

DO NOT SCALE FROM DRAWINGS EXCEPT FOR PLANNING PURPOSES.

Check and verify all dimensions on working drawings before commencing work on site. All measurements are to structural elements unless otherwise stated.

Report all discrepancies, errors or omissions between drawings, site conditions and all other documents to Stephen Langer Associates Ltd.

Please read this drawing in conjunction with all other architects', consultants' and subcontractors' drawings.

Materials, components & workmanship are to meet or exceed the requirements of current Building Regulations, British Standards codes of practice, and the appropriate manufacturer's recommendations.

Sanitaryware is indicative only. Drainage is indicative and final design by contractor. Final electric design by contractor and to be installed by NICEIC registered contractor. Plumbing and heating final design by contractor and should only be installed by a registered contractor. Gas connections to be installed by a Gas Safe engineer and any stoves, fires and Agas etc by a HEATAS registered body. All above to be reviewed by Stephen Langer Associates Ltd (not approved) prior to installation.

Listed Buildings may need underpinning and this will require Listed Building Consent.

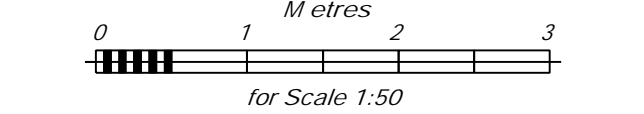
Please ensure drawings are printed to correct scale (check against scale bar on drawing) - Stephen Langer Associates Ltd are not responsible for printing errors.

This drawing is issued on condition that it is not copied, reprinted or disclosed to a third party without the prior written consent of Stephen Langer Associates Ltd.

No work to commence until all planning or listed building conditions have been approved. All work to be carried out in accordance with the approved drawings / planning and listed building consent.

Clients, Designers and Contractors must be aware of their duties under the Construction (Design and Management) Regulations 2015 (came into force on the 6th April 2015).

This drawing and design are copyright.
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I	Omitted Porch	13/07/2023
H	Added Entrance Porch	30/05/2023
G	Client updates	15/05/2023
F	Added Client updates	19/04/2023
E	Added Client updates incl. mezzanine floor	16/03/2023
D	Update following building control plan check	28/07/2022
C	Working drawing issue	06/05/2022
B	Planning condition B/Reg issue	11/04/2022
A	Building control issue	17/03/2022

Rev.	Description	Date
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STEPHEN LANGER ARCHITECTS
RIBA CHARTERED PRACTICE

YORK COTTAGE, MAJOR YORKS ROAD, ROYAL TUNBRIDGE WELLS, KENT. TN2 5TP

Template version: 2.00 - 05.07.2018

Project :
Ethnam,
Ethnam Lane, Sandhurst
TN18 5PS

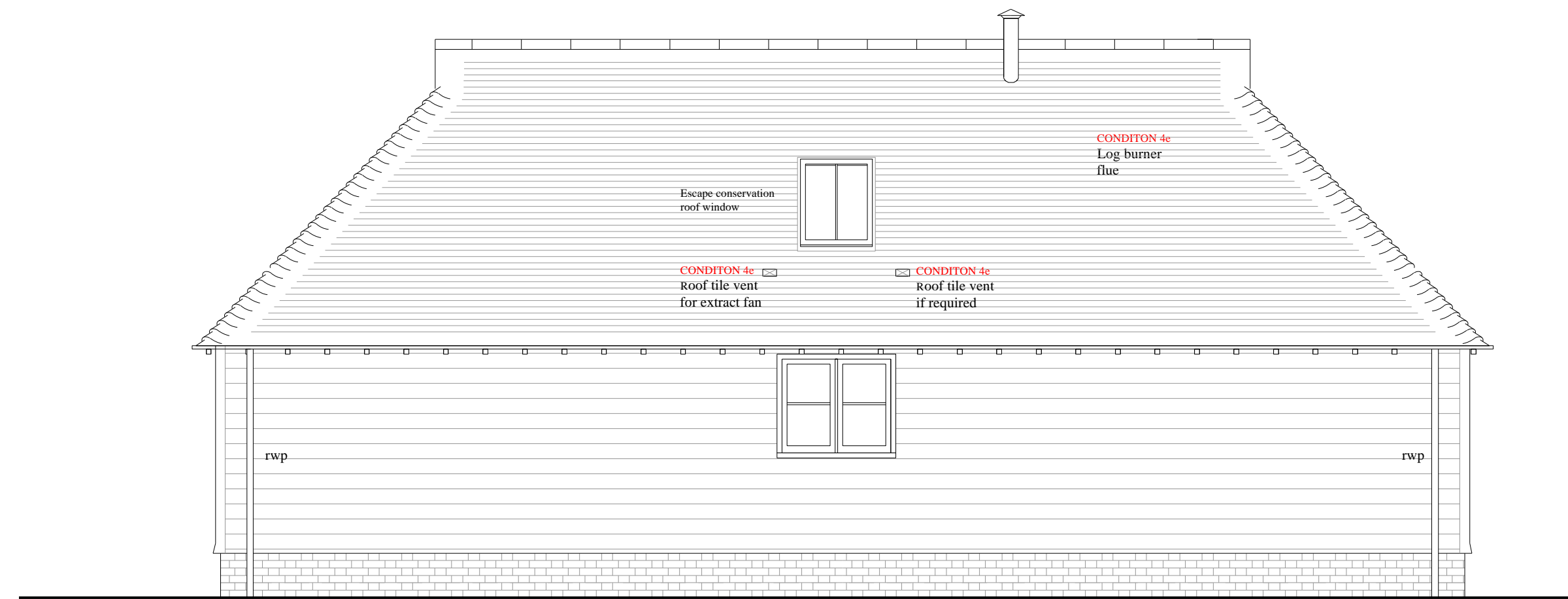
Drawing Description :
Plans and Elevations (Outbuilding)

Date : May 2023
Scale : 1:50 @ A1

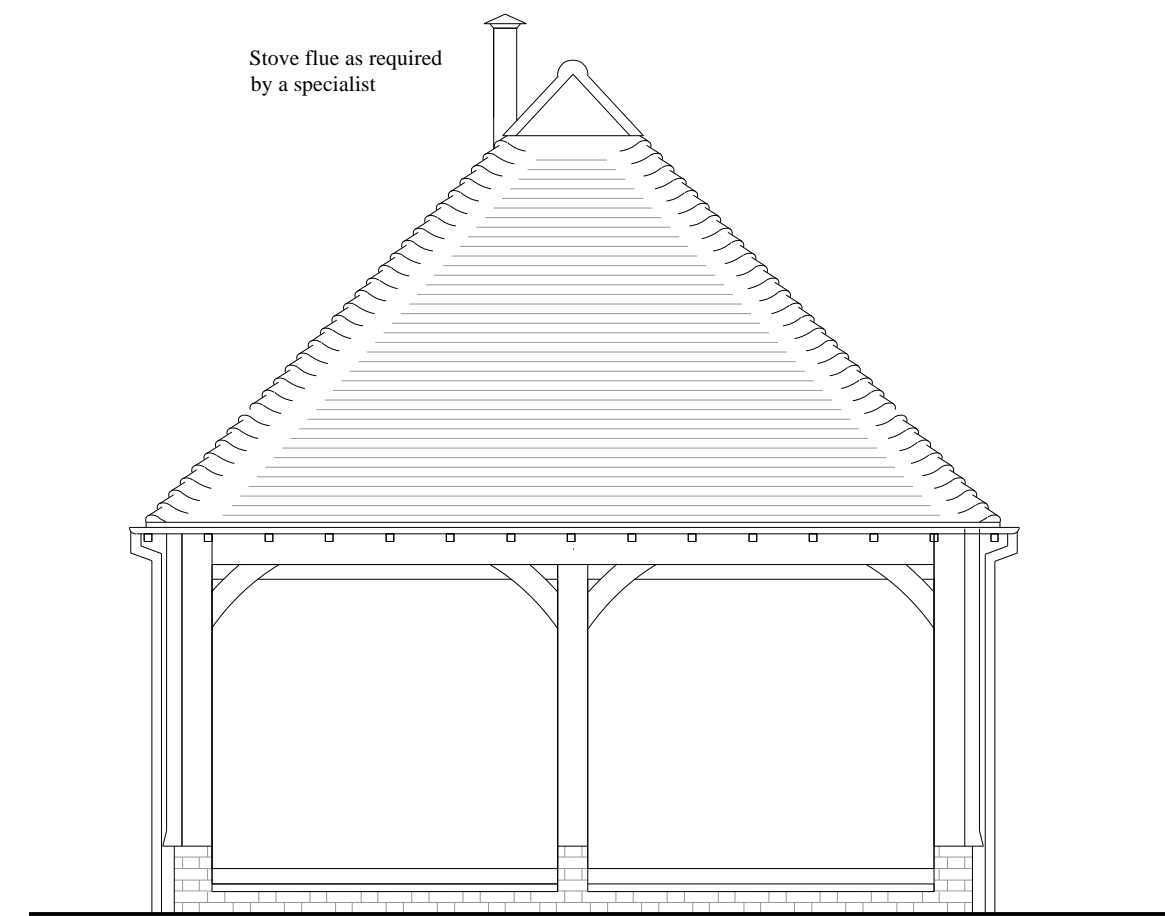
Drawing Number :
21048-WK-10

Drawn by :
PJL

Rev.
I



West Elevation



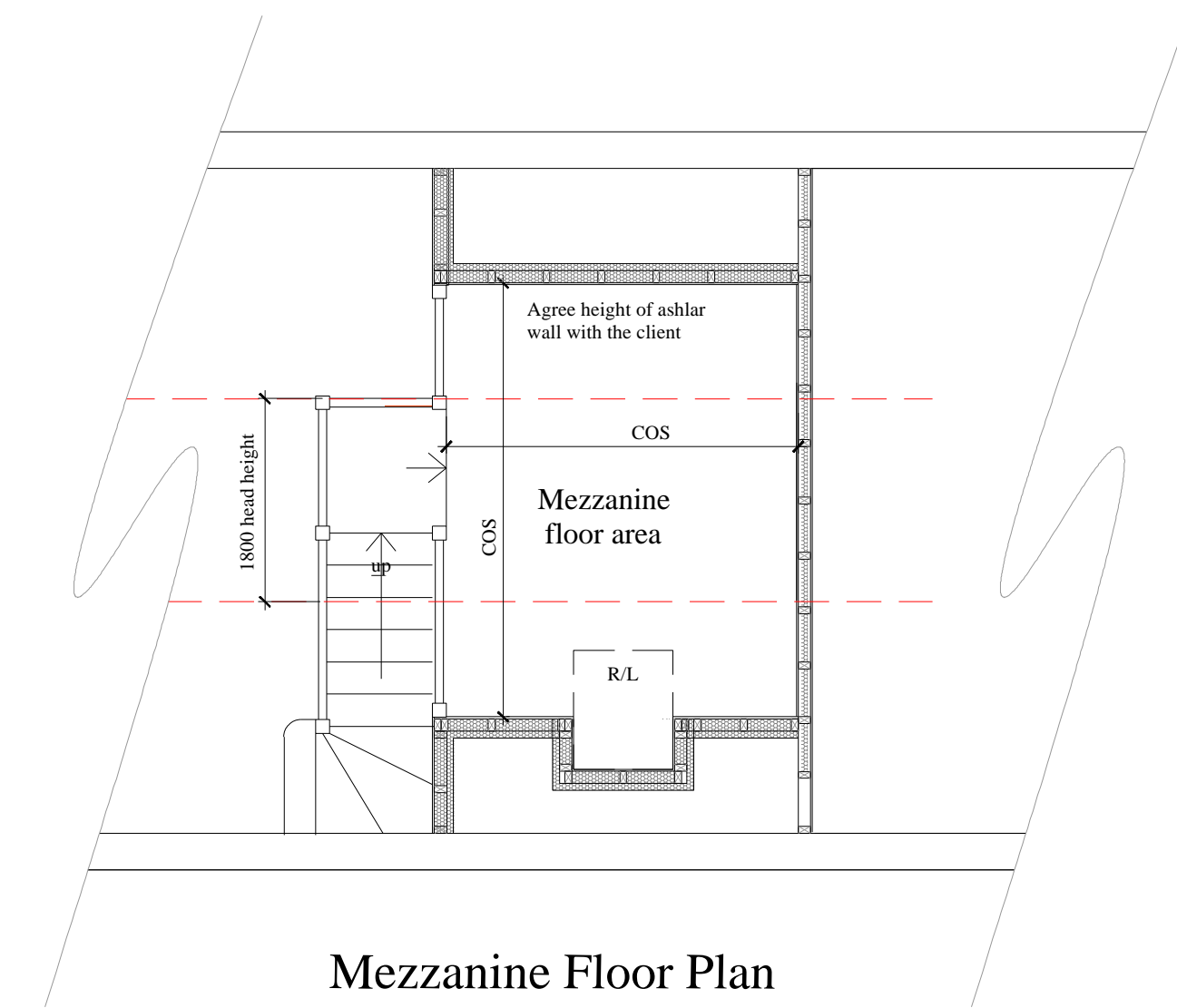
South Elevation



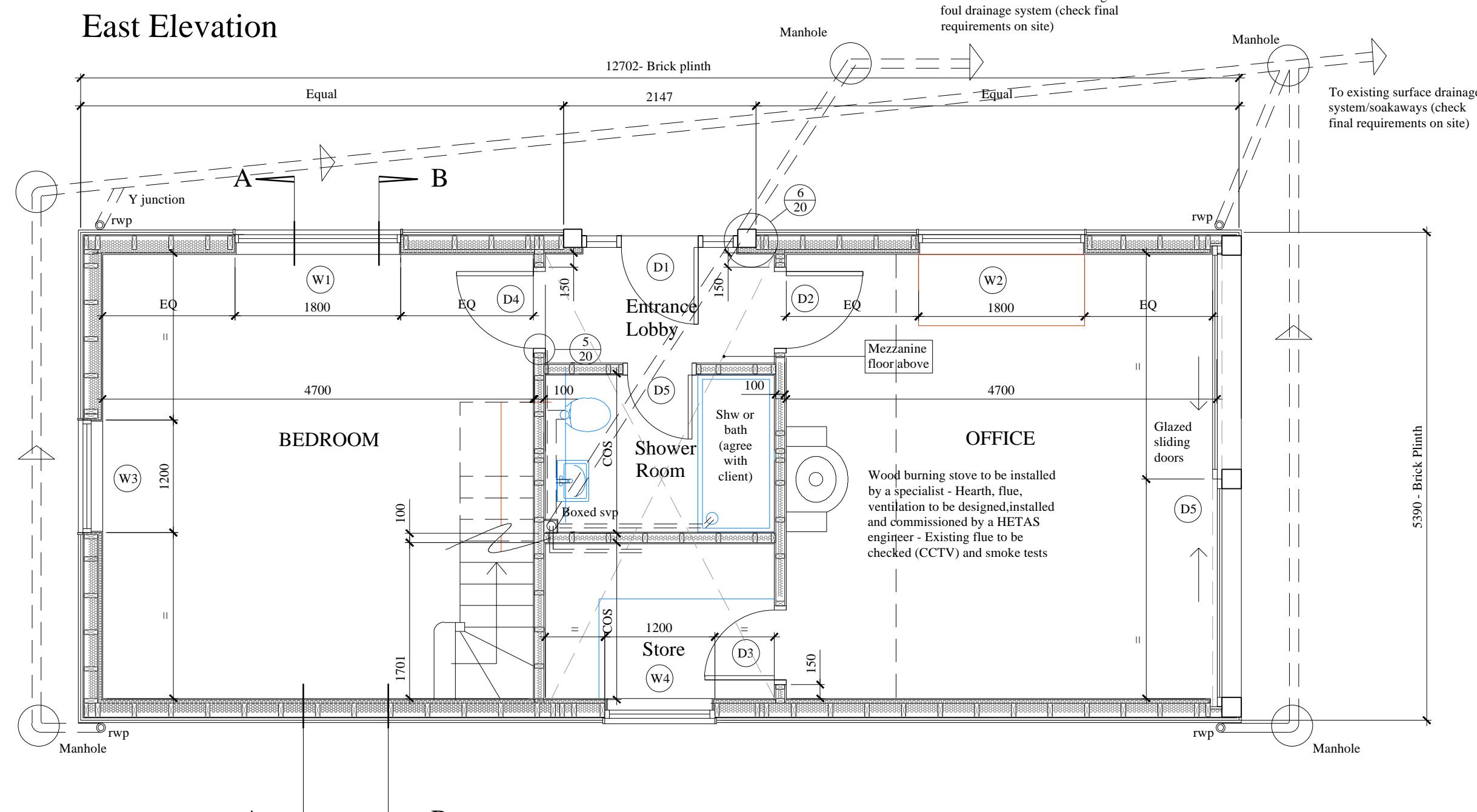
East Elevation



North Elevation



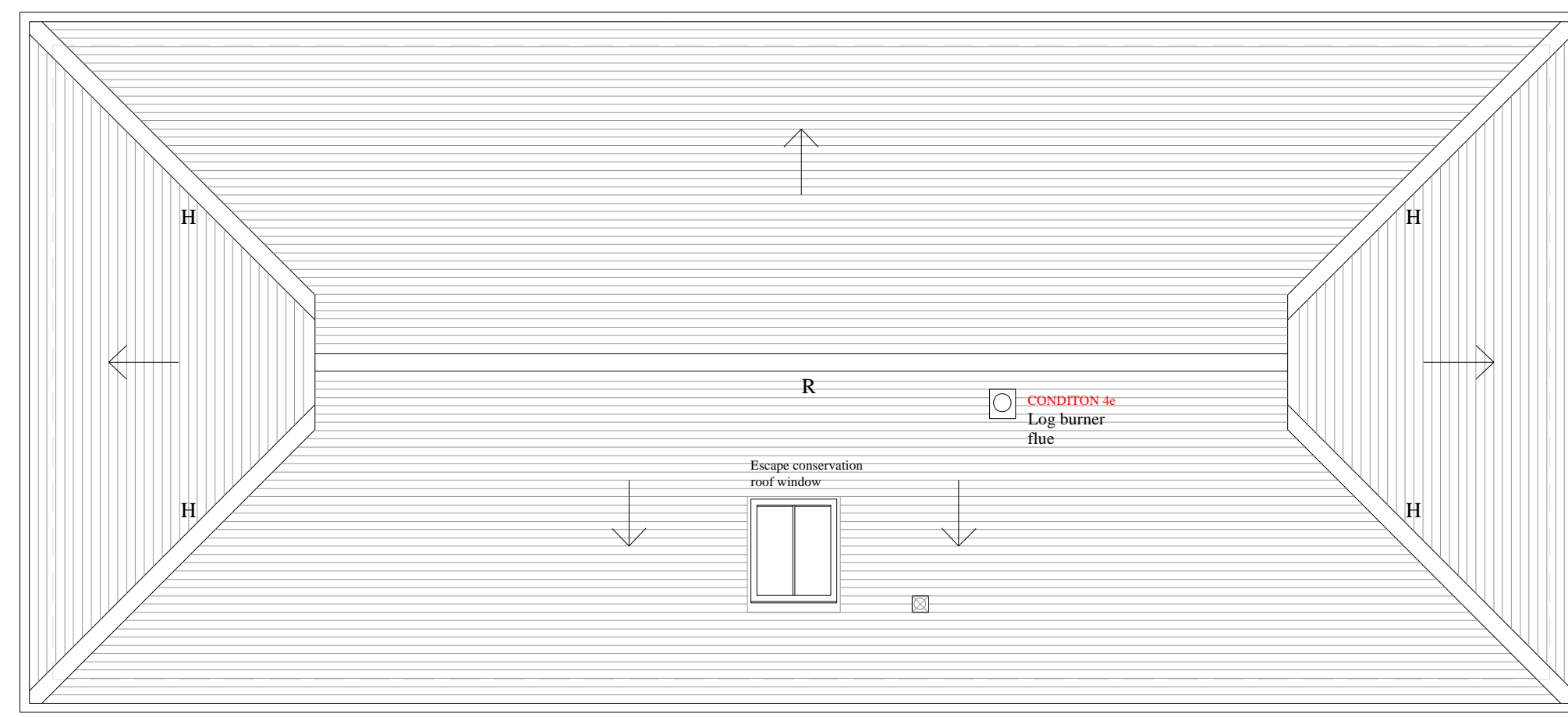
Mezzanine Floor Plan



Plan

HEALTH AND SAFETY NOTES:
Contractor should secure the site at all times and provide and display warnings signs around the site and at the entrance. Beware access for deliveries & plant etc...
Contractor to provide a risk assessment & methodology statement of how they propose to demolish parts of the building (as required) in a safe manner. Contractor to provide personal protective equipment to workers involved with demolition and any person within the vicinity of the works. Recycle materials where possible. Use approved disposal sites.
Contractor to provide shunting and fencing around temporary works.
Contractor to provide an asbestos survey prior to commencement of work. If asbestos is found during the works, contractor to stop work immediately. Then appoint a specialist licensed contractor to remove the asbestos or dangerous materials in a safe and secure manner. Contractor to make sure everyone on site is aware of the dangers and risks associated with asbestos. If you suspect you have disturbed or uncovered asbestos you should seek specialist advice.
Contractor to provide methodology statement and risk assessment on working from height and using scaffolding. Fix ladders to scaffolding securely. Hard standing around existing building and site to be used. Contractor to provide vertical and horizontal railings around top of scaffolding to a minimum height of 1100mm above the finish floor level to prevent falling. Contractor to use a hoist or other lifting device to raise and lower materials and equipment to the work area.
Contractor to make sure ladders are in a good condition, at the correct angle. Contractor to prevent people and materials falling from roofs, gable ends, working platforms and other open edges using guardrails, mid-rails and toe-boards. Contractor to provide personal protective equipment and fall prevention / restraint equipment when workers and visitors are at height.
Contractor to provide temporary protection around any excavation. Structural Engineer to advise. Store no material giving noxious fumes. Excavation/retaining by Engineers direction.

A DRAINAGE SURVEY IS REQUIRED PRIOR TO ANY WORKS COMMENCING



Roof Plan

Key:
→ Slope down from ridge to eaves
H Hip
R Ridge
CONDITION 4c
All soil venting pipes and extract ducts to be vented through eaves vents, air admittance valves and/or roof tile vents