

Works to 14-15 Spencer Square Heritage Assessment

Date	09.12.2023
Title	Heritage Statement Ref# 558-DA-001
Status	Submitted for Listed Building Consent
By	IdR del Renzio & del Renzio Ltd
Site	14-14 Spencer Square, Ramsgate, Kent CT11 9LA.
Rev	A – 20.03.2024

Introduction

This Design and Access / Heritage Statement is written in support for minor internal works to improve living conditions and amenity of the applicant with additional shower and WC space. Minor external alterations to the rear comprise insertion of two pairs of French doors within existing but enlarged window openings. Previous consents established the principle of creation of a basement annexe and bathroom extension. A structural engineers inspection has shown that the existing extension is unsuitable for extension and so alternative plans have been completed.

The starting point for this application is the statutory listing of the building, which reads:

RAMSGATE SPENCER SQUARE TR 3764 NE (east side) 12/378 Nos. 14 to 29 inclusive with railed areas 13.8.68 GV II Terrace row. 1830's. Stock brick in part painted, with slate roofs. Three storeys and basement nos 23 and 25 with rusticated bases, with string course and parapet and stacks ranged from left to right. Each house unit with 2 windows on each floor, except nos. 14 which has a single window bay, and shares entry with no 15 (end right), 31 bays in all. Glazing bar sashes on second floor, replaced with cross windows (no 18) and sashes (no 19, 20, 21), full height glazing bar sashes on first floor, in part replaced with French doors and large casements. Tented verandah along first floor, on slender piers, with louvred valancing and consistently patterned geometric rails; variety of iron brackets, no 29 with verandah glazed-in. Bow windows on ground floor, with glazing bar sashes, most with Ionic pilasters. Doors to left of bows, of 7 moulded raised and fielded panels with semi circular fanlight with gauged surround, with flight of 5 steps nos 14 and 15 share a common door. Glazing bar sashes and half-glazed doors to basement. Fleur-de-lys rails to steps and basement. Part of James Townley's redevelopment of Napoleonic barracks area (See Busson, Ramsgate,)

Listing NGR: TR3798764517

Nos 14-15 is rather odd in that the terrace was developed sequentially with each unit completed after the last, it is believed that this corner unit was discovered to be too narrow for 2 units and so was converted to a double fronted property, a bricked up front door is evident. The building features a great amount of extant historic fabric including skirting boards, lathe and plaster ceiling and joinery such as doors and skirtings and architraves. A 1980's extension is evident to the rear as is a poor quality WC extension that is being retained.

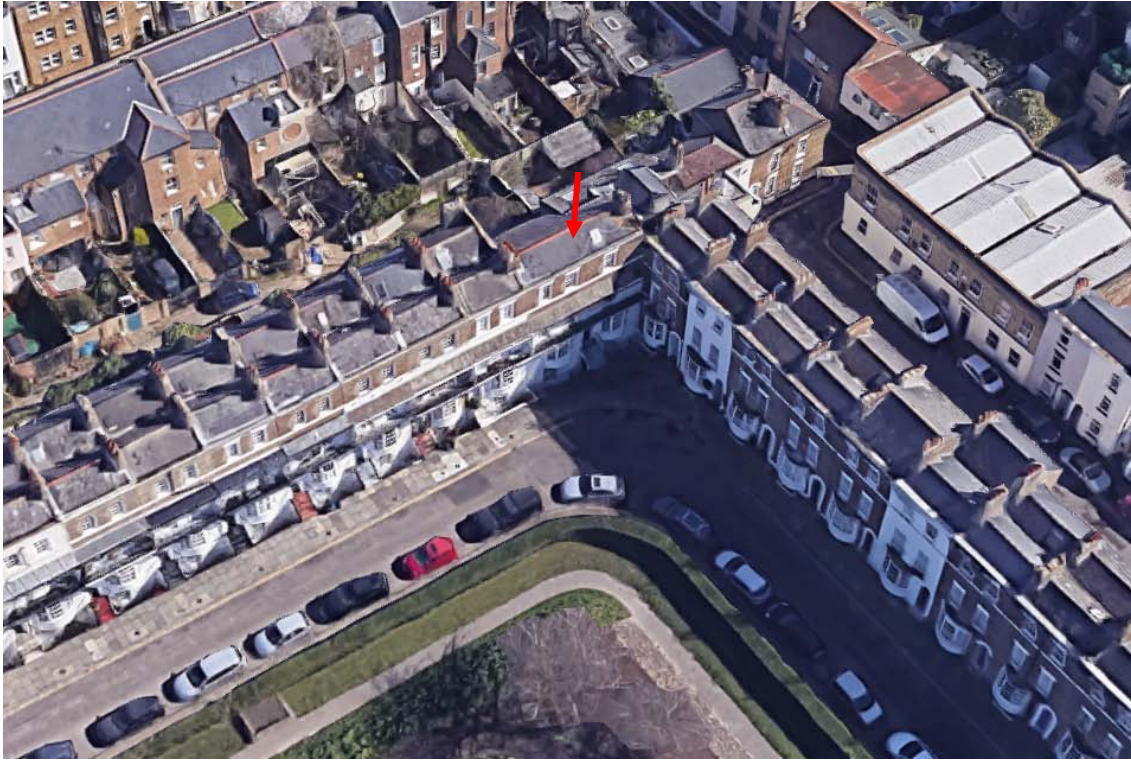


Figure 1 Existing dwelling 3d View (C) Google.



Figure 2 existing rear WC that will be retained as unsuitable for extension.



Figure 3 Existing basement area showing joinery and lathe and plaster



Figure 4 Existing basement front room. Note extant cupboards and floor boards.



Figure 5 Existing 1980's extension.



Figure 6 Basement staircase not spindles and hand rail/newel are recent. It is proposed to partition this off to create the annexe.

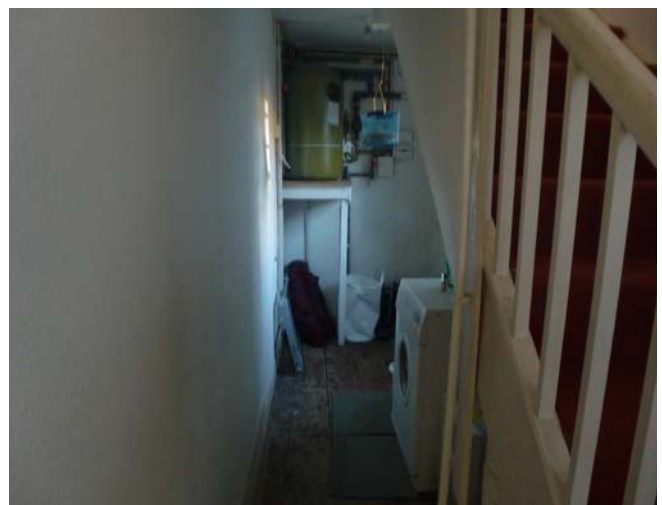


Figure 7 Existing basement area to receive new shower room.

Planning History

The current planning history consists of 1 application consisting of a listed building consent and householder planning application.

L/TH/22/0060– Application for Listed Building Consent for the erection of single storey basement extension and first floor extension with roof terrace and associated staircase to rear elevation with small brick build up on existing wall for privacy, including the alteration to the rear roof plane and addition of rear dormer. Together with the replacement of ground floor window to rear elevation, addition of window to second floor side elevation, and internal alterations. - Approved

F/TH/22/0059 - Erection of single storey basement extension and first floor extension with roof terrace and associated staircase to rear elevation with small brick build up on existing wall for privacy, including the alteration to the rear roof plane and addition of rear dormer window together with the replacement of ground floor window to rear elevation and addition of window to second floor side elevation. – Approved

Proposal

The proposal seeks consent for the following improvements and alterations:

- Lime plaster repairs to basement walls and ceiling and limewash to walls and ceiling.
- Creation of shower room to basement using removable partitions. Insulated plaster board to the 1940's extension.
- Timber partition with plasterboard and new door to staircase area to create annexe entrance. Joinery including skirting would match existing. This is removable.
- Creation of shower room to first floor using removable timber partitions with plasterboard.
- Creation of WC room to second floor using removable timber partitions with plasterboard.
- Insertion of a pair of traditional timber framed French doors set within existing window openings upon the existing rear elevation at both ground and first floor levels. Existing openings are proposed to be enlarged vertically to become door openings to achieve a door height approximately 2.1m. The design of these French doors differs from details approved under application L/TH/22/0060 and are more sympathetic to the age of the property.

Planning Policies & Guidance

This application has been informed by the current Local Plan to 2031. Furthermore, regard must be had for national planning policy which is found within the National Planning Policy Framework (NPPF).

The policies which are considered to be particularly relevant to this application have been summarised below:

Thanet Local Plan (2021):

- HE03 - Heritage Assets – retention of local heritage assets.
- QD03 - Living Conditions – should be compatible and not detrimental to neighbouring buildings.
- Policy HE1 - Listed Buildings of special architectural or historic interest - proposals should not detract from the character of the building nor from its settings. Favour in preservation of listed buildings.

National Planning Policy Framework 2021

It is considered that the development plan is largely consistent with National Planning Policy Framework (NPPF).

The NPPF, at paragraph 12, provides 16 core principles which should underpin decision making. These principles seek to:

- developments should add to the overall quality of the area, are visually attractive, sympathetic to local character and history including landscape setting (para 127).
- great weight should be given to ... designs which help raise the standard of design more generally in an area (para 134).
- the LPA should consider the impact of a proposal on a heritage asset to avoid or minimise any conflict between the heritage assets conservation and any aspect of the proposal (para 190)

The Applicant's Case

The works to the basement and internal works will have a minimal impact to the listed property and are largely reversible.

Impact on Neighbours

The works are limited and will not impact neighbour amenity.

Conclusions

The proposed development has been carefully considered in relation to local and national planning policy, sustainability and opportunities available to contribute to the area. Having considered all the relevant development plan policies, the NPPF and all other material considerations, it is the opinion of the applicant that the development accords with both local and national planning policy and would cause no harm in any material respect. It is therefore respectfully requested that planning permission be granted.

The applicant is keen to work with the Local Planning Authority throughout the application process, in accordance with the principles of the NPPF. Should the Local Planning Authority consider that the scheme is unacceptable, the applicant would be grateful for an early opportunity to work proactively with the authority to find solutions which overcome the concerns raised. Equally, should the scheme be found to be acceptable, the applicant would be grateful to receive a copy of the proposed conditions, in particular those which require the submission of additional information, prior to the determination of the application. This will enable an opportunity to respond to the wording of any conditions and, if possible, submit additional information to avoid the need for any pre-commencement conditions altogether.