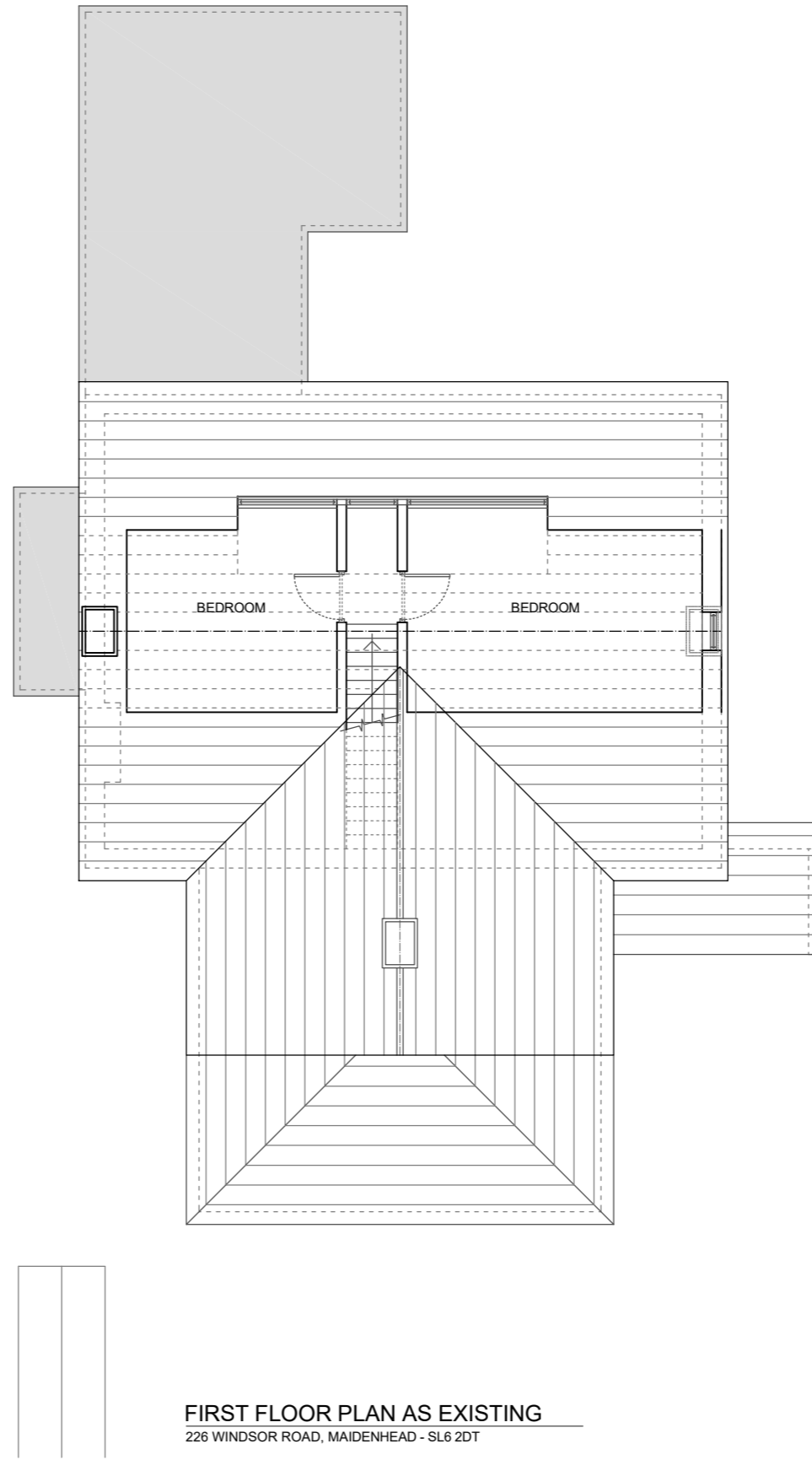


GROUND FLOOR PLAN AS EXISTING
226 WINDSOR ROAD, MAIDENHEAD - SL6 2DT



FIRST FLOOR PLAN AS EXISTING
226 WINDSOR ROAD, MAIDENHEAD - SL6 2DT

NOTE:
PLEASE NOTE THAT BEFORE BUILDING WORKS COMMENCES IT IS THE RESPONSIBILITY OF BUILDER OR OWNER TO SERVE PARTY WALL NOTICES TO ALL NEIGHBOURS
DIMENSIONS
ALL DIMENSIONS TO BE CHECKED ON SITE. CONTRACTOR TO CHECK SITE THOROUGHLY BEFORE WORK STARTS & REPORT ANY DISCREPANCIES.

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NOTES:
This drawing is for statutory planning purposes only. All measurements to be checked on site.

The owner has a duty under the Party Wall Act 1996 to serve a Party structure Notice to any adjoining owner if building work on or near an existing Party Wall involves:

- Support of Beam
- Insertion of DPC through wall
- Raising a wall or cutting off projections
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- Underpinning
- Insertion of lead flashing
- Excavation within 3m of an existing structure where new foundations or within 6m of an existing structure where the new foundations are within a 45 degree line of the adjoining foundations.

A Party Wall Agreement is required to be in place prior to construction work on site.

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Contact : 07912529720
<http://www.arcadia-design.co.uk/test/>

KEY:
Existing Proposed

0 1m 2m 4m (1:50)
0 1m 2m 4m 8m (1:100)

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P L A N N I N G I S S U E			
			PROJECT
			PART SINGLE & TWO STOREY REAR EXTENSION AT 226 WINDSOR ROAD, MAIDENHEAD, SL6 2JS
REV.	DATE	DESCRIPTION	
DWG NO:	PL/A648/01	SCALE	1:100 @ A3
DATE	JAN. 2024	DRAWN BY	MQ
			DRAWING TITLE
			EXISTING GROUND & FIRST FLOOR PLAN

NOTE:

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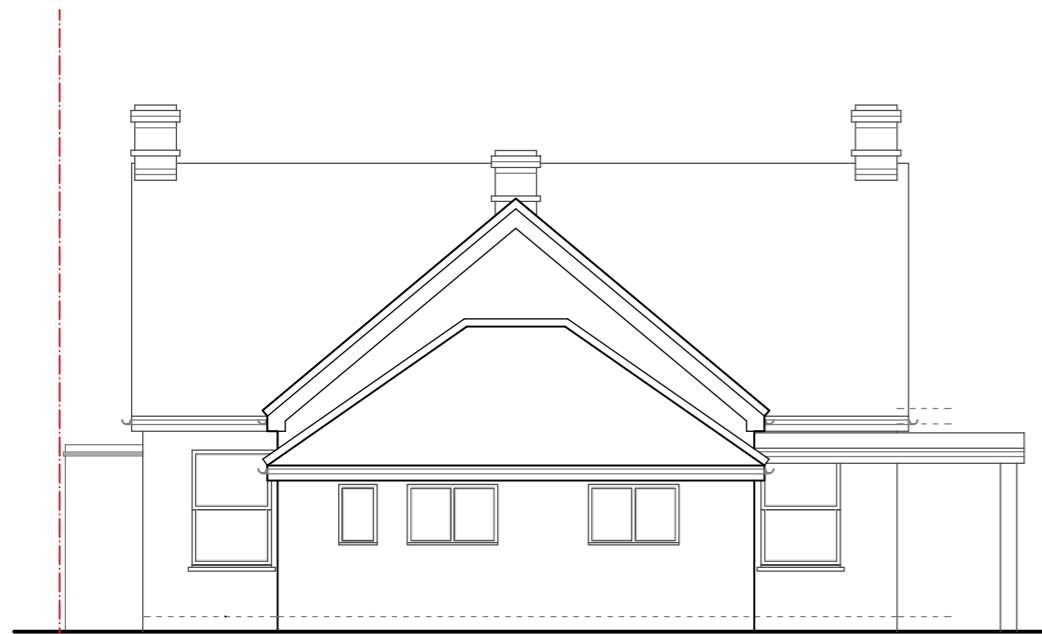
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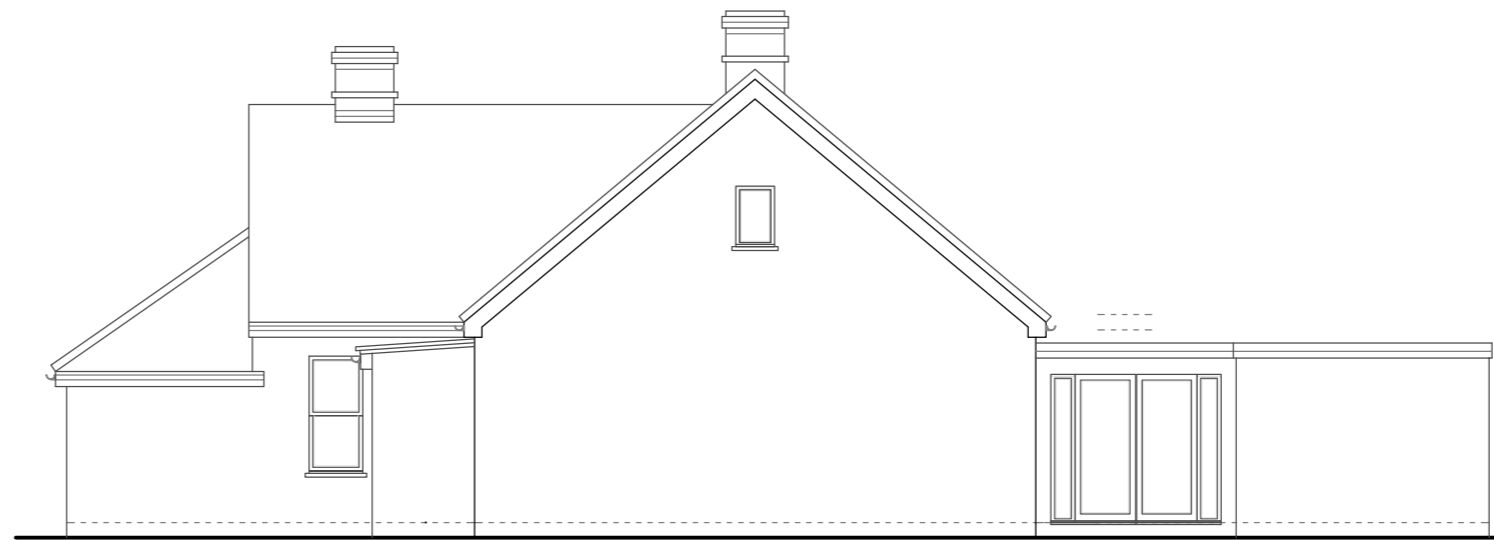
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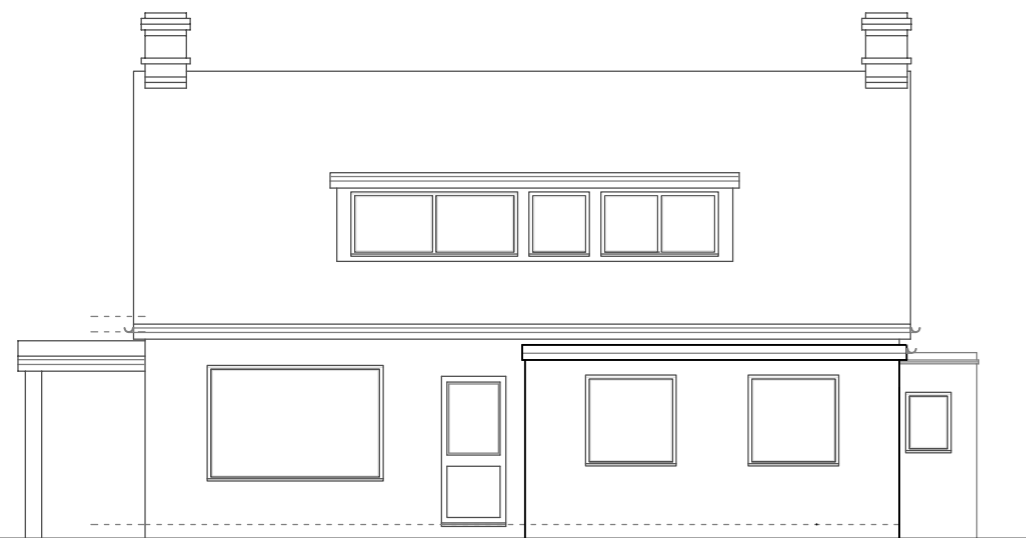
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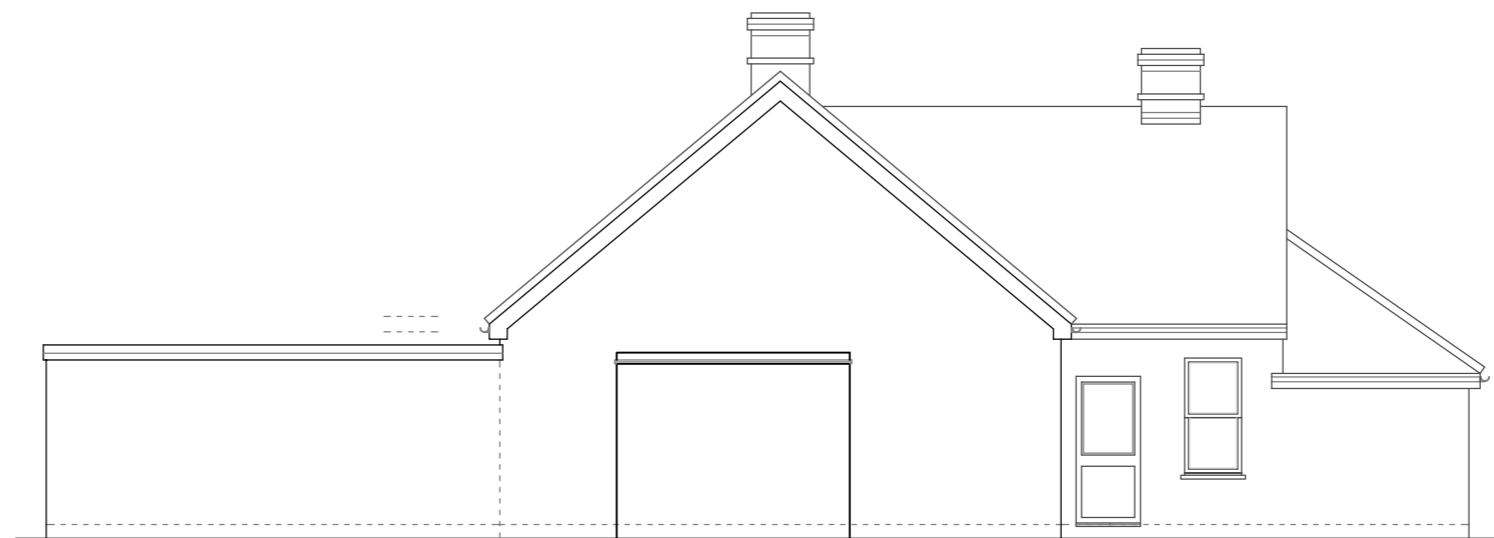
FRONT ELEVATION AS EXISTING
226 WINDSOR ROAD, MAIDENHEAD - SL6 2DT



SIDE ELEVATION AS EXISTING
226 WINDSOR ROAD, MAIDENHEAD - SL6 2DT



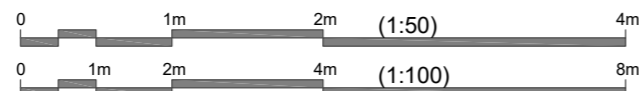
REAR ELEVATION AS EXISTING
226 WINDSOR ROAD, MAIDENHEAD - SL6 2DT



SIDE ELEVATION AS EXISTING
226 WINDSOR ROAD, MAIDENHEAD - SL6 2DT



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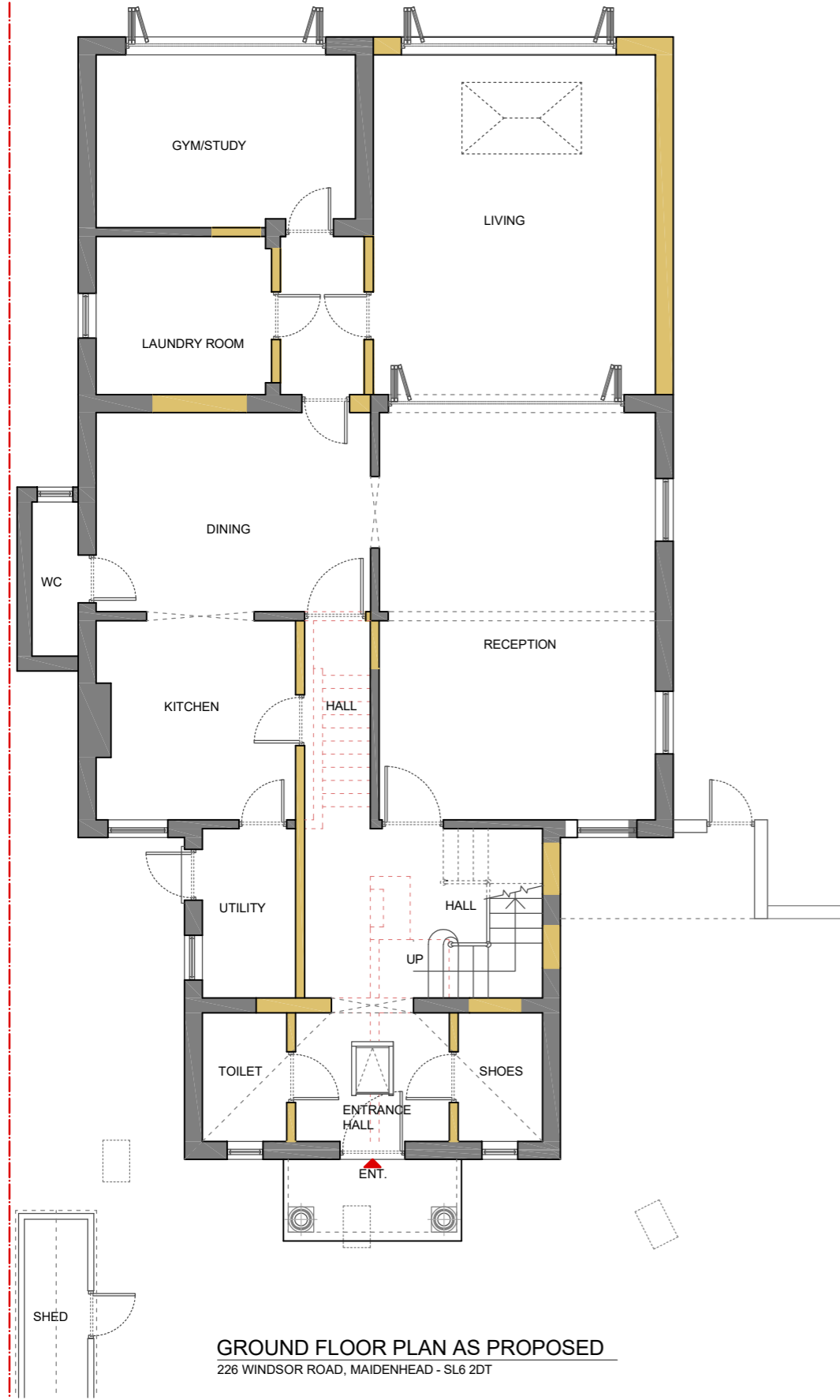


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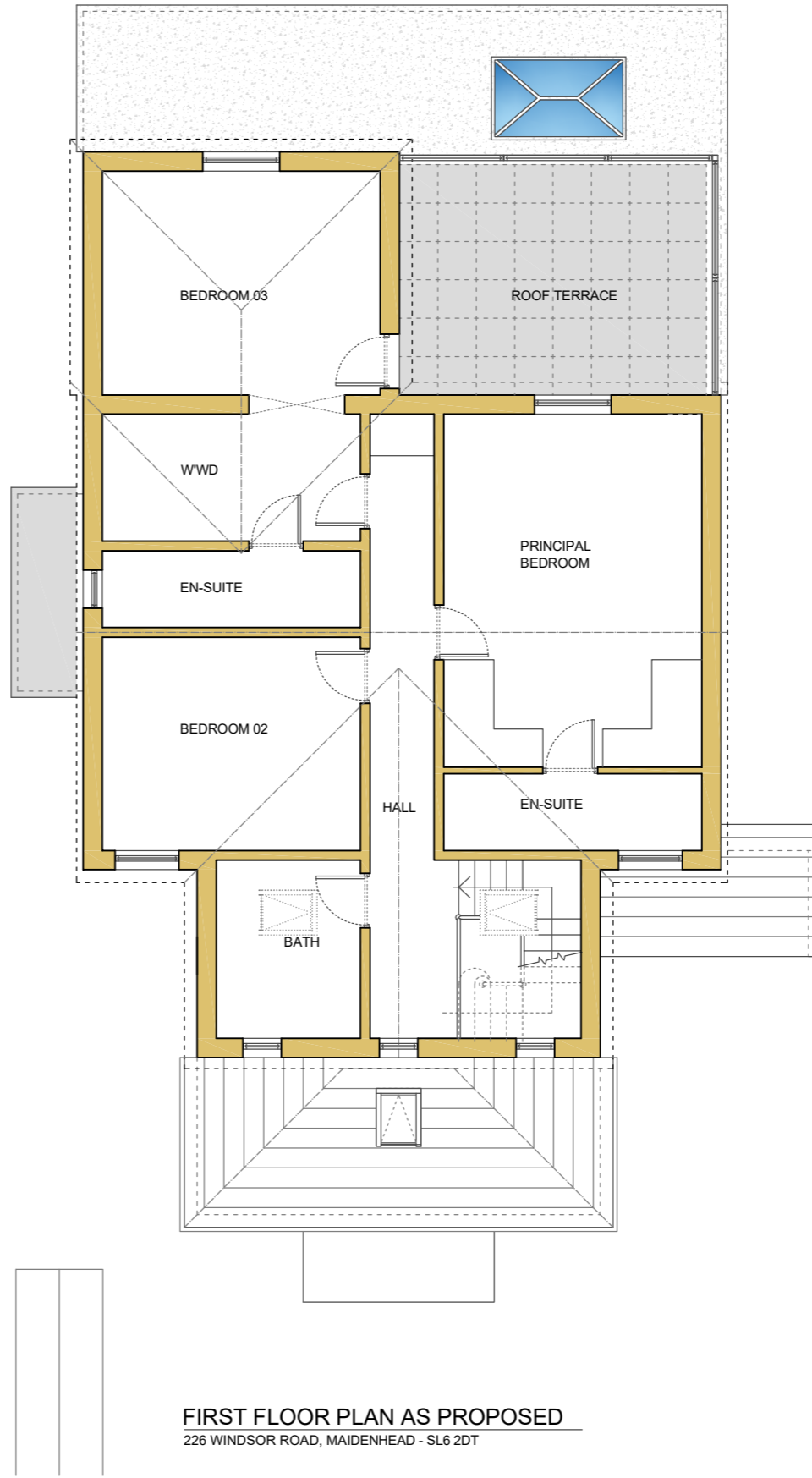
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P L A N N I N G I S S U E

REV.	DATE	DESCRIPTION	SCALE	1:100 @ A3	PROJECT
					PART SINGLE & TWO STOREY REAR EXTENSION AT 226 WINDSOR ROAD, MAIDENHEAD, SL6 2JS
DWG NO:	PL/A648/02				DRAWING TITLE
DATE	JAN. 2024	DRAWN BY	MQ		EXISTING ELEVATIONS



GROUND FLOOR PLAN AS PROPOSED
226 WINDSOR ROAD, MAIDENHEAD - SL6 2DT



FIRST FLOOR PLAN AS PROPOSED
226 WINDSOR ROAD, MAIDENHEAD - SL6 2DT

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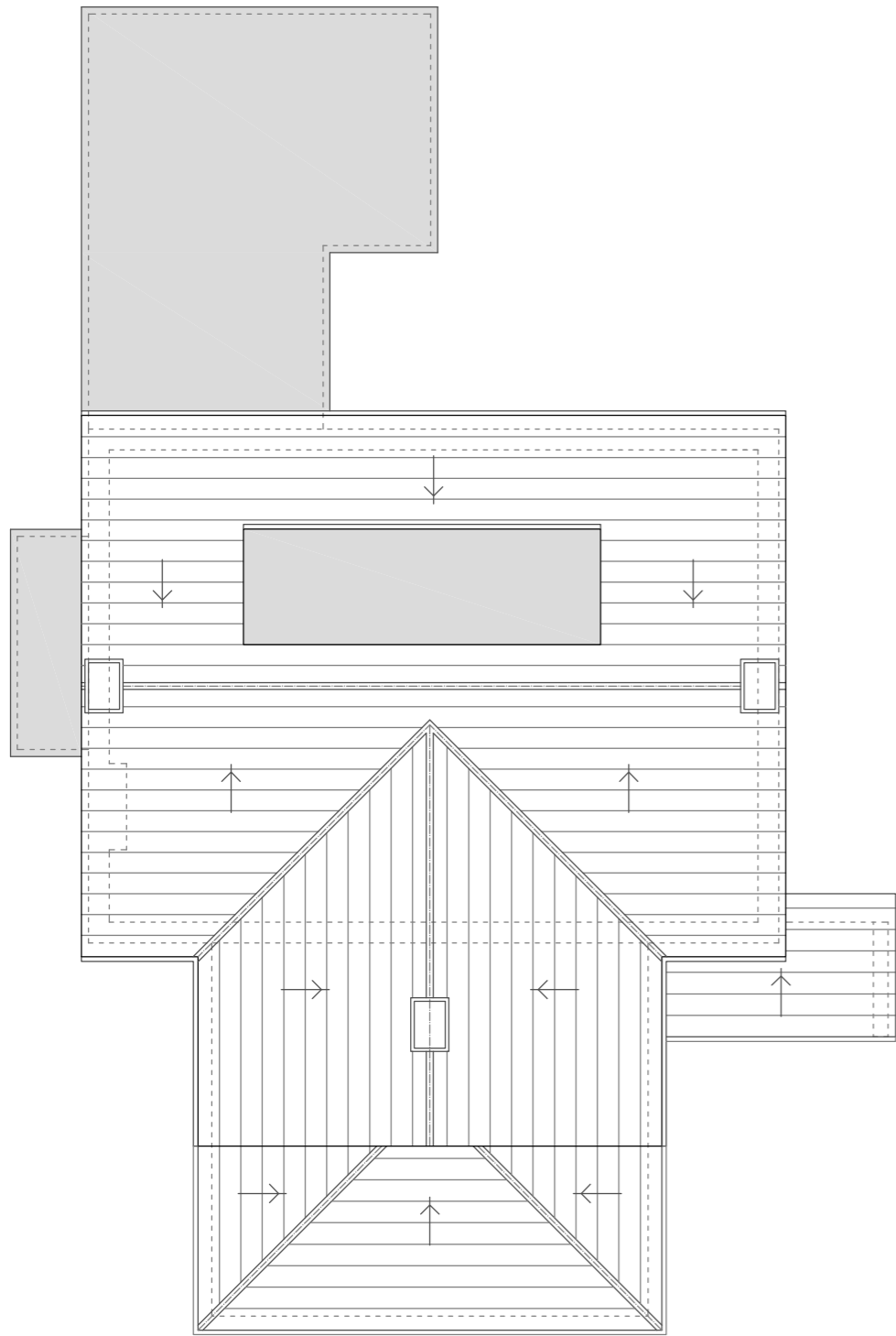
305 Reading Rd, Winnersh, Berkshire. RG41 5LR
Contact : 07912529720
<http://www.arcadia-design.co.uk/test/>

KEY:
EXISTING (grey line) PROPOSED (yellow line) APPEAL ALLOWED (green line)

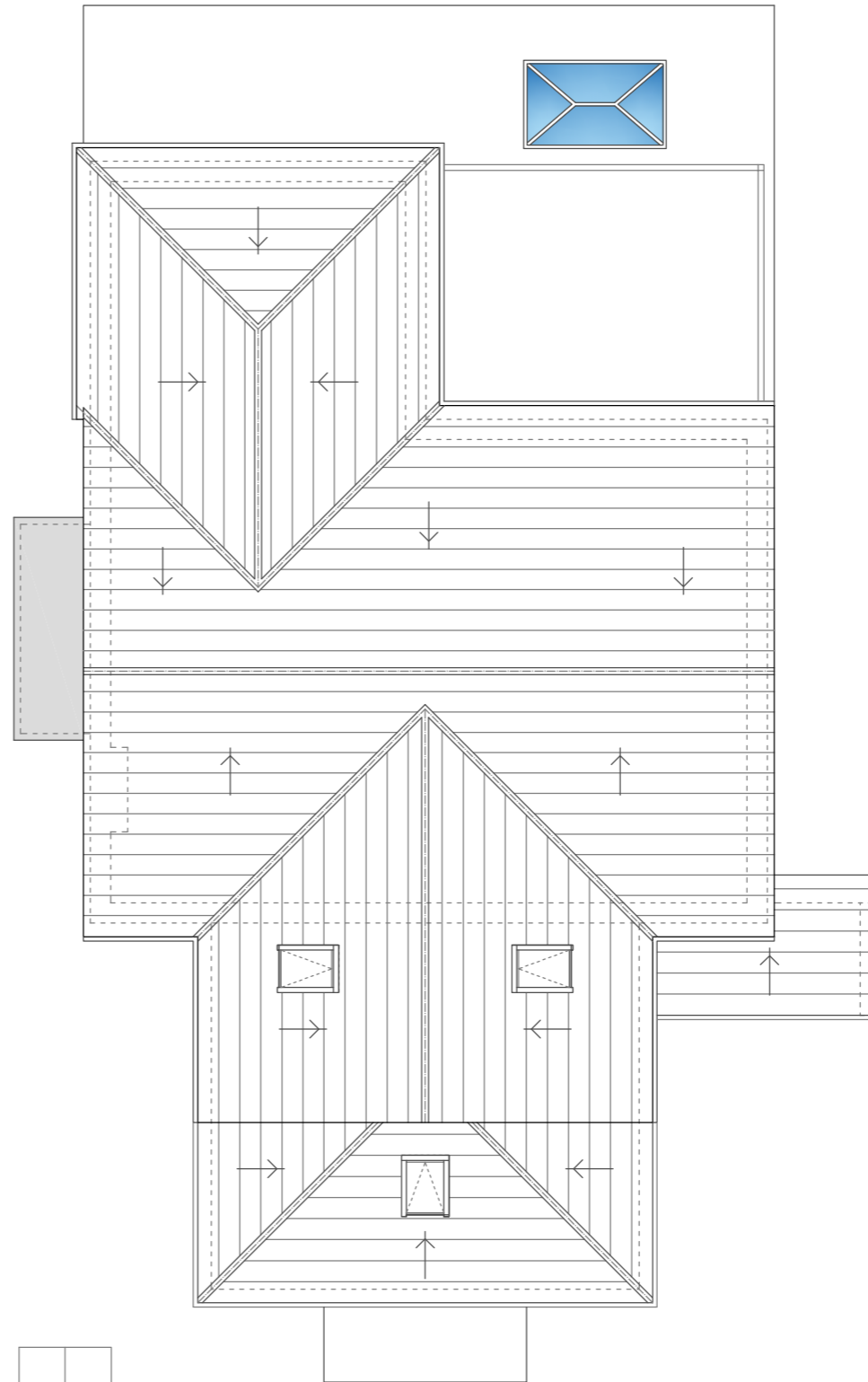
0 1m 2m 4m (1:50)
0 1m 2m 4m 8m (1:100)

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P L A N N I N G I S S U E			
REV.	DATE	DESCRIPTION	PROJECT
DWG NO:	PL/A648/03	SCALE	1:100 @ A3
DATE	JAN. 2024	DRAWN BY	MQ
			PART SINGLE & TWO STOREY REAR EXTENSION AT 226 WINDSOR ROAD, MAIDENHEAD, SL6 2JS
			DRAWING TITLE
			PROPOSED GROUND & FIRST FLOOR PLAN



ROOF PLAN AS EXISTING
226 WINDSOR ROAD, MAIDENHEAD - SL6 2DT



ROOF PLAN AS PROPOSED
226 WINDSOR ROAD, MAIDENHEAD - SL6 2DT

NOTE:
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NOTES:
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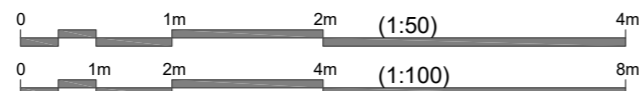
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P L A N N I N G I S S U E

REV.	DATE	DESCRIPTION	SCALE	1:100 @ A3	PROJECT
					PART SINGLE & TWO STOREY REAR EXTENSION AT 226 WINDSOR ROAD, MAIDENHEAD, SL6 2JS
DWG NO:	PL/A648/04				DRAWING TITLE
DATE	JAN. 2024	DRAWN BY	MQ		EXISTING & PROPOSED ROOF PLAN



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<http://www.arcadia-design.co.uk/test/>



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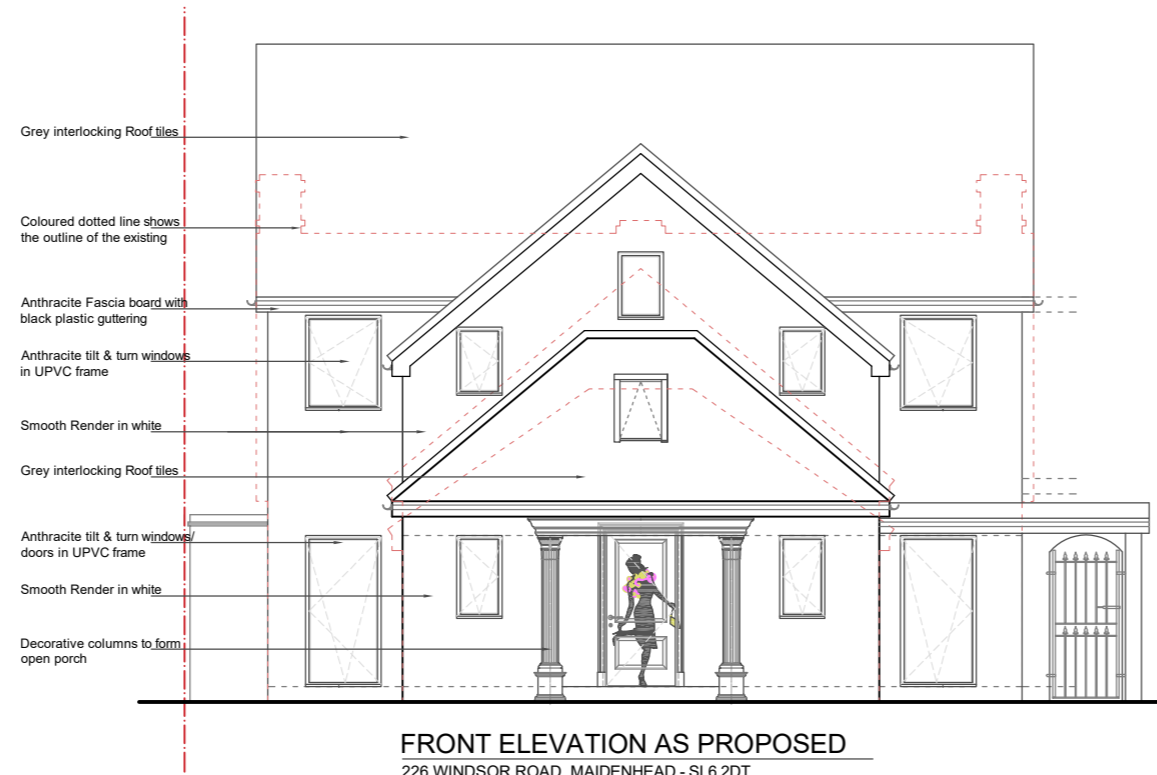
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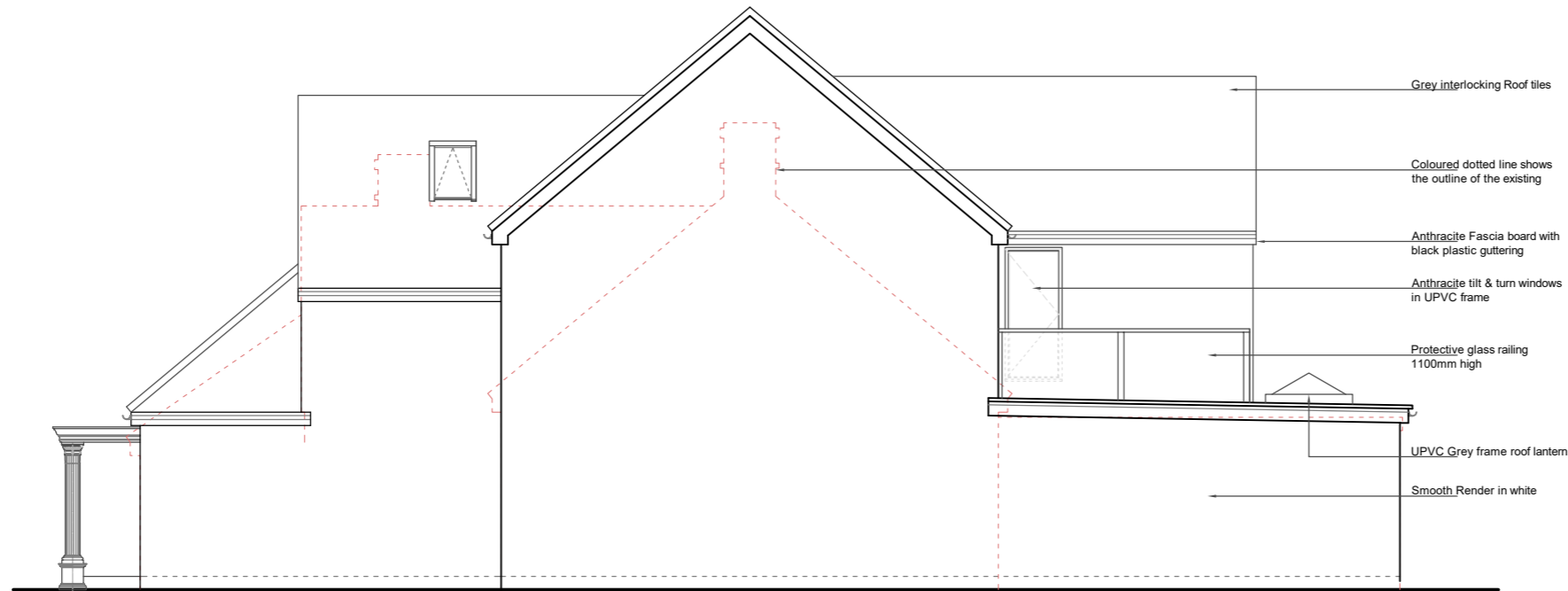
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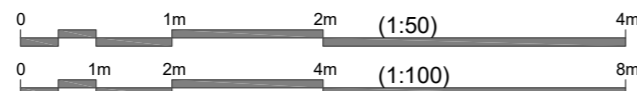
FRONT ELEVATION AS PROPOSED
 226 WINDSOR ROAD, MAIDENHEAD - SL6 2DT



SIDE ELEVATION AS PROPOSED
 226 WINDSOR ROAD, MAIDENHEAD - SL6 2DT



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P L A N N I N G I S S U E

REV.	DATE	DESCRIPTION	SCALE	1:100 @ A3	PROJECT
					PART SINGLE & TWO STOREY REAR EXTENSION AT 226 WINDSOR ROAD, MAIDENHEAD, SL6 2JS
DWG NO:	PL/A648/05				DRAWING TITLE
DATE	JAN. 2024	DRAWN BY	MQ		PROPOSED FRONT & SIDE ELEVATIONS

NOTE:

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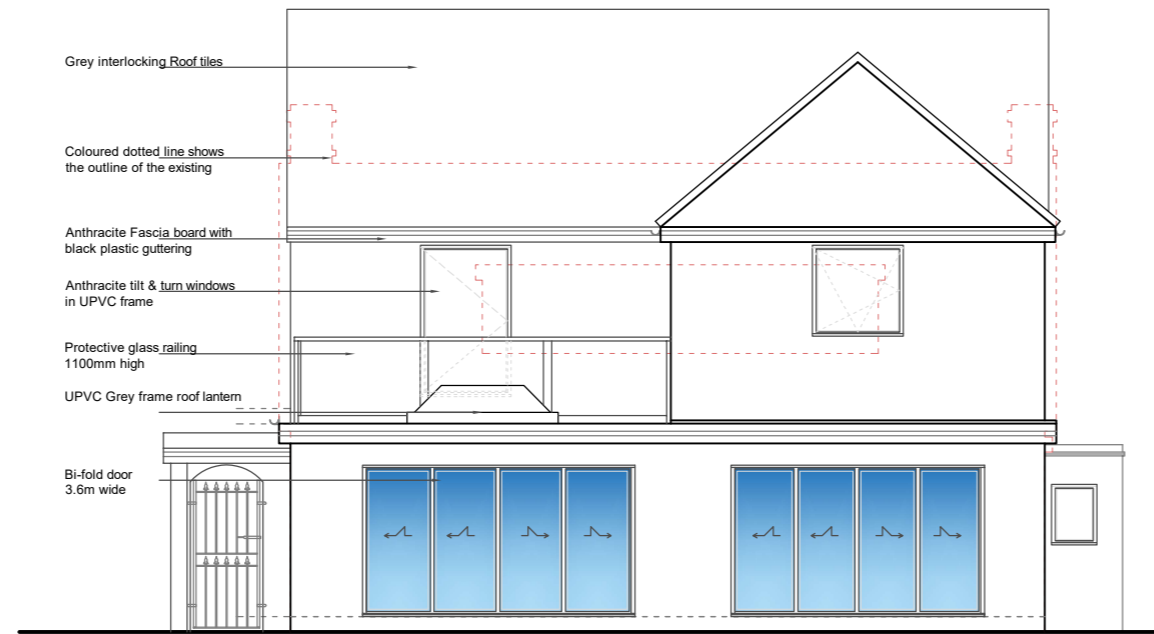
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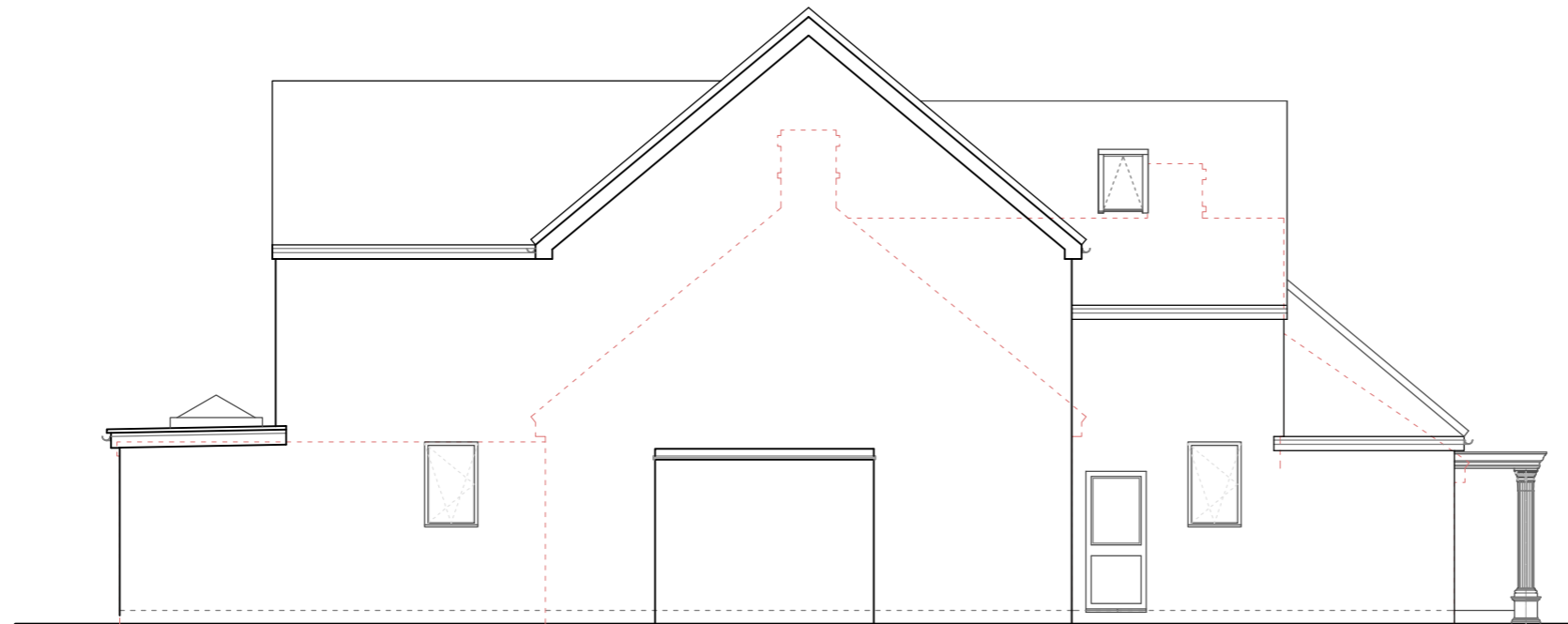
- Support of Beam
- Insertion of DPC through wall
- Raising a wall or cutting off projections
- Demolition and rebuilding
- Underpinning
- Insertion of lead flashing
- Excavation within 3m of an existing structure where new foundations or within 6m of an existing structure where the new foundations are within a 45 degree line of the adjoining foundations.

A Party Wall Agreement is required to be in place prior to construction work on site.



REAR ELEVATION AS PROPOSED

226 WINDSOR ROAD, MAIDENHEAD - SL6 2DT

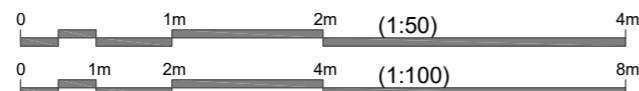


SIDE ELEVATION AS PROPOSED

226 WINDSOR ROAD, MAIDENHEAD - SL6 2DT



305 Reading Rd, Winnersh, Berkshire. RG41 5LR
Contact : 07912529720
<http://www.arcadia-design.co.uk/test/>



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5. ALL RIGHTS RESERVED.

P L A N N I N G I S S U E

REV.	DATE	DESCRIPTION	SCALE	1:100 @ A3	PROJECT
					PART SINGLE & TWO STOREY REAR EXTENSION AT 226 WINDSOR ROAD, MAIDENHEAD, SL6 2JS
DWG NO:	PL/A648/06				DRAWING TITLE
DATE	JAN. 2024	DRAWN BY	MQ		PROPOSED REAR & SIDE ELEVATIONS

NOTE:
 PLEASE NOTE THAT BEFORE BUILDING WORKS COMMENCES IT IS THE RESPONSIBILITY OF BUILDER OR OWNER TO SERVE PARTY WALL NOTICES TO ALL NEIGHBOURS
 DIMENSIONS
 ALL DIMENSIONS TO BE CHECKED ON SITE. CONTRACTOR TO CHECK SITE THOROUGHLY BEFORE WORK STARTS & REPORT ANY DISCREPANCIES.

THIS DRAWING IS COPYRIGHT AND MUST NOT BE TRACED OR COPIED IN ANY WAY OR FORM IN PART OR WHOLE BY ANY MEANS WHATSOEVER WITHOUT PRIOR WRITTEN CONSENT AND MAY ONLY BE USED BY THE PRESENT OWNER IN RELATION TO THE PROPERTY AS REFERRED TO ON THE DRAWING. THIS DRAWING MAY BE COPIED BY AN AUTHORISED OFFICER OF THE LOCAL AUTHORITY WITH THE SOLE PURPOSE TO ASSIST IN THE DETERMINATION OF A PLANNING OR BUILDING REGULATIONS APPLICATION AND MAY NOT BE USED FOR ANY OTHER PURPOSE UNLESS OTHERWISE AGREED IN WRITING.

DO NOT SCALE FROM THIS DRAWING. DIMENSIONS STATED ARE FOR GUIDANCE ONLY. CONTRACTOR TO VERIFY ALL BOUNDARY POSITIONS AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORKS, MAKING WORKSHOP DRAWINGS OR OBTAINING ANY MATERIALS.

NOTE: NO CHECK DIMENSIONS OF THE SITE HAVE BEEN TAKEN AND ALL INFORMATION AND DETAILS HAVE BEEN PROVIDED BY THE CLIENT.

NO SITE SUPERVISION IS IMPLIED OR UNDERTAKEN UNLESS OTHERWISE SEPARATELY ARRANGED.

THE DRAWING DOES NOT INDICATE THE EXTENT OF ANY EXCAVATION WORKS AND THE CONTRACTOR IS TO DETERMINE THIS PRIOR TO SUBMITTING A QUOTATION FOR THE WORKS OR COMMENCING ANY WORKS.

THE DRAWING DOES NOT INDICATE OR IMPLY THE STRUCTURAL CONDITION OF THE EXISTING PROPERTY. THE DRAWINGS HAVE BEEN PREPARED FOR ASSISTANCE IN THE PREPARATION OF DETAILS FOR PLANNING AND BUILDING REGULATIONS PURPOSES ONLY. NO CHECK DIMENSIONS HAVE BEEN TAKEN, ALL DETAILS HAVE BEEN PROVIDED BY THE CLIENT.

THE USE OF PERMITTED DEVELOPMENT RIGHT IN LOFT IS SUBJECT TO INFORMATION PROVIDED BY OWNER REGARDING THE STATUS OF PROPERTY AS A DWELLING HOUSE AND ANY EXISTING EXTENSIONS.

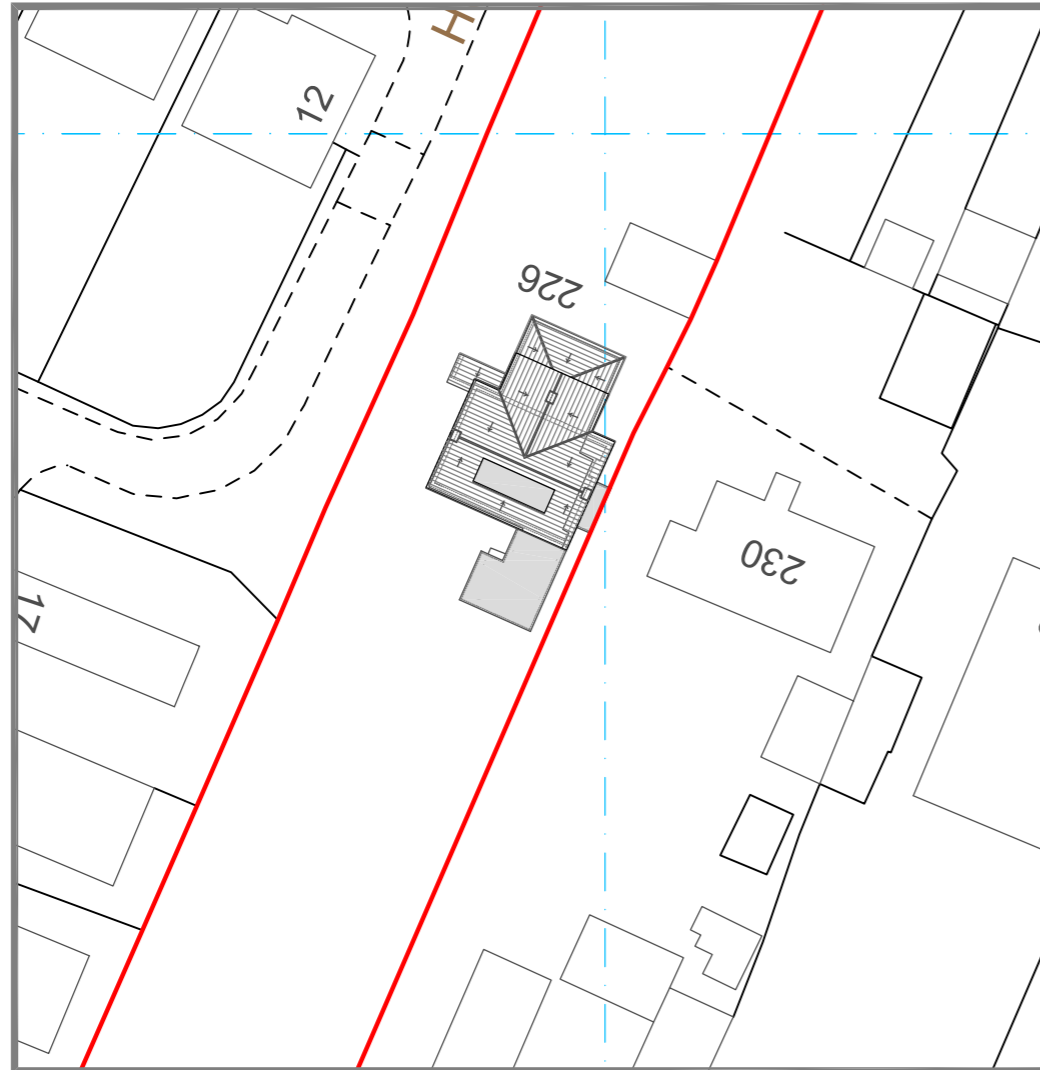
IT IS THE RESPONSIBILITY OF OWNER TO DEMOLISH ANY EXTENSIONS WHICH WERE NOT PART OF ORIGINAL HOUSE BEFORE THE WORK ON PROPOSED LOFT COMMENCES.

NOTES:
 This drawing is for statutory planning purposes only. All measurements to be checked on site.

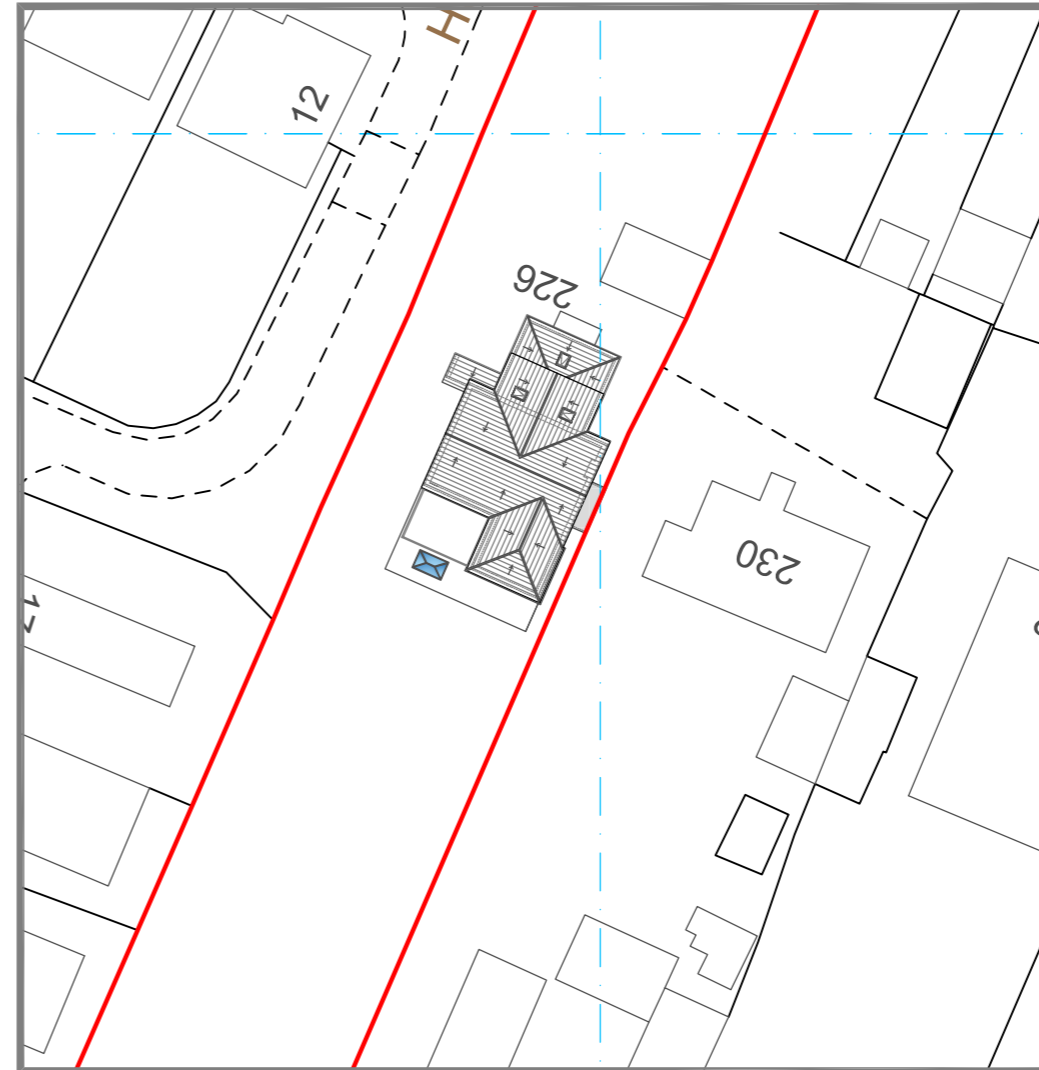
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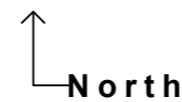
A Party Wall Agreement is required to be in place prior to construction work on site.



SITE PLAN
 SCALE 1:500

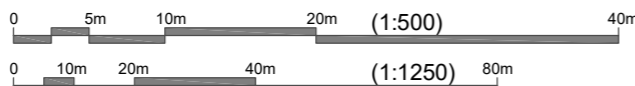


SITE PLAN
 SCALE 1:500



305 Reading Rd, Winnersh, Berkshire. RG41 5LR
 Contact : 07912529720
<http://www.arcadia-design.co.uk/test/>

KEY:
 Existing Proposed



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PLANNING ISSUE

REV.	DATE	DESCRIPTION	SCALE	1:500 @ A3	PROJECT
					PART SINGLE & TWO STOREY REAR EXTENSION AT 226 WINDSOR ROAD, MAIDENHEAD, SL6 2JS
DWG NO:	PL/A648/07				DRAWING TITLE
DATE	JAN. 2024	DRAWN BY	MQ		EXISTING & PROPOSED SITE PLAN