



## CONTENTS

|      |  |  |
|------|--|--|
| 1.0  | Introduction   |  |
| 2.0  | Relevant planning policy   |  |
| 3.0  | Planning history   |  |
| 4.0  | Description of the site  |  |
| 5.0  | Description of the proposals   |  |
| 5.1  | Raising the ridge and eaves line of rear range   |  |
| 5.2  | Forming opening between range and dwellinghouse and constructing associated extension with mono-pitched roof   |  |
| 5.3  | Removal of existing ceiling to northern section of range and installation of new floor to accommodate master bed at first floor level  |  |
| 5.4  | Removal of spiral stair, extension of existing first floor level to accommodate 2 no. beds and 1 no. family bath and installation of new stair                               |  |
| 5.5  | Installation of 5 no. conservation rooflights  |  |
| 5.6  | Installation of 3 no. window openings to western Elevation, replacement of glazed gable end and re-opening of 1 no. window on eastern elevation of southern section of range |  |
| 5.7  | Installation of internal partitions to form kitchen, utility/WC at ground floor level  |  |
| 5.8  | Installation of new log burner and brickwork chimney to western elevation of southern section of range   |  |
| 5.9  | Refurbishment of timber framed single storey structure to rear   |  |
| 5.10 | Refurbishment of 9 no. sash windows to front north elevation   |  |
| 5.11 | Replace front door with flood proof door   |  |
| 5.12 | Re-point, repair or replace where necessary existing brickwork to property   |  |
| 6.0  | Impact of the proposals on the significance of the heritage asset and wider conservation area  |  |

## 1.0 INTRODUCTION

Alison Akester Architects have been instructed by their client to prepare a planning and listed building consent application for alterations to the rear range of The Angel to provide accommodation consisting of family living space and ancillary accommodation at ground floor level and 3 no. bedrooms and a bathroom at first floor level. The application also includes for the formation of an opening between the range and the dwellinghouse to connect the two spaces at first floor level, along with a small first floor extension to provide adequate head height; the refurbishment of 9 no. sash windows to the front (north) elevation of the The Angel; a replacement flood resilient front door, also on the north elevation; and re-pointing/repair/replacement where necessary of brickwork throughout.

The Angel is grade II listed (Historic England Listing No. 1290066) and is located within the Little Hadham Conservation Area. To the south of the long rear range sits a timber framed barn which is also Grade II listed (Historic England Listing No. 1211346).

This application has been prepared with regard to the comments issued for both the previous planning/LBC application and the pre-application advice submission.

## 2.0 RELEVANT PLANNING POLICY

East Herts District Plan 2018:  
VLL2 – Group 2 Villages  
HOU11 – Extensions and Alterations to Dwellings, Residential Outbuildings and Works within Residential Curtilages  
HOU7 – Accessible and Adaptable Homes (all new developments should meet PartM4(2):Category 2 – Accessible and Adaptable Dwellings)  
DES3 - Landscaping  
DES4 – Design of Development  
HA2 – Non-Designated Heritage Assets  
HA4 – Conservation Areas  
TRA2 – Safe and Suitable Highway Access Arrangements and Mitigation  
TRA3 – Vehicle Parking Provision  
WAT1 – Flood Risk Management  
NE3 – Species and Habitats

Other reference documents:  
NPPF – National Planning Policy Framework  
National Design Guide  
Technical Housing Standards – Nationally described space standard  
Little Hadham Parish Conservation Area Appraisals and Management Plans  
East Herts SPD Vehicle Parking Provision at New Development

## 3.0 PLANNING HISTORY

The planning history is set out in section 3.14 of the Heritage Impact Statement.

A further pre-application submission (S/23/0179/PREAPP) was made in November 2023 with comments received and a site visit undertaken by the conservation officer.



## 4.0 DESCRIPTION OF THE SITE

Refer to the Heritage Impact Statement for a general description of the property and associated photographs.

In addition to the information as noted above, below is a description of the 19<sup>th</sup> century single storey structure to the rear of the original house, currently accommodating a bathroom.

19<sup>th</sup> century addition with mono-pitched slate running on from clay plain tiled roof. Structure is timber frame with a timber suspended floor. There is evidence of rot throughout the structure, especially within the floor joists/sole plate and lower section of wall studs. Concrete is present externally around the base of the structure. There is 1 no. timber framed casement window with obscure glazing.

Another particular area of relevance is the abutment of the rear range roof against the main dwelling. The end ridge tile is not present as there is not enough space between it and the existing eaves detail. The gutter line is also broken here for the same reason.



Existing ground floor bathroom



Existing roof over bathroom



Roof abutment viewed from east



Roof abutment viewed from west

## 5.0 DESCRIPTION OF THE PROPOSALS

### 5.1 Raising the ridge and eaves line of rear range

In the previous withdrawn planning application the proposed two storey extension to the end of the range was deemed unacceptable - *'The extension would have a harmful impact on the setting of the listed building and limit the ability to appreciate the significance of the heritage asset.'*

Therefore, alternative options have been explored in order to obtain a dwelling with at least 3 bedrooms and a bathroom on one level.

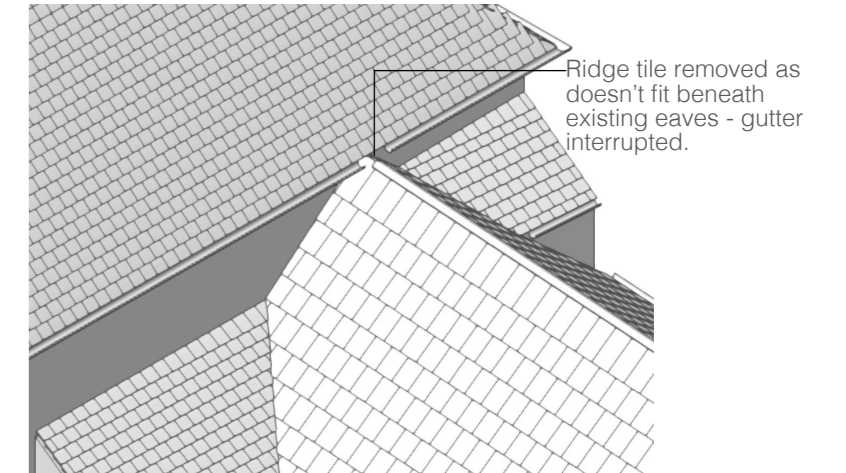
The proposal is to raise the ridge of the entire range by 550mm. This would be the minimum required in order to accommodate functional space and suitable insulation levels at first floor level. The roof pitches of the two sections would remain as existing and therefore the eaves level would also raise by 550mm on both.

Given the nature of the property, it has high heating demands. The applicant seeks to improve the building fabric where possible to reduce this demand. The entire roof would be stripped and slates set aside for re-installation. The roof structure (of no historical significance due to its replacement in 1995) would be removed (following a survey to carefully note down pitches and eaves details) and new deeper rafters installed in the revised position. Appropriate insulation would be installed between and above the rafters, accounting for approximately 150mm of the 550mm roof uplift. The existing slates would be re-installed following the thermal upgrade.

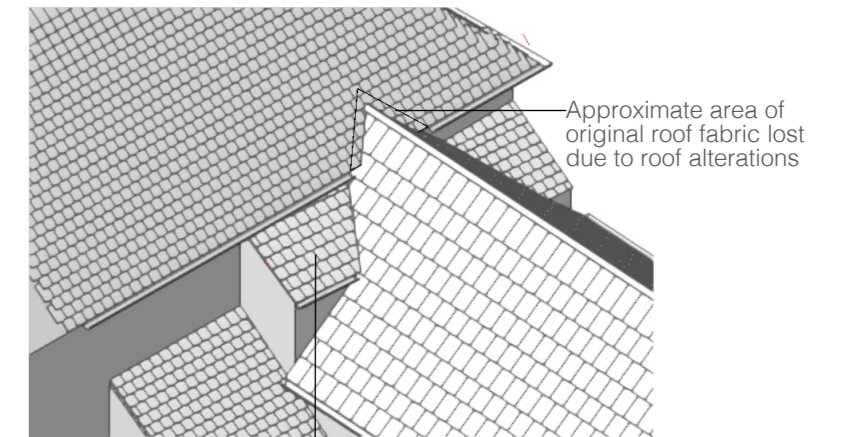
The diagrams opposite give an indication of the revised relationships of the roofs. It is estimated that approximately 0.5m<sup>2</sup> of clay plain tiles will be covered by the alterations on the main roof and the same again on the small mono-pitched roof to the east. Where clay roof tiles are displaced these will be set aside and re-purposed on the proposed new section of roof as described elsewhere. No structural alterations will be required to either the main roof timber frame or the mono-pitched timber frame.

Eaves details will be retained as existing with closed box eaves to the northern section of the range and open eaves to the south.

The walls will need to be built up either side and this will be done with red bricks to match the existing as closely as possible.



Existing roof layout



Proposed roof layout

New section of roof to provide access to original dwelling - echos form of roof on east side of range



- 5.2 Forming opening between range and dwellinghouse and constructing associated extension with mono-pitched roof

When exploring options for the potential alterations it was important to look at utilising the existing spaces within the main dwelling to their full potential. The two existing rooms at first floor level are dedicated to office space due to both occupants working from home for the majority of the time. However, in order to maximise the use of the space we looked at the possibility of these rooms also being used as dressing rooms and the existing bathroom, a dedicated en-suite. In order to do this an opening would need to be made between the existing first floor of the main dwelling and the proposed first floor accommodation within the rear range.

When on-site with the conservation officer, we agreed that there was evidence of a previous opening off the first floor landing. Without opening up it is difficult to conclude whether this was a door or window opening but it is proposed to locate an access into the range from this point. Obviously details of this cannot be provided until further inspections of the wall are made but it is anticipated that these details can be covered by a condition.

Given the roof form of the rear range, the head height is limited and therefore it is proposed to form a small first floor lean-to with rendered walls and clay plain tiles re-used from the main and opposite lean-to roofs. This extension would mirror the form and materials of the roof above the stair on the eastern side of the range.

- 5.3 Removal of existing ceiling to northern section of range and installation of new floor to accommodate master bed at first floor level

In order to allow for the accommodation at first floor level, it is proposed to remove the existing flat ceiling within the northern section of the range. The ceiling level will be dropped to 2.3m. Where there are existing sash windows on the west elevation, the floor will be cut back and a mezzanine formed to avoid a clash (see proposed section c-c).

- 5.4 Removal of spiral stair, extension of existing first floor level to accommodate 2 no. beds and 1 no. family bath and installation of new stair

It is proposed to remove the existing spiral staircase, bedroom and en-suite currently at first floor level within the southern end of the range. The stair opening/mezzanine will be infilled to the gable end and the existing floor will also be extended in the opposite direction, over the entire length of the southern end of the range. Where the proposed floor meets the sash window and external door, the floor will be cut short and a bulk head formed, all as indicated on proposed section b-b.

New internal partitions will be installed to form 2 no. bedrooms and 1 no. bathroom. A new staircase is proposed to connect the new ground floor living space to the bedrooms above.

- 5.5 Installation of 5 no. conservation rooflights

The heritage comment from the previously withdrawn planning and lbc applications noted '*The rooflights, however, would be visible from the street in angled views and they would negatively impact on the setting of the 'Barn at Bridge House Cottages' and on the character and appearance of the conservation area. To minimise their impact, the rooflights should be moved to the south west pitch.*'

As a consequence, all rooflights have now been moved to the southwest pitch, providing daylight and ventilation to 2 no. bedrooms, the family bathroom and the children's mezzanine play area.

- 5.6 Installation of 3 no. window openings to western elevation, replacement of glazed gable end and re-opening of 1 no. window on eastern elevation of southern section of range

The heritage comment from the previously withdrawn planning and lbc applications noted '*The proposed new openings would cause extensive loss of historic fabric and the domestic design of the proposed windows and doors would be incongruous with the utilitarian nature of this part of the building. In addition, the number of proposed openings and their location would compromise the legibility of this part of the range.*'

Concerns were also raised over the threat to privacy of the neighbouring property, Beech House.

The pre-application proposed a reduced amount of openings, with 2 no. sash windows proposed at ground floor level. The comments were as follows:

Pre - App '*the proposed fenestration includes...two sash windows on the west elevation and two new semi-circular windows on the east elevation...whilst their dimensions are acceptable, the design of the proposed windows on the south part of the rear range should be amended, as their domestic character would be at odds with the former stables building and would compromise legibility. A simple utilitarian design in timber or metal, to match the windows on the east elevation might be more appropriate for this location.*'

As a result of this feedback the number of window openings has been significantly reduced from the previous planning application. The 2 no. ground floor window openings on the west elevation of the southern range have been kept to the acceptable size as shown on the pre-app, but the style changed to 2 no. plain side hung casement windows, reflecting the style of the glazing on the eastern elevation. The sole first floor window is small with again, a simple side hung casement arrangement.

The existing glazed gable is in a poor state of repair. It is proposed to replace this with a simple set of french doors at ground floor level and glazing the full width of the existing opening at first floor level.

On the eastern elevation there is evidence of previous windows openings. It is proposed to re-open one of these, using the exiting lintel, and installing a casement window to match with those adjacent.

All windows would be timber with white paint finish to match.

- 5.7 Installation of internal partitions to form kitchen, utility/WC at ground floor level

Where the first floor is extended to the north, the floor to ceiling height at ground floor level will be limited to just over 2m. This is an ideal location for a staircase and ancillary accommodation. Timber framed partitions are proposed to form a new utility room/WC and entrance hall. The re-opening of the window on the eastern elevation will create a light space, helping to off-set the lower ceiling level.

- 5.8 Installation of new log burner and brickwork chimney to western elevation of southern section of range

It is proposed to remove the temporary partitions and re-instate the space to form a new living room within the southern end of the existing range. The applicant wishes to install a new stove which will require the installation of a new flue. To ensure that this is in keeping with the property a new brickwork chimney is proposed to accommodate this, detailing to be as per the existing chimney on the rear of the range.

- 5.9 Refurbishment of timber framed single storey structure to rear

The ground floor bathroom will be retained as its current use but, as noted in the description, there are several defects within the existing structure, primarily down to the ingress of water and lack of ventilation.

It is proposed to remove the external concrete surrounding the structure to be able to assess the structure beneath ground level. It is difficult to provide a full scope of remedial works required at this point. However, the applicant wishes to replace, like-for-like any rotten floor/wall timbers and repair timbers where deemed appropriate. New breathable insulation will be installed between and on the external face of the wall studs (such as wood fibre boards) followed by the re-installation of black horizontal weather-boarding (either re-used if in suitable condition or new to match). Breathable insulation will also be installed between the floor joists prior to the installation of a vapour permeable membrane and floorboards over. Vents within the lower level of the wall will ensure continuous ventilation beneath floor level to mitigate any further damp issues.

Externally, where concrete has been removed, new permeable paving will be installed with falls away from the building to ensure surface water is not penetrating the fabric.

At roof level it is proposed to strip off both the existing tiles and slates and set aside. A new breathable insulation system will be installed, and slates/tiles re-instated as existing.



#### 5.10 Refurbishment of 9 no. sash windows to front north elevation

The sash windows facing the old A120 are in need of refurbishment. It is proposed to remove each window and assess the extent of repair required. Repairs will be undertaken with resin/filler unless timber sections are beyond repair and in which case sections of the window will be replaced with beading/details to match existing. Further details can be provided on the extent of repair works on commencement of removal and it would be anticipated that this could be covered by condition.

#### 5.11 Replace front door with flood proof door

It is proposed to remove the existing timber front door and replace with a flood resilient door due to the threat of flooding within the immediate vicinity.

#### 5.12 Re-point, repair or replace where necessary existing brickwork to property

All brickwork is to be assessed and where necessary re-pointed, repaired or replaced.

Re-pointing:

Any cement-based mortar is to be removed along with any other defective pointing. Joints are to be carefully raked out as set out in the following guidance by Historic England:

'...manually using hooked tools or masonry chisels to a depth of at least twice the height of the joint....Whatever method is used, it is important that mortar is removed from the top and bottom of the joints leaving a square-cut joint. Dust and debris must be removed from the joints using brushes or even a vacuum cleaner and thoroughly rinsed with water so that no loose dry material is left. The masonry must be thoroughly dampened with a hosepipe with a spray nozzle or a pump-action water sprayer, before placing the mortar.'

The use of power tools is prohibited unless there is the presence of very hard cement mortar and in which case 'it may be necessary to use a thin diamond-disc cutter to very carefully make an initial breach along the centre of wide joints, so that the loose mortar can then be removed with a hammer and sharp chisel.'

Once joints are prepared they are to be re-pointed with lime mortar (exact mix to be agreed with conservation officer). During the works all re-pointing is to be protected from the elements to avoid rapid drying or damage. following an assessment of the condition of the masonry.'

This can be done by using multiple layers of hessian with an additional waterproof layer over this if there are extreme conditions such as driving rain. Regular mist spraying may also be necessary to avoid the mortar drying out too quickly. Protection is to be retained for at least a week following completion of the works but the length of time is dependent upon weather conditions and mortar specification.

Ensuring joints are wetted prior to starting, mortar should be pushed into the joints using a pointing iron. Joints are to be fully filled from the back in 25mm layers to avoid voids. They are to be filled just proud of the intended finish to allow for shrinkage. Any mortar on the brickwork is to be sponged off.

The following guidance should be followed with regards finishing the joints:

'The mortar is ready for finishing when it is still damp but has a semi-hard leathery consistency so that it can be marked with a thumbnail, but a thumb pressed in to the surface leaves barely any impression. For joints that not specially treated a flush finish is usually suitable. Where edges of the masonry are decayed the mortar may be set back to be within the original joints width so as to avoid visually widening the joint. However, this may provide less protection to the stonework so should only be done

Repair/replacement brickwork:

Any works are to be undertaken with hand tools only. Repairs and replacements are to match with existing and replacements should only be undertaken where absolutely necessary.

## 6.0 IMPACT OF PROPOSALS ON THE SIGNIFICANCE

#### 6.1 Raising the ridge and eaves line of rear range

The most recent pre-app explored the option of raising the ridge level by approximately 400mm and bringing the eaves level of the northern section of the range into line with the southern, lessening the pitch of the roof. The following comments were received from the conservation officer:

*'...whilst the previously proposed 150mm ridge height increase had been deemed acceptable in principle, a height increase of 400mm would compromise the subservient relationship of this outbuilding to the older part of the building. Secondly the change would lead to the loss of variety of height and roof forms that currently contributes to the significance of the Listed Building. Thirdly, the proposed alterations would cause the loss of distinction between the two parts of the building that historically had different functions. Finally, the steeply sloping red clay tiled roof is a feature that is predominant in the village and its loss should be avoided.'*

Noting the comments above, as can be seen on the proposed drawings, the range would still be significantly lower than the principle dwellinghouse (approximately 2.7m), retaining its subservient nature. Even with the height change, the historic character of the rear range is retained and it is still clear that it is ancillary accommodation.

The historical development of the The Angel is evident with the many additions and alterations that have been made over the years. This is not a static building, having been altered to suit the needs of the occupants as and when required. The proposal to raise the roof of the range does not erase any historical alterations that demonstrate the evolution of this building. It does however, add a new layer of history, adjusting a building once used as a pub to suit domestic homeowners.

The applicant has been through a long planning process to date and is seeking to find a solution that balances the needs of their family whilst maintaining the very character that attracted them to The Angel in the first place. Where they have been able to alter the proposals to meet the conservation officers observations they have done so. This is the case with the roof forms, which it is proposed to maintain thereby retaining the variety of height and form and maintaining the distinction between the two parts.

The final point on the pre-app comments relates to the loss of the historic fabric on the main dwelling. The triangular shape drawn on the proposed diagram in section 5.1 indicates the likely extent of tiling lost (allowing for the installation of traditional lead valleys). This would equate to approximately 0.5m<sup>2</sup> which would be about 0.5% of the entire roof covering. The timber frame to the roof structure would remain intact. It is proposed that the displaced tiles would be re-purposed on the new mono-pitched roof.

The roof will appear much as it did before with all the variety of form and mix of roofing materials. All the historic fabric of the building displaced as a result of the works will be retained on site and re-purposed. The proposed works will ensure a sustainable future for the building, reducing energy demand whilst providing a comfortable internal environment.

The Heritage Impact Statement notes the following:

*'The kitchen wing addition and long rear range are considered to be of medium significance due to their connection with the working inn and their age.'*

In conclusion, raising the roof of the rear range will not impact on the historical connection of the structure with the working inn, nor on its age as all historical fabric will be retained. The roof structure itself was replaced in 1995 so it's replacement will have no impact on its significance. The rear range can be viewed from the conservation area, albeit at an angle. The raising of the eastern wall, whilst maintaining all existing features and roof forms, will have a negligible impact on the wider conservation area.



6.2 Forming opening between range and dwellinghouse and constructing associated extension with mono-pitched roof

As noted above, The Angel is a building that has been continuously adapted to suit the needs of its occupants. The proposed opening would be in the location of an existing aperture of some description. The proposed first floor extension has been purposefully designed to mirror the mono-pitched roof form on the opposite side of the range. These adaptations would result in (potentially) a small loss of historic fabric (depending on what is found on opening up). The extension is small and subservient, sitting beneath the existing eaves line of the dwelling and not disrupting the roof over the ground floor bathroom. Its form is very much in keeping with the nature of the building. The historical development of the building will still be very evident and the extension will result in no loss of fabric due to it being in the location of the re-roofing works. Therefore, the impact on listed building and the wider conservation area will be minimal.

6.3 Removal of existing ceiling to northern section of range and installation of new floor to accommodate master bed at first floor level

As noted, the roof over the range and the subsequent ceiling are modern interventions. The proposed lower ceiling will be cut back from the existing sash windows and door. Therefore these works will have no impact on the significance of the listed building.

6.4 Removal of spiral stair, extension of existing first floor level to accommodate 2 no. beds and 1 no. family bath and installation of new stair

The Heritage Impact Statement notes: *'Internal fixtures in the long rear range, the door and glazing to the south elevations and the door in the east facing wall, floorboarding at first and second levels are of no historic or architectural significance nor is the single storey extension to the rear of the kitchen wing.'*

Permission was sought for similar internal alterations in 2016 and were found to be acceptable by the conservation officer. The pre-app advice also noted that *'The proposed internal alterations to the first floor of the one-and-a-half-storey part of the rear range are acceptable in principle.'*

6.5 Installation of 5 no. conservation rooflights

Rooflights are proposed to the western roof slope. These rooflights are necessary for the provision of daylight and ventilation within the proposed internal accommodation.

The roof was replaced in its entirety in 1995. The proposal seek permission to install a new roof and therefore there will be no removal of historic fabric and therefore no impact on the heritage asset.

The rooflights have been moved to solely the western facing roof slope over concerns of the impact they would have on the wider conservation area. Given that the rooflights could no longer be viewed from the conservation area there is now no negative impact on the character of the conservation area.

6.6 Installation of 3 no. window openings to western elevation, replacement of glazed gable end and re-opening of 1 no. window on eastern elevation of southern section of range

With reference to the previous planning application, the number of doors and windows has been significantly reduced and as a result so has the loss of historic fabric, including the avoidance of removing any anchor points. Care has been taken to follow the guidance received from the conservation officer on both the withdrawn planning application and the pre-app submission. The window openings are now appropriate in terms of scale, design and number whilst also allowing the building to have a sustainable long-term use, creating a pleasant internal environment and meeting the requirements of Part B. The proposed alterations will cause less than significant harm to the heritage asset.

Whilst none of the proposed windows can be viewed from the conservation area, they are still appropriate to the building. The proposed windows would have no impact on the character of the conservation area.

6.7 Installation of internal partitions to form kitchen, utility/WC at ground floor level

There is no historic fabric in the location of the proposed ground floor internal alterations and the existing internal fixtures and fittings are also of no particular significance. The division of this space will have no impact on the significance of the heritage asset.

6.8 Installation of new log burner and brickwork chimney to western elevation of southern section of range

The insertion of a new chimney stack will result in the removal of a small amount of roof structure. As noted above, it is proposed to replace the roof structure and therefore there will be no impact on the heritage asset in this context.

There are a number of chimneys at the property. The addition of one more within the range will have a minimal impact on the significance of the heritage asset.

The location of the proposed chimney would mean it cannot be viewed from the conservation area. The chimney will be brick built, matching in with the chimney on the other side and therefore, even if seen, will blend in with the surrounding vernacular. In conclusion the addition of a chimney on the west facing roof slope will have no impact on the significance of the conservation area.

Previous applications note that this can be supported.

6.9 Refurbishment of timber framed single storey structure to rear

The existing structure is in a poor state of repair. The applicant seeks permission to address the issues with damp/rot and ensure the longevity of the structure. The repairs would be carried out under conservation principles and its appearance would be retained as existing, albeit with the positive alteration of the removal of the concrete surround. Its re-building to the current form and matching materials would mean the loss of some original fabric but this would be offset by ensuring the longevity of the structure and therefore the works would cause less than substantial harm to the heritage asset.

Again, being at the rear of the dwelling not in view from either private or public domains; being re-built in matching materials; and retaining its current form, the proposed works would have no impact on the character of the conservation area.

6.10 Refurbishment of 9 no. sash windows to front north elevation

The proposed refurbishment of the windows would ensure their longevity and improve the appearance of the dwelling within the conservation area. This proposal would be of heritage gain both to the asset and the further conservation area.

6.11 Replace front door with flood proof door

The applicant wishes to replace the front door with a flood resilient door in order to protect the heritage asset. The design of the front door will be appropriate to the property and therefore its replacement will have a positive impact on both the conservation area and the heritage asset.

6.12 Re-point, repair or replace where necessary existing brickwork to property

The proposed re-pointing/repair/replacement (only where necessary) of the brickwork would ensure the longevity of the heritage asset and improve the appearance of the dwelling within the conservation area. This proposal would be of heritage gain both to the asset and the further conservation area.

