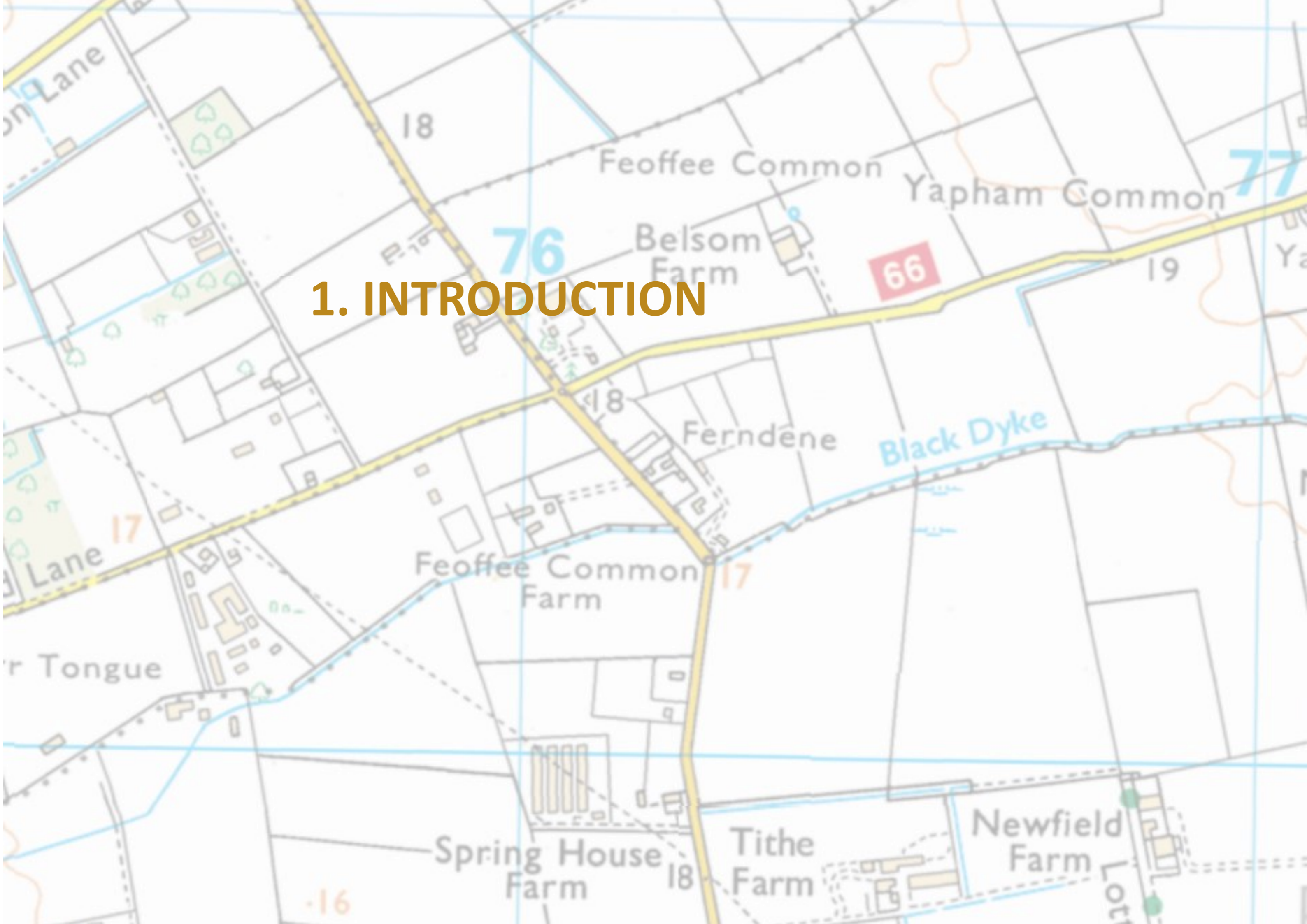
Two residential dwellings adjoin the site to the east, one of which operates an associated caravan sales business. The built form, as proposed under the subject application, retains the same separation distance between the neighbouring dwellings as previously considered acceptable and approved under the prior consent (19/04192/PLF).

The entirety of the site remains, as with the prior consent, within flood zone 1.



Aerial view of the subject site (red) within the wider context

1. INTRODUCTION



1. INTRODUCTION

Planning History

The following section will overview the subject sites planning history.

19/04192/PLF—Change of use of land for the siting of 5 no. holiday lodges with associated works, including landscaping, excavation of a lake, erection of a staff facilities building and erection of a building for storage of bins and equipment

Planning permission for the change of use of the subject site and the siting of 5 holiday lodges, staff facilities and storage building, alongside the excavation of a lake was approved at committee on the 22nd June 2020 under application ref. 19/04192/PLF. The permission expired on the 22nd June 2023.

18 conditions were attached to the consent, of which five were pre-commencements (conditions 6, 7, 9, 13 and 15).

20/30444/CONDET—Submission of details required by Conditions 6 (disposal of foul water drainage), 7 (discharge of surface water), 9 (landscaping scheme and management plan), 10 (final design and external appearance of lodges), 11 (external lighting scheme), 13 (Construction Environmental Management Plan (CEMP: Biodiversity)), 14 (Wildlife Enhancement Plan (WEP)) and 15 (archaeology) of planning permission 19/04192/PLF

The applicants agent submitted a Discharge of Conditions application on 25th November 2020 to discharge 8 conditions attached to permission 19/04192/PLF. The application was withdrawn on the 15th October 2022.

22/40171/NONMAT—Non-Material Amendment to Planning Approval 19/04192/PLF - changes to site layout

A non-material amendment, submitted on the 4th November 2022, sought approval for changes to the approved site layout, this was refused on the 17th March 2023. The Officers Report (OR) considered that as one of the proposed lodges was not caravan act compliant, as approved under 19/04192/PLF and controlled via condition 16, the proposed amendment was material. However, as set out in the OR at neither the changes to the position and orientation of lodges, nor the amalgamation of the storage building with the office structure were considered to cause significant issues. The OR recommended that the revised layout be considered under a formal application.

23/00896/PLF—Erection of 2 holiday lodges and siting of 3 holiday lodges with associated works, including landscaping, excavation of a lake, and erection of a staff facilities building

A revised application was promptly submitted on the 20th March 2023 before being withdrawn in September 2023. As set out in the responses from Statutory Consultees, Highways Development Management (HDM) confirmed that they had no objection in principle, however requested a swept path analysis to show a caravan transporter accessing and egressing the proposed site. The HDM found that the proposed plan showed sufficient parking provision and space for vehicular turning and manoeuvring within the site. Natural England had no objection to the scheme and Humber Historic Environment Records recommended Trial Trenching. As the prior permission (19/04192/PLF) remain extant, the applicant was advised by the Council to submit a VAR to regularise the changes to the site layout and incorporation of non-caravan act compliant units.

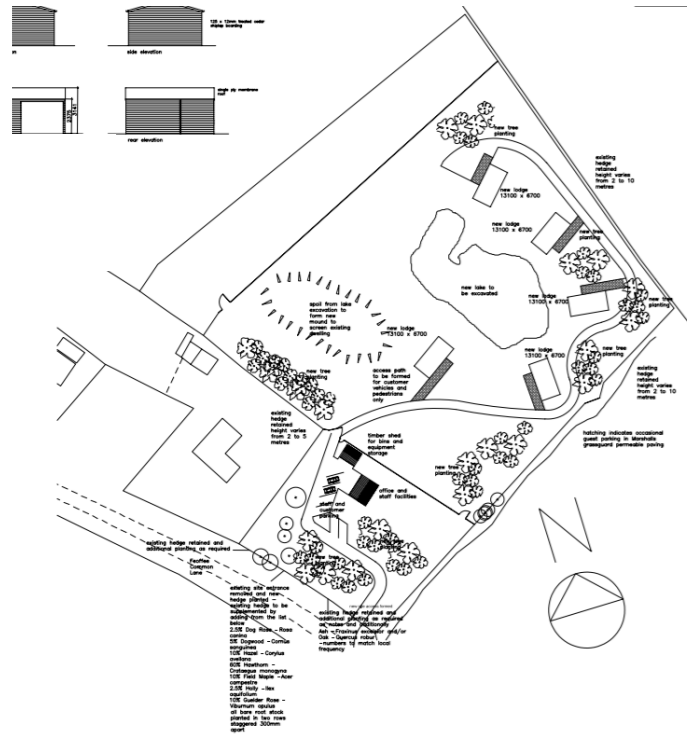
23/30315/CONDET—Submission of details required by Condition 7 (discharge of surface water), Condition 8 (access, parking and manoeuvring of spaces), Condition 9 (detailed landscaping scheme), Condition 10 (siting and design of lodges), Condition 11 (lighting to site), Condition 13 (environmental management plan), Condition 14 (wildlife enhancement plan), Condition 15 (archaeological work) and Condition 17 (layout of site) by planning permission 19/04192/PLF

On 29th August 2023 a further discharge of conditions application was submitted for consideration by the Council. This was refused by the Council as the original consent had lapsed.

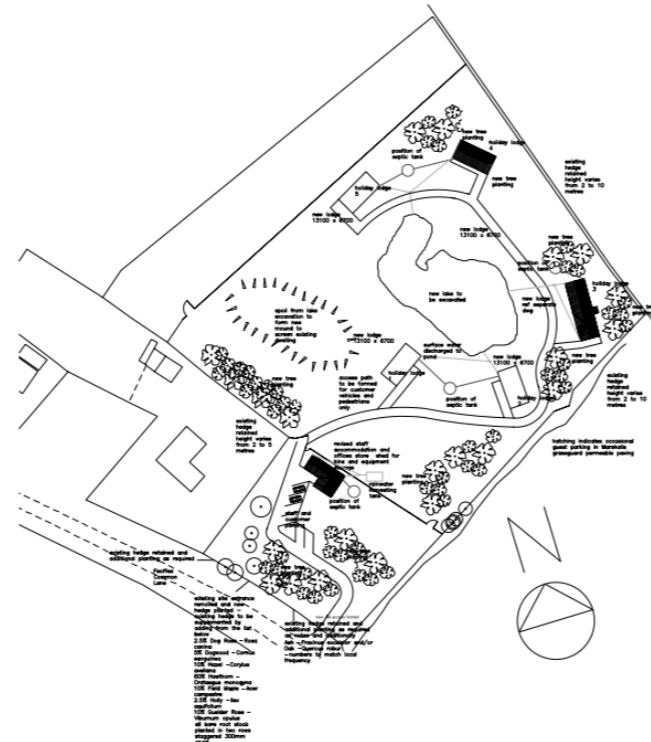
Notwithstanding the refusal, Humber Historic Environment Record reconfirmed that the results of the prior Geophysical Survey needed to be tested via trial trenching. The LLFA and Foss Internal Drainage Board highlighted that a Drainage Strategy would be required. Highways Development Management considered the site plan acceptable for layout, parking and manoeuvring, with no objection to the discharge of conditions 8 and 17 and the Nature Conservation Officer requested updated final copies of the CEMP and WEP.

1. INTRODUCTION

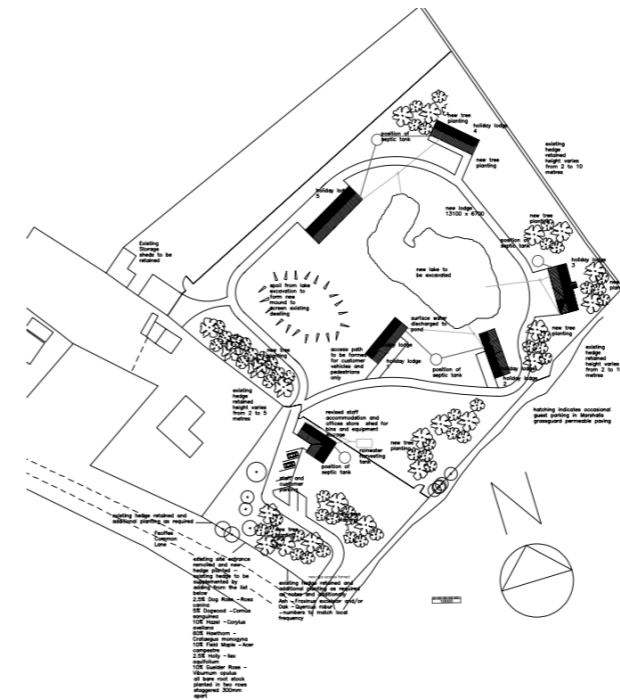
Planning History Continued



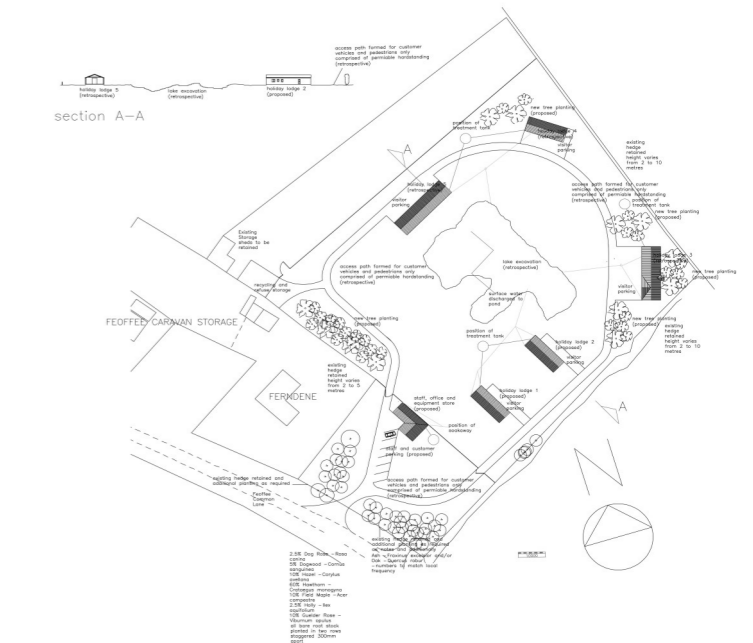
19/04192/PLF



20/30444/CONDET



23/00896/PLF and 22/40171/NONMAT



Current

Changes to the proposed site plan

As illustrated above and set out on the previous page, the site plan has seen subsequent modest alterations from that approved under application ref. 19/04192/PLF. Under the subject application, the principal changes include:

- The relocation of the access connecting to Feoffee Common Lane to the west by approx. 30 meters;
- The retention of the existing storage sheds in the northwestern portion of the site;
- Alterations to the path of the internal track;
- The re-siting and orientating of lodges; and,
- The erection of two non-caravan act compliant lodges.

An aerial photograph of a farm or rural property. The central feature is a large, irregularly shaped green field, possibly a pasture or a large lawn. To the left of this field is a paved parking lot containing several white vehicles, likely cars or small trucks. Further left, there are several buildings, including a large, light-colored structure that could be a barn or a warehouse, and a smaller, darker building. A road or driveway winds through the property, connecting the parking lot and buildings to the main green field. To the right of the green field is a large, rectangular brown field, which appears to be a plowed agricultural field. The entire scene is surrounded by more green fields and some trees, suggesting a rural or agricultural setting. The text "2. PLANNING CONSIDERATIONS" is overlaid in the center of the image in a bold, yellow font.

2. PLANNING CONSIDERATIONS

2. PLANNING CONSIDERATIONS

Principle of Development

The principle of development has been established under the original consent (19/04192/PLF).

As set out in the Officers report, the proposals, which pertained to [inter alia] the siting of five caravan-act complaint units for use as visitor accommodation alongside the erection of a staff facilities building and store (for two of our staff members), were considered compliant with policies S2, S4, S8, EC1, EC2 and A6 of the East Riding Local Plan Strategy Document (2016).

The officer considered that the proposed development sat well within its landscape setting and was acceptable in terms of quantum, scale, design and appearance. The prior proposals were not considered detrimental to local visual or neighbouring amenity in compliance with policies ENV1, ENV2, ENV5 and ENV6 of the Local Plan (2016)

The Officers Report concluded:

8.1 The proposed development would provide tourist accommodation facilities, ancillary staff/office and storage structures, a small lake and on site parking and landscaping which it is considered would contribute positively to the local economy. Subject to conditions, the development is also considered acceptable in terms of its impact on the character and appearance of the surrounding area, the amenities of neighbouring properties, highway safety, flood risk and the surrounding environment.

8.2 The development is therefore considered to accord with the aims and requirements of the policies within the East Riding Local Plan Strategy Document and National Planning Policy Framework.

As with the previously approved proposals, the site remains very well-screened by existing mature vegetation, the quantum of development and proposed use remains unchanged. The staff facilities building will broadly retain the consented siting, with on-site built form retaining the same separation distance from the nearest neighbour, Oaktree Lodge.

The material deviation from the prior scheme, as acknowledged in the Officers Report pursuant application ref. 22/40171/NONMAT, is the introduction of two non-caravan act complaint units. Whilst this change is material, the principle of development still holds.

As rural visitor accommodation there remains a functional need for the structures to be located in the countryside, this was acknowledged in the Officers Report pursuant application ref. 19/04192/PLF;

7.6 The proposals are considered to have a functional need to be located in the countryside in order to provide accommodation for visitors to the Yorkshire Wolds area who come to experience the heritage, wildlife and scenery of the surrounding countryside

As such, the proposals remain consistent with the criteria set out in Section B of Policy EC2. In turn, the inclusion of two non-caravan act compliant units remains consistent with Part B of policy A6 which sets out that policies and decisions should [inter alia];

5. Support sensitive development which capitalises on, or enhances, the tourism potential of the Yorkshire Wolds, including the provision of small scale serviced and self catering tourist accommodation in Market Weighton and Pocklington, and appropriately located touring caravan and camping parks, boutique/ specialist hotels or holiday parks

The existing non-caravan act complaint units constructed on site are slightly larger than the 6.5m x 13.1m units proposed in the prior consent (19/04192/PLF), however the change in scale is modest, the units do not appear prominent nor unsympathetic within the landscape by virtue of their location within the site itself, surrounded by mature landscaping.

As set out above, despite the material change brought about through the introduction of two non-caravan act complaint units, the principle of development remains established.

3. PROPOSED DEVELOPMENT



3. PROPOSED DEVELOPMENT

Proposed Development

As previously set out, the subject proposal advances only minor changes to that which has previously been consented, as these changes do not draw built form any closer to the neighbouring properties, retain the approved quantum of development and the scale of proposed landscaping whilst broadly retaining the consented siting of five units it is considered that the Officers comments, as set out in the Officers Report (OR) pursuant application ref. 19/04192/PLF, remain valid;

7.15....the development would sit well within its setting, incorporating existing and new landscaping within its design and layout, and would not unduly detract from the character and appearance of the surrounding area.

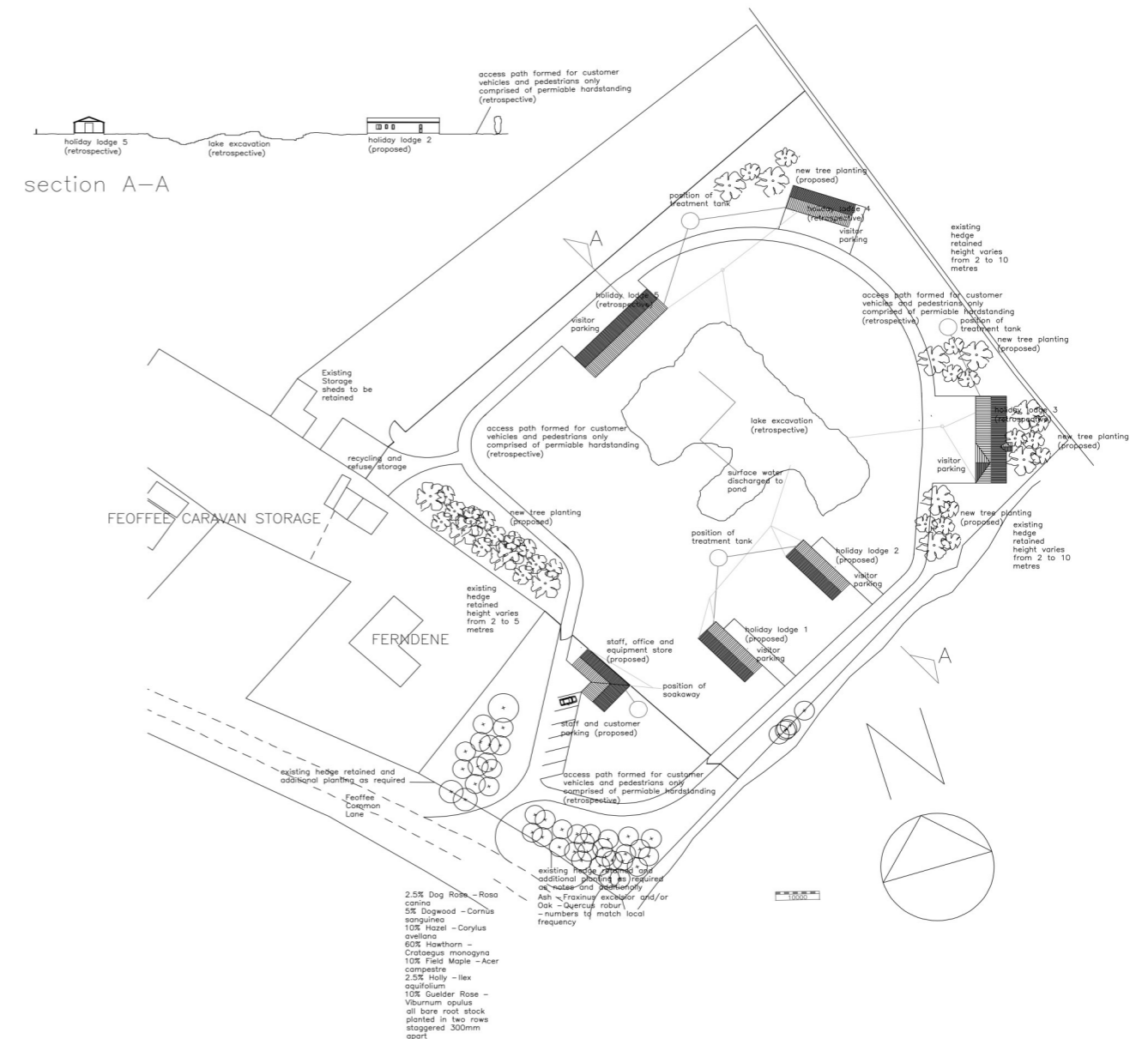
As shown on the site plan overleaf, whilst the units have been re-sited within the site, they broadly follow the siting as previously consented. The bin store originally approved under the prior consent (19/04192/PLF) has been removed, with the massing incorporated into the approved staff(2 staff personals) facilities building to provide greater functionality. As set out in the OR pursuant application ref. 22/40171/NONMAT;

The changes to position/orientation of lodges 3/4/5 are unlikely to cause any significant issues as is the office change (amalgamating the store with the office structure)

As previously set out, units number 1, 2 and 4 remain caravan act compliant, with only units 3 and 5 falling outwith the definition of caravan under the Caravan Sites and Control of Development Act 1960 and Caravan Sites Act 1968. As units 3 and 5 are a modest 1m larger than the consented units the change in massing cannot be considered to prejudice the prior reasons for approval.

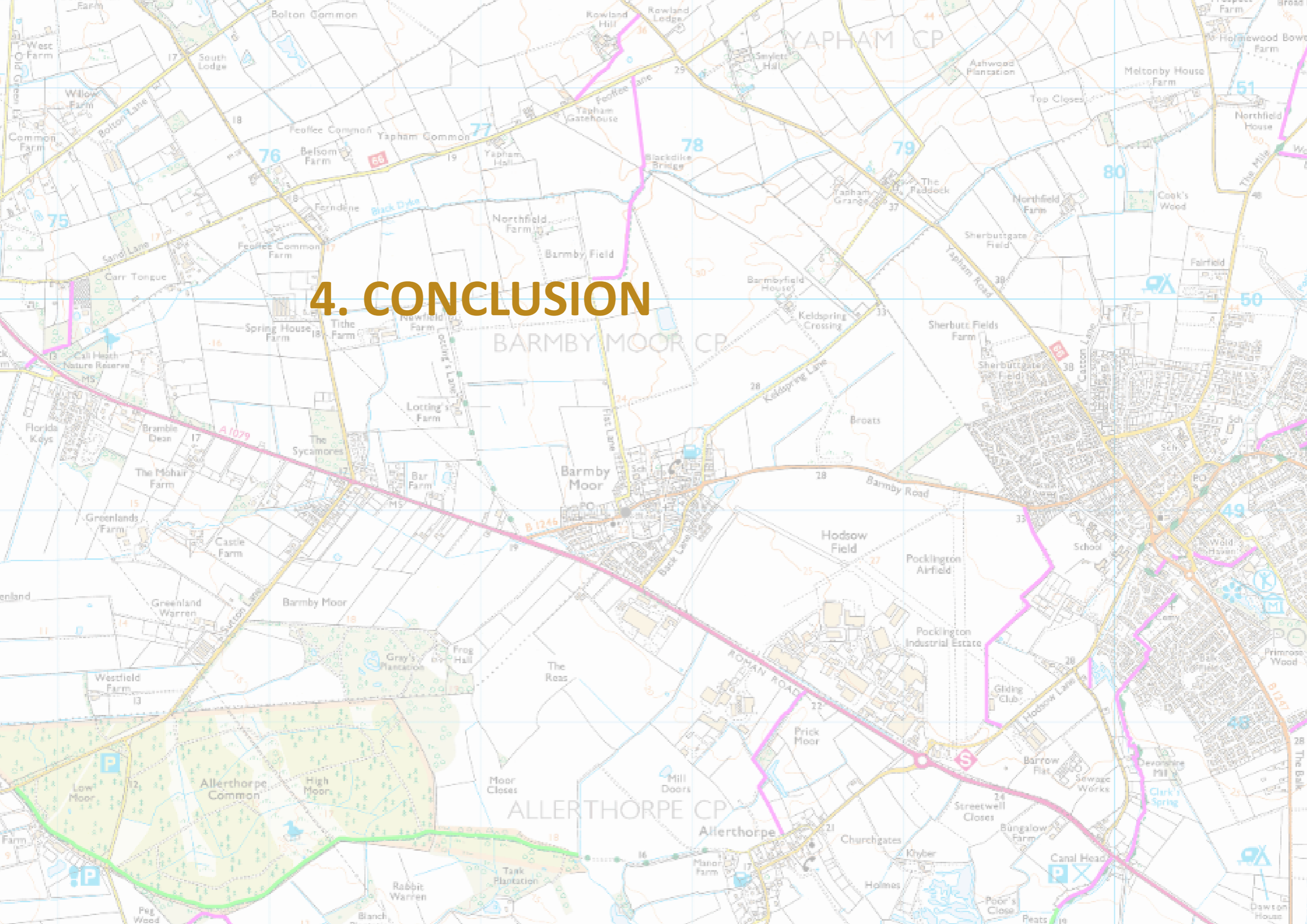
Access will use a new entrance from Feoffee Common Lane, as per the submitted drawings and the internal access track has been extended to provide safe and secure vehicular access to the proposed bin store area.

The Lake remains unchanged in both scale and siting and will serve as a key feature of interest. Indeed, as set out in the OR pursuant application ref. 19/04192/PLF, the lake will provide habitat diversity and a significant net gain in bio-diversity on a site which is acknowledged as having very limited biodiversity value. As with the prior scheme the site will benefit from generous landscaping proposals, with native hedge and tree planting across the scheme.



Proposed Site Plan

4. CONCLUSION



4. CONCLUSION

This Planning Statement has been prepared to support the accompanying application seeking retrospective consent for the erection of two holiday lodges and the siting on three holiday lodges (caravan act compliant) with associated works, including landscaping, the excavation of a lake and erection of a staff facilities building at Eastfields, Foeffee Common Lane, Barmby.

As set out throughout this report, the policy context under which the prior scheme of works at Eastfield gained consent (which has since lapsed), remains fundamentally unchanged. Whilst the changes to the approved site plan, in particular the inclusion of two non-caravan act compliant units, is considered a material deviation from the original consent, the principle of development remains valid and established.

Under refused application ref. 23/30315/CONDET, Highways Development Management considered the site acceptable for layout, parking and manoeuvring. As the subject proposal includes only a minor change to the layout, that being the relocation of the access/egress with Foeffee Common Lane approx. 30m to the west, it is considered that the subject application sufficiently responds to conditions 8 and 17 of the lapsed consent and should be considered acceptable on highways grounds.

As previously noted, in line with comments received from Statutory Consultees in response to application ref. 23/30315/CONDET, a scheme of trial trenching is currently underway, a Drainage Strategy addressing foul and surface water is being prepared and the WEP and CEMP are being updated. In turn, the updated reports upon submission will sufficiently respond to conditions 5, 6, 7, 13, 14 and 15 of the lapsed consent (19/04192/PLF).

To reiterate the conclusion drawn in respect of the lapsed consent (19/04192/PLF), as set out in the Officers Report:

8.1 The proposed development would provide tourist accommodation facilities, ancillary staff/office and storage structures, a small lake and on site parking and landscaping which it is considered would contribute positively to the local economy. Subject to conditions, the development is also considered acceptable in terms of its impact on the character and appearance of the surrounding area, the amenities of neighbouring properties, highway safety, flood risk and the surrounding environment.

8.2 The development is therefore considered to accord with the aims and requirements of the policies within the East Riding Local Plan Strategy Document and National Planning Policy Framework.

It is therefore respectfully requested that retrospective permission, in accordance with the development plan, is approved without delay.