



Design and Access Statement regarding the proposed work at Ethnam

March 2024
Project No: 21048
Tunbridge Wells Borough Council



Ethnam
Ethnam Lane
Sandhurst
TN18 5PS

STEPHEN LANGER ASSOCIATES Ltd.
RIBA Chartered Practice

York Cottage, Major Yorks Road, Royal Tunbridge Wells, Kent. TN2 5TP



1. *Application Details*

Site Address: Ethnam
Ethnam Lane
Sandhurst
TN18 5PS

Prepared by: Will Langer MRICS
Chartered Surveyor
[REDACTED]

Project Reference: 21048

Revision



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2. Description

Amendments to permission *23/01612/FULL*. Alternative plans for outbuilding to now include basement

3. Existing Dwelling

3.1. Location & Site

Ethnam is a detached Grade II listed residential dwelling located approximately approx.. 4 miles East of the Village of Hawkhurst. The site is accessed via a timber gate off of the private Ethnam Lane. The main house is set back from the road with an expansive lawn in front. The site comprises several outbuildings as well as a swimming pool and several ponds.

The maturity of the vegetation and trees which bound the site offer the main house a good level of privacy.

Ethnam is located within the High Weald AONB but is outside any conservation areas according to the Tunbridge Wells Borough Council online mapping tool. Its siting can be seen in Figure 1



Figure 1– Ethnam (Google Maps)

3.2. Existing Drawings and Survey Information

For accuracy, a topographical survey consisting of a detailed measured site plan has been produced. Existing survey drawings have also been included that should be considered alongside the proposals.

3.3. Description of Existing Dwelling

Ethnam is a Grade II listed residential dwelling set over 3 floors as well as an existing cellar to the Southern end of the property.

According to the listing the original property dates back to the 16th Century, with later additions throughout the 19th and 20th Centuries. There are exposed timber beams and posts throughout the property within the later portions including large inglenook fireplaces typical of such a building.



The house externally comprises exposed brickwork at ground floor with hanging tiles at first. The roof arrangement is clay tiles predominantly half hipped and gabled.

A historic fabric identification diagram has been produced (see figure 3) this is based on the Historic England listing and other map / aerial and planning information contained within this document. Following this there is the mapping and aerial data used to compile this diagram.



Figure 2— Overview diagram of assumed historic fabric



3.4. Listed Building Description

Name: ETHNAM

List Entry Number: 1336762

Listing NGR: TQ 81250 27042

Date of Listing: 20-Jun-1967

Grade: II

Listing extract:

SANDHURST TQ82NW ETHNAM LANE 1350-0/6/197 Ethnam 20/06/67 II House. C16 or earlier timberframed building extended and refenestrated in C20. Ground floor red brick, 1st floor tile hung. Old tiled roof, half-hipped to left hand side with late C16 cruciform brick chimneystack to ridge and external chimneystack to left hand side. 2 storeys 4 windows, the right hand bay is a projecting hipped roof wing. C20 mullioned and transomed casements and plank door. Rear has C20 extension.

For full listing please refer to - <https://historicengland.org.uk/listing/the-list/list-entry/1336762>



Figure 3 - Ethnam - Historic England

4. Designation - High Weald AONB

Ethnam sits centrally within the High Weald AONB and relevant policies have therefore been considered as shown in the previous application. This includes the High Weald Management Plan and the High Weald Housing Design Guide.

5. Proposed works

(Please read in conjunction with the existing and proposed drawings)

Given the scope of the works, it was deemed that a planning application was more appropriate to encompass the works, rather than a minor material amendment.

This application proposes to include a basement as part of the development, utilizing the total footprint of the outbuilding. The impact on the area and setting of the listed building will be completely unaffected by the propose change.



5.1. Snapshot of drawings

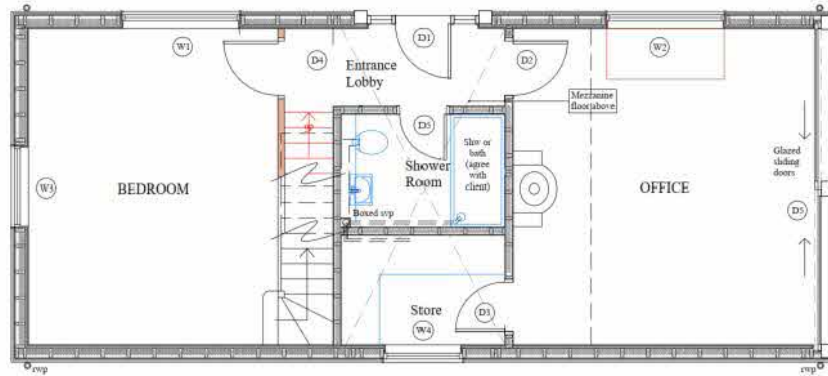


Figure 4 - Proposed ground floor

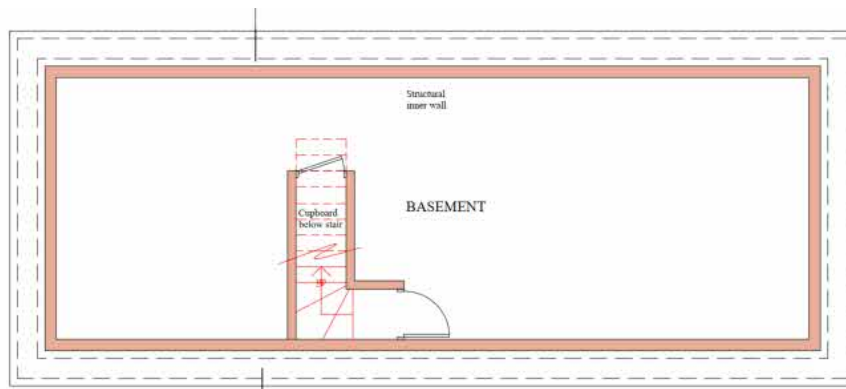


Figure 5 - Proposed basement

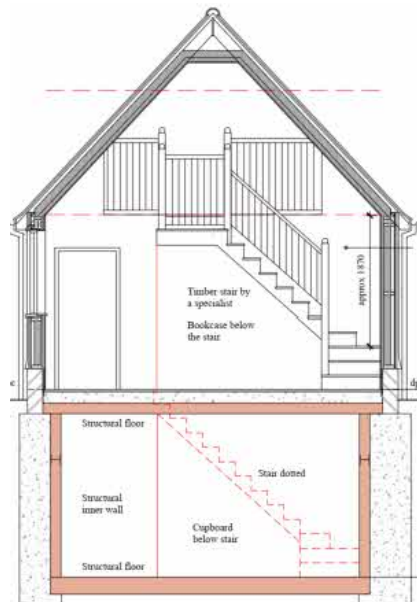


Figure 6 - Proposed cross section



6. *Use*

The current use of Ethnam is residential, and there is no proposal for this to change.

7. *Access*

With the exception of the additional entrance, access to the site will be unchanged and will continue to be from Ethnam Lane.

8. *Conclusion*

The proposed amendments for the outbuilding at Ethnam are minimal and will have no impact on the wider landscape due to the works solely relating to subterranean works. The approved above ground works will not be impacted or implicated due to this proposal.

Planning policies have been considered as part of this application. We believe the proposal is not in conflict with current planning policy, therefore we consider planning permission can be justified for this application.

Stephen Langer Architects are local specialists in traditional architectural design, have designed the proposal on behalf of our client, in a vernacular style, appropriate to the attractive structure. As a practice, we believe traditional architectural design should reflect local building and material traditions and respect the influences that have shaped the built environment in this area.