



46 Salisbury Terrace, Aberdeen, AB10 6QH
Proposed Rear Extension
DESIGN AND ACCESS STATEMENT MARCH 2024

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Project Description

The proposed works at 46 Salisbury Terrace involve the demolition and replacement of an existing rear extension to a terraced home.

The demolition of the existing rear extension is to facilitate the erection of a single storey extension that provides additional living space to the ground floor. There will also be a series of internal alterations to the property to improve its efficiency and the quality of spaces.

It is the intention of this document to demonstrate the carefully considered proposals are appropriate in their; scale, proportion and material palette.

They have been developed with to be of a high quality and aesthetic that will enhance the quality of the home at number 46, whilst remaining respectful and considerate of the neighbouring properties and any potential impact caused as a result of the works.

It is the belief of the applicant that the proposals sit comfortably within the Local Authority Planning Policy and Householder Guidance and should therefore be supported.



Context: Location/Site/Context

The site is located to the West of Salisbury Terrace on the edge of the Great Western Road Conservation Area. It is a terraced property sitting within a relatively traditional residential street.

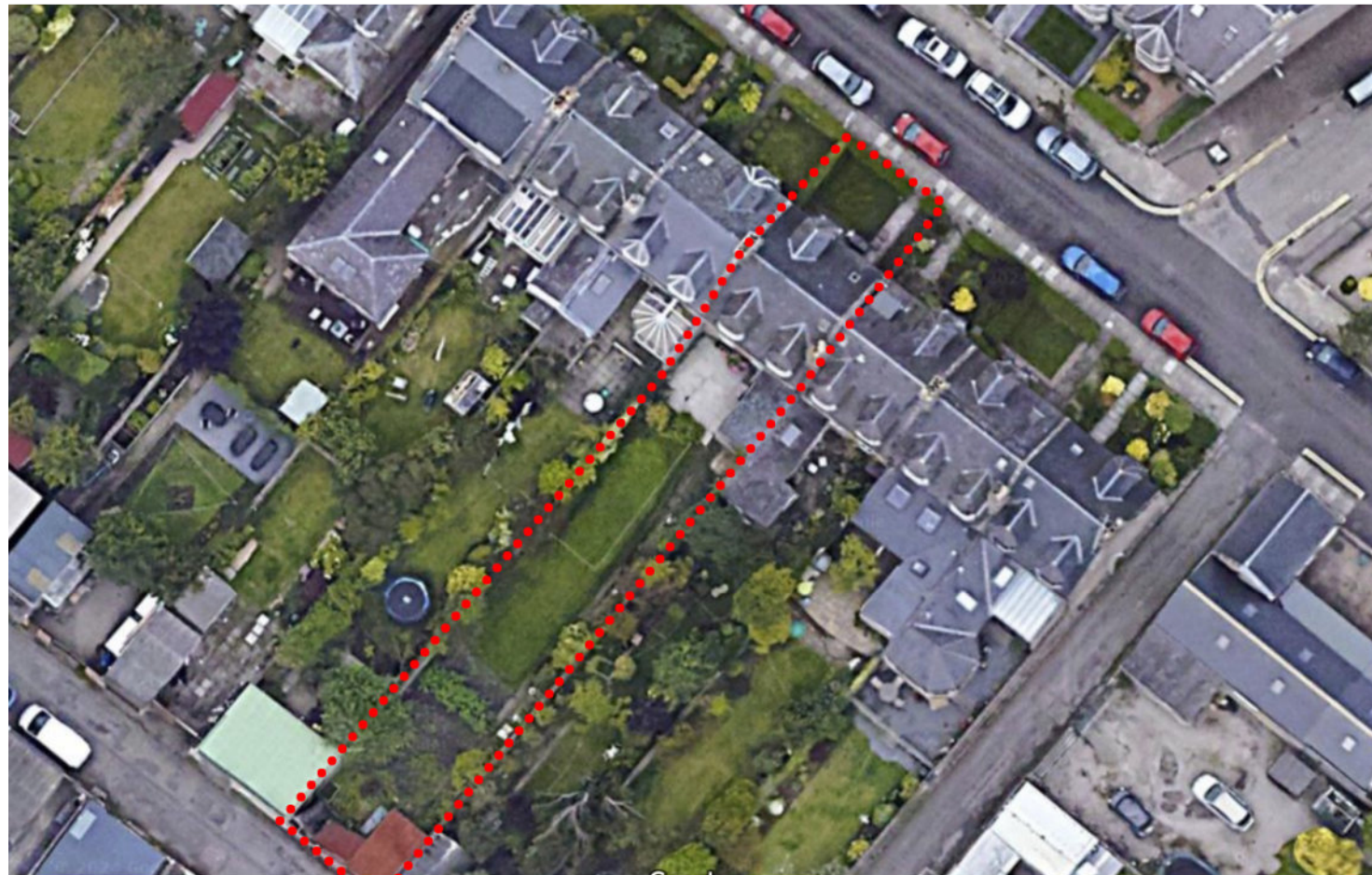
The Principal and more formal Elevation is considered to be the East elevation, accessed via Salisbury Terrace. To the rear of the property there is a large private garden. The majority of neighbouring properties in the row have been extended into their gardens in a variety of ways.

The gardens all have access of some description to a lane that runs the length of the street. Number 46 has a single storey garage access to this lane. The back lane has a typically eclectic mix of garages and structures.

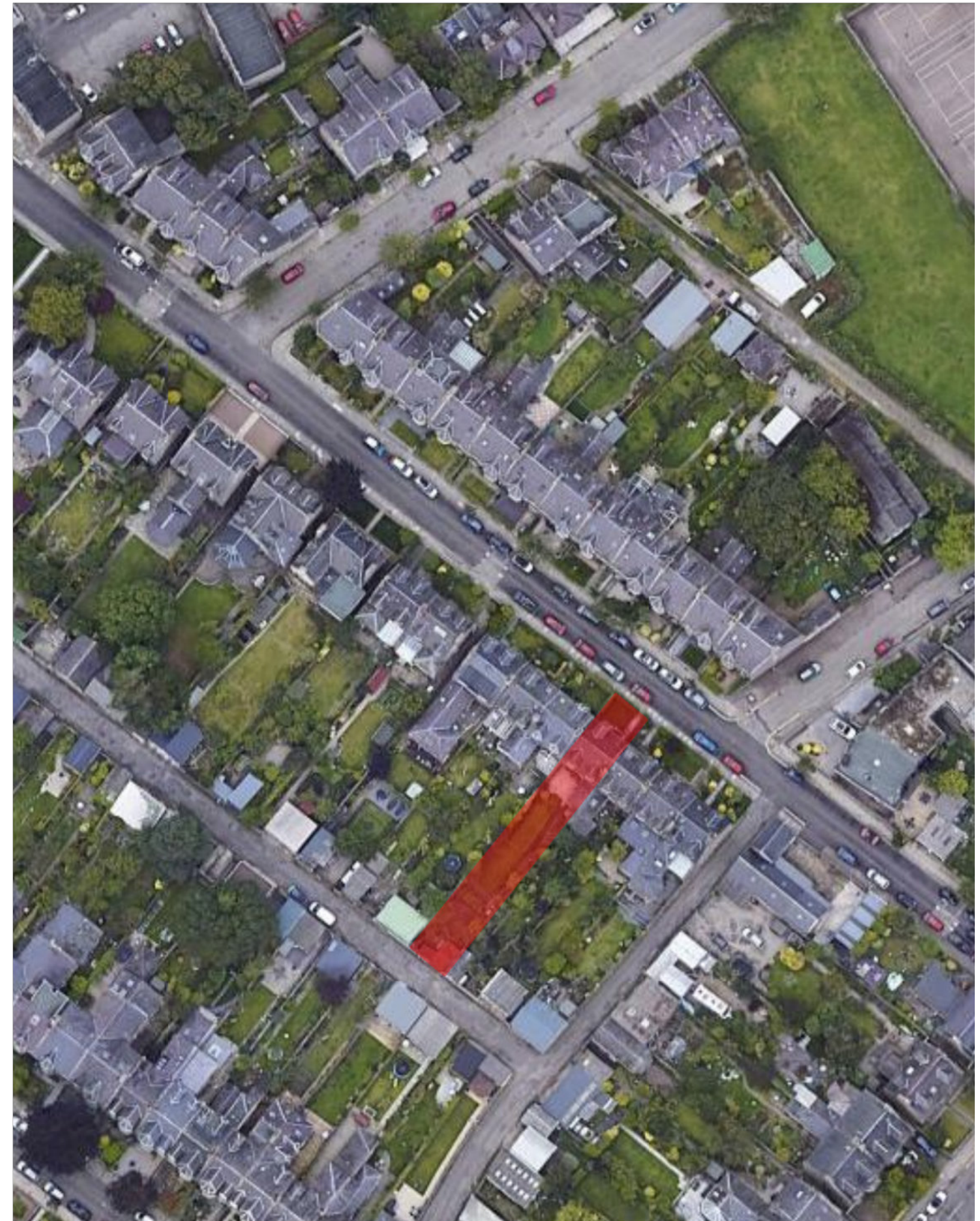
The rear of the property is approximately 75m from the nearest opposite properties across the lane.

Salisbury Terrace does not currently have any permit or traffic controls in place controls and as such is subject to a significant amount of on street parking.

The property is not listed.



Aerial image showing site and adjacent properties



Aerial image showing wider context

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View of property and neighbouring buildings on Salisbury Terrace

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View to rear of property from public lane. Note Camera is elevated in order to see property

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Context: Existing Building

The existing property has an attractive principal elevation with a formal arrangement that incorporates a stacked bay window and dormer, pitched slate roof and shared chimney stacks to both boundaries. The entire elevation is finished in granite. Both properties to number 44 and 48 appear to have been constructed at the same time of a similar style.

The rear elevation is also of granite with a pitched slate roof, with two hipped roof dormers. The neighbouring properties are of the same appearance. At the ground floor there is an existing brick 'lean to' structure that runs along the Southern boundary.

Both number 44 and 48 have extended their properties along the boundaries to number 46.

The existing property is in a relatively good state of repair, however there are signs of deterioration due to the age of the property which will be rectified during construction of the proposed extension. The existing garage on the site is in a state of disrepair and would require significant works to restore it and will likely require to be demolished.



South 'Principal' Elevation - Note existing extension to West.

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Rear of existing extension to West. Looking to roof of number 48.

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Rear of existing extension to West. Looking to roof of number 44

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Existing Rear Elevation

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Looking out to existing garden from first floor

Appraisal: Site

On appraisal of the site it was relatively obvious that the property would be best extended to the rear, however determining the potential projection and width of this required careful consideration of the context.

Due to the orientation of the site and the existing extensions and boundary treatments there was a real risk that the proposed would either be overshadowed by that of number 48, or cause some level of overshadowing to number 44.

The rear of these properties are challenging to see from a public vantage point due to the extent of the gardens and the considerable number of structures at the rear garden lane.

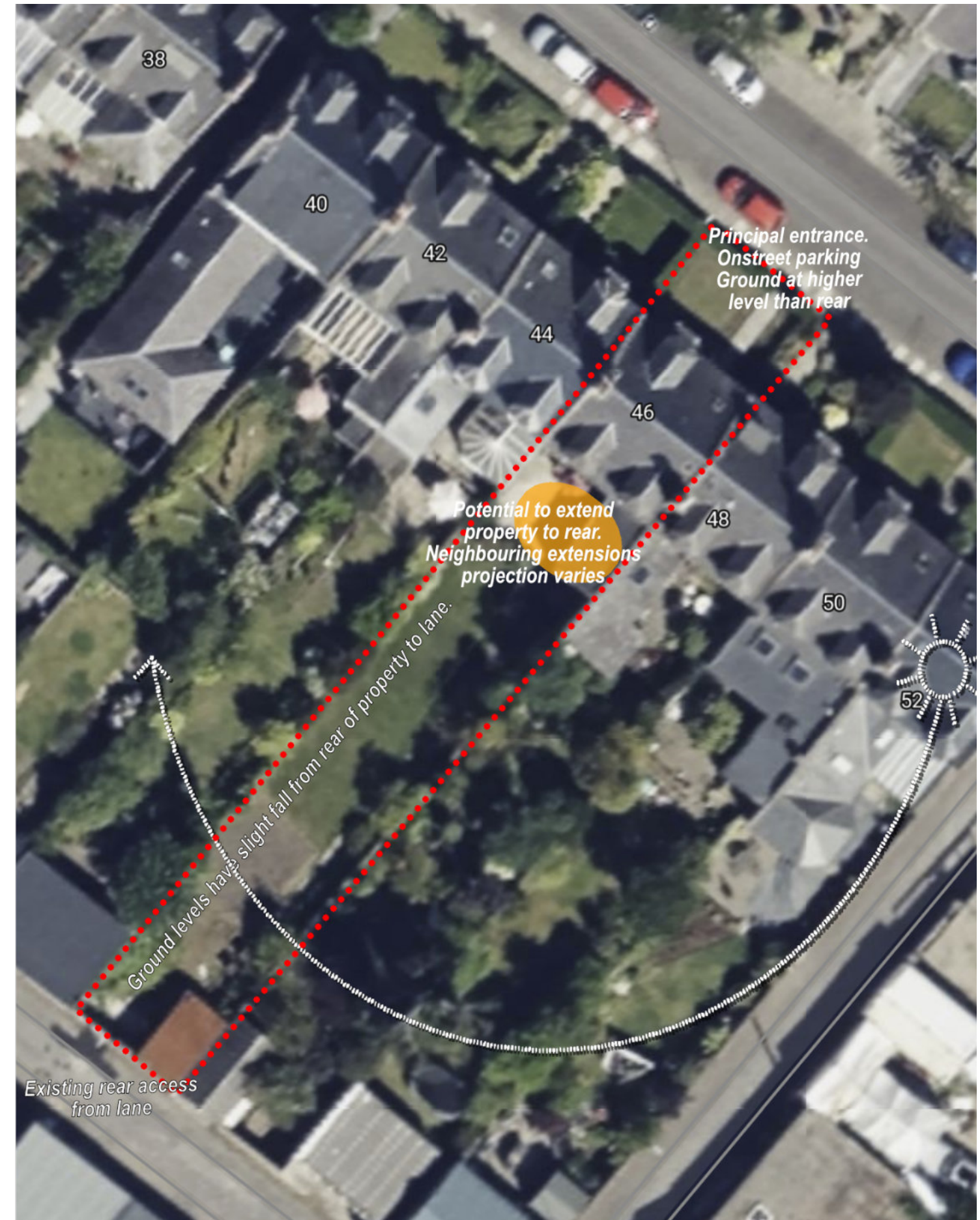
Levels across the site do reduce from the front of the property to the rear, so this had to be factored into the proposals. Opting to accept this change in level to ensure the proposed sits as low as possible to the rear.

There is no risk of loss of amenity as a result of the works as the existing garden is quite large.

Parking would be unaffected by these works also.

Boundary treatments are primarily random rubble granite walls of varying heights, the intention is to retain all of the existing boundary walls.

The works would require the demolition of the existing 'lean to' structure, however this has been checked and could be done with minimal impact to the existing boundary treatment.



Appraisal: Planning History

The available planning history to number 46 is limited

There appears to only be one formal application to planning on the public portal;

061991 Window Replacement/ Alteration - Approved 14th Nov 2006 - Drawings not available.

Considering there are a number of apparent extensions to the rear of properties there are few applications to extend recorded post 1st Jan 2000.

Numbers 34, 40A and 50 have a record of formal approval to extend.



Extract from ACC Planning Portal

Concept: Development / Overshadowing / Privacy

When developing the form of the proposals key cues were taken from the existing property and surrounding context, directly informing; scale, mass, proportion and orientation.

The height of the proposals have been determined by the existing gutter line to the property and looking to maintain this, opting to introduce a single pitched roof that falls away from the property. Keeping the roof at a relatively shallow pitch and introducing a change in level within the extension further ensures the extension sits respectfully within the site, without detrimental visual of overshadowing impact to the surround area.

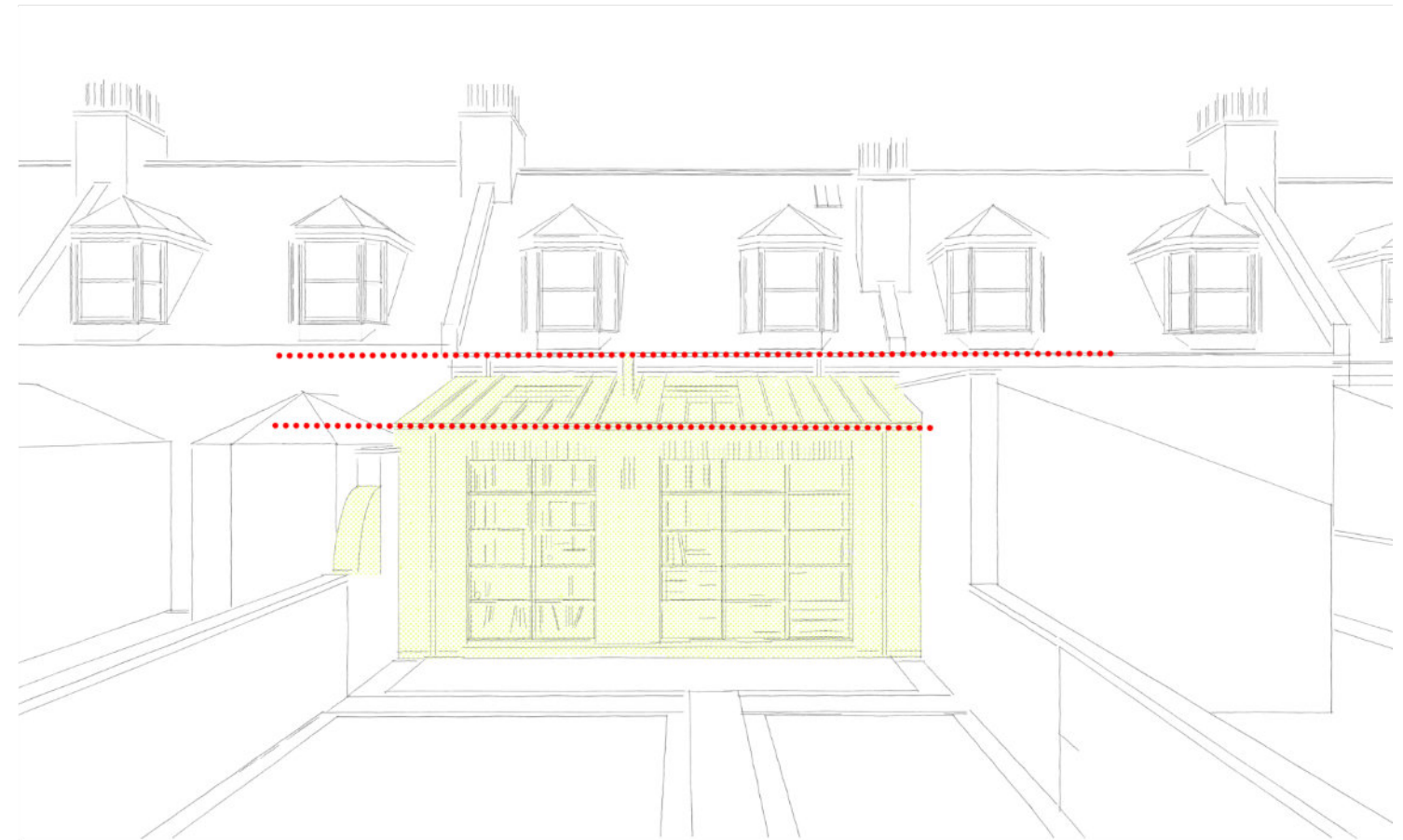
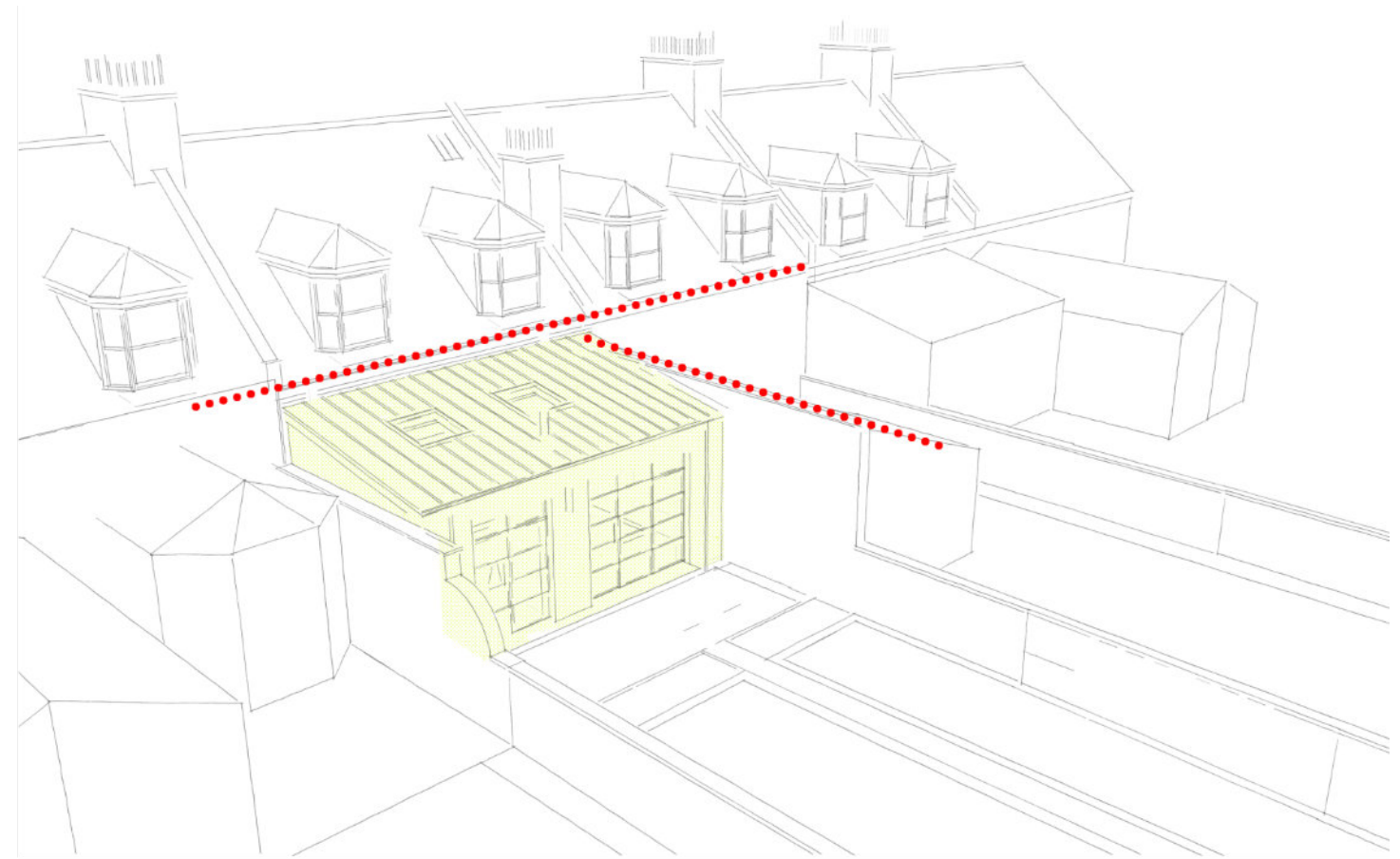
Opting to keep the roof at this shallow starting point in this location ensures that it can sit between the existing boundaries and extensions to numbers 44 and 48 with minimal impact as a result of the works on these boundaries. To the boundary at number 48 the extension will effectively match the height of the boundary wall as existing, looking to form a new flashing to address the existing ridge/connection.

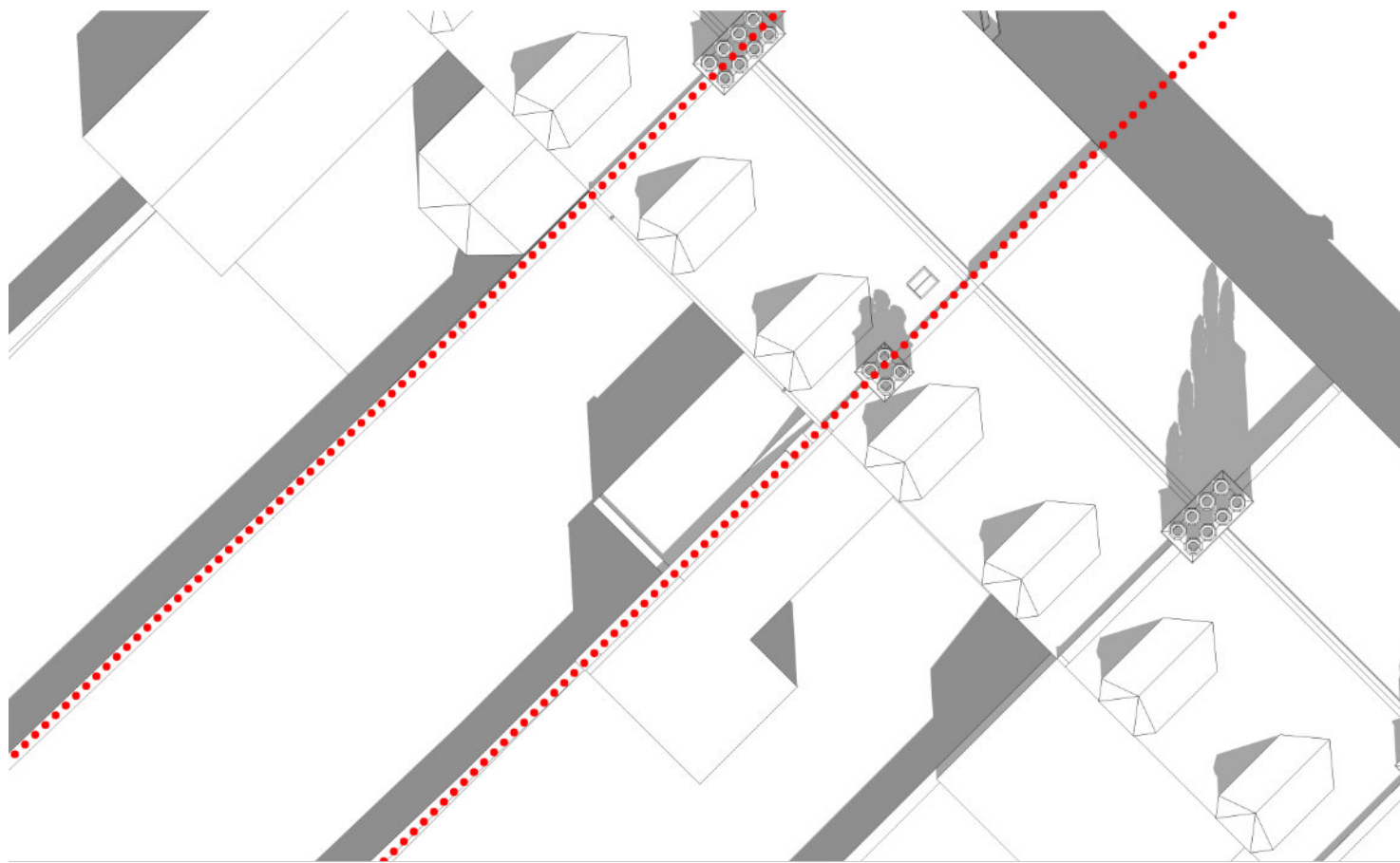
To the boundary at number 44 it would sit slightly higher than the existing boundary wall, with a slight 'set back' from the wall to allow the install of a aluminum flashing to the wall head.

It is proposed that the existing feature element of this wall, a curved granite and brick feature be reconstructed to preserve it and maintain the current level of privacy to the gardens between properties.

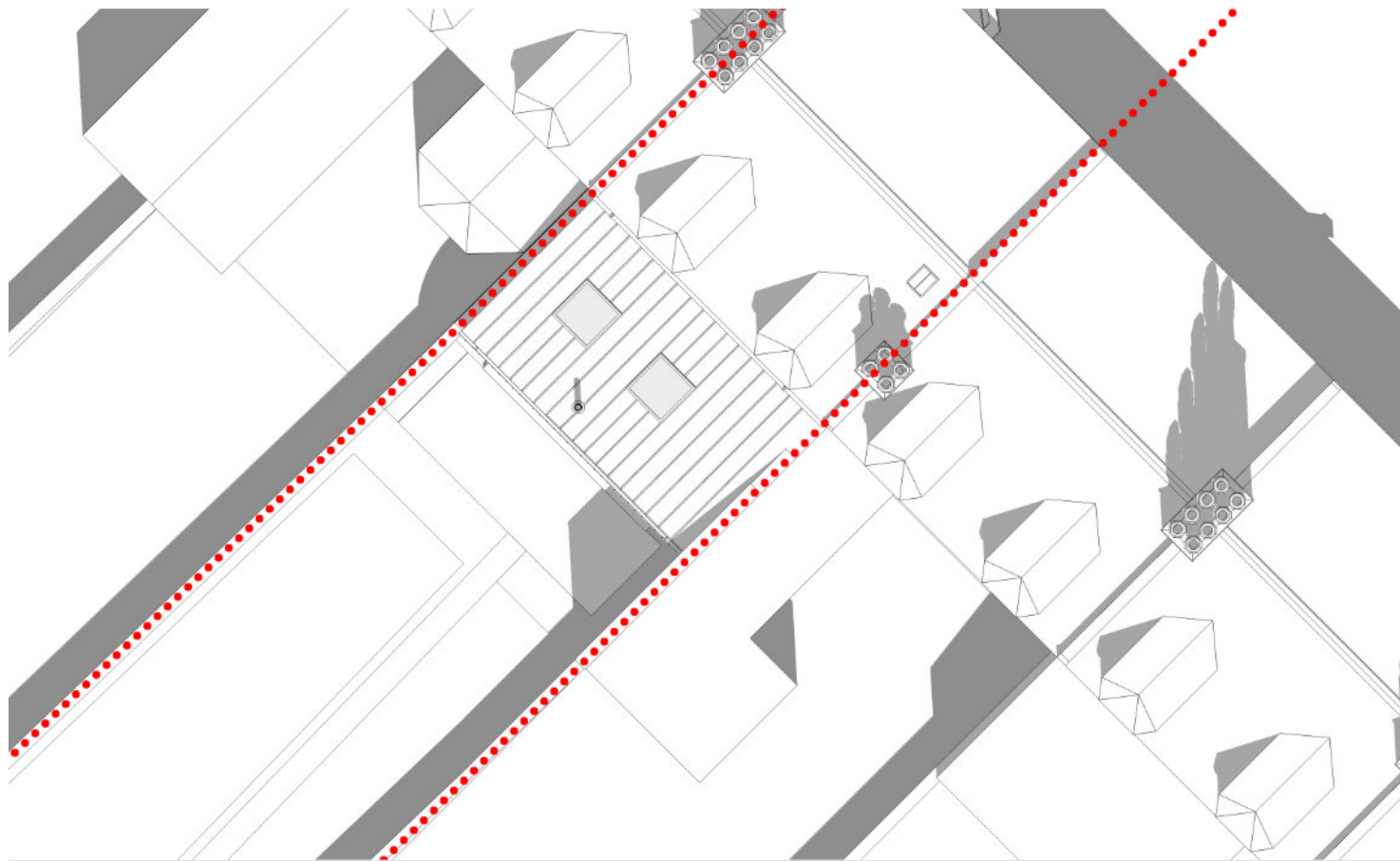
The arrangement of the windows and openings to the proposals has been dictated by the need to both visually and physically connect to the existing garden.

Roof-lights to the new roof have been positioned to relate to the internal openings between rooms, to ensure the existing property receives a generous amount of daylight.





Existing shadowing at Midday 20th March 2024 (Equinox)



Proposed shadowing at Midday 20th March 2024 (Equinox)

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Concept: Day-lighting/Overshadowing Assessment

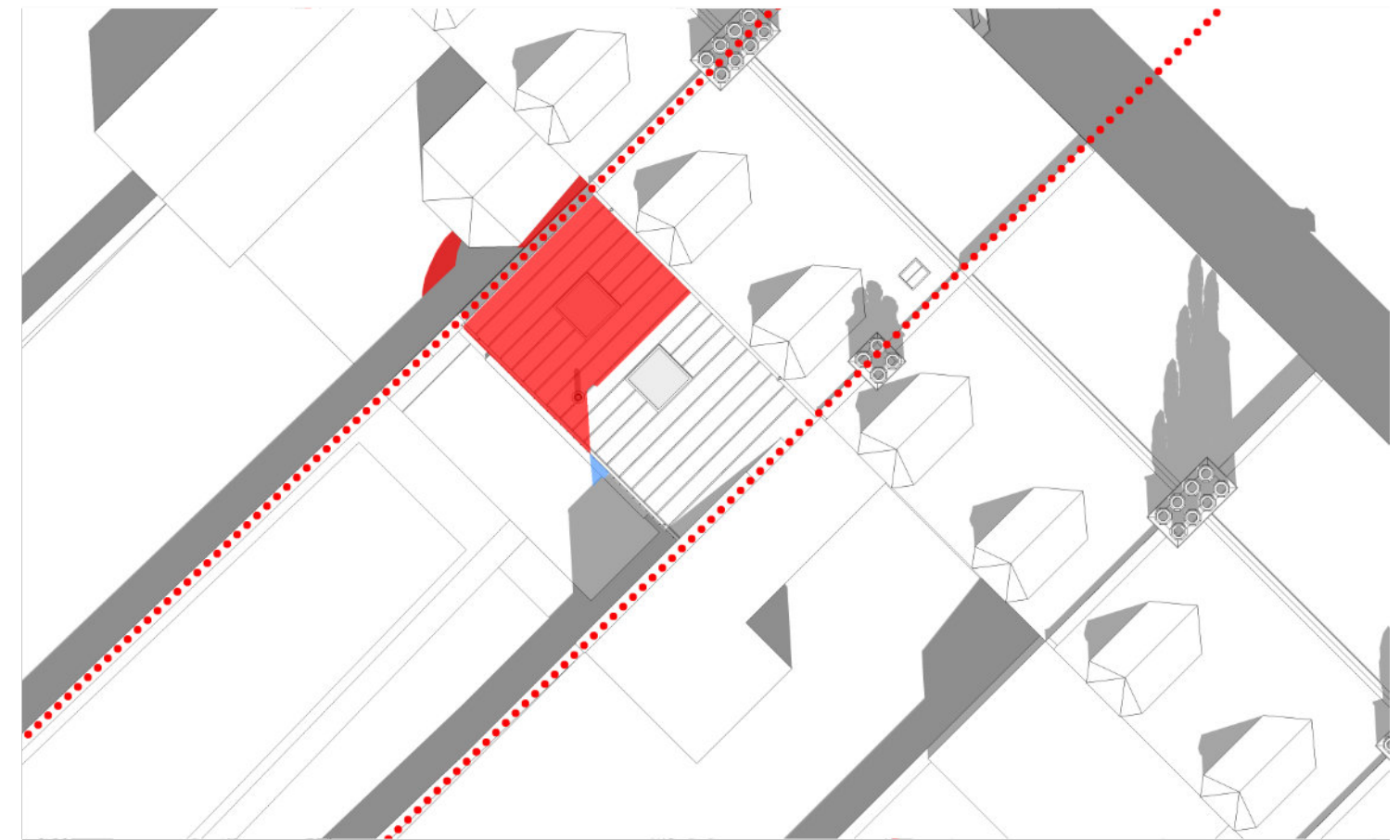
During the development of the proposals the simulated impact of the proposed extension in regards to day-lighting to the neighbouring properties and existing site was reviewed through 3d modelling.

This modelling assessed the impact at key points in the calendar year of 2024: Summer Solstice, Winter Solstice and the equinox between these points. These dates were selected in order to demonstrate the highest potential point of impact, using Midday as a baseline.

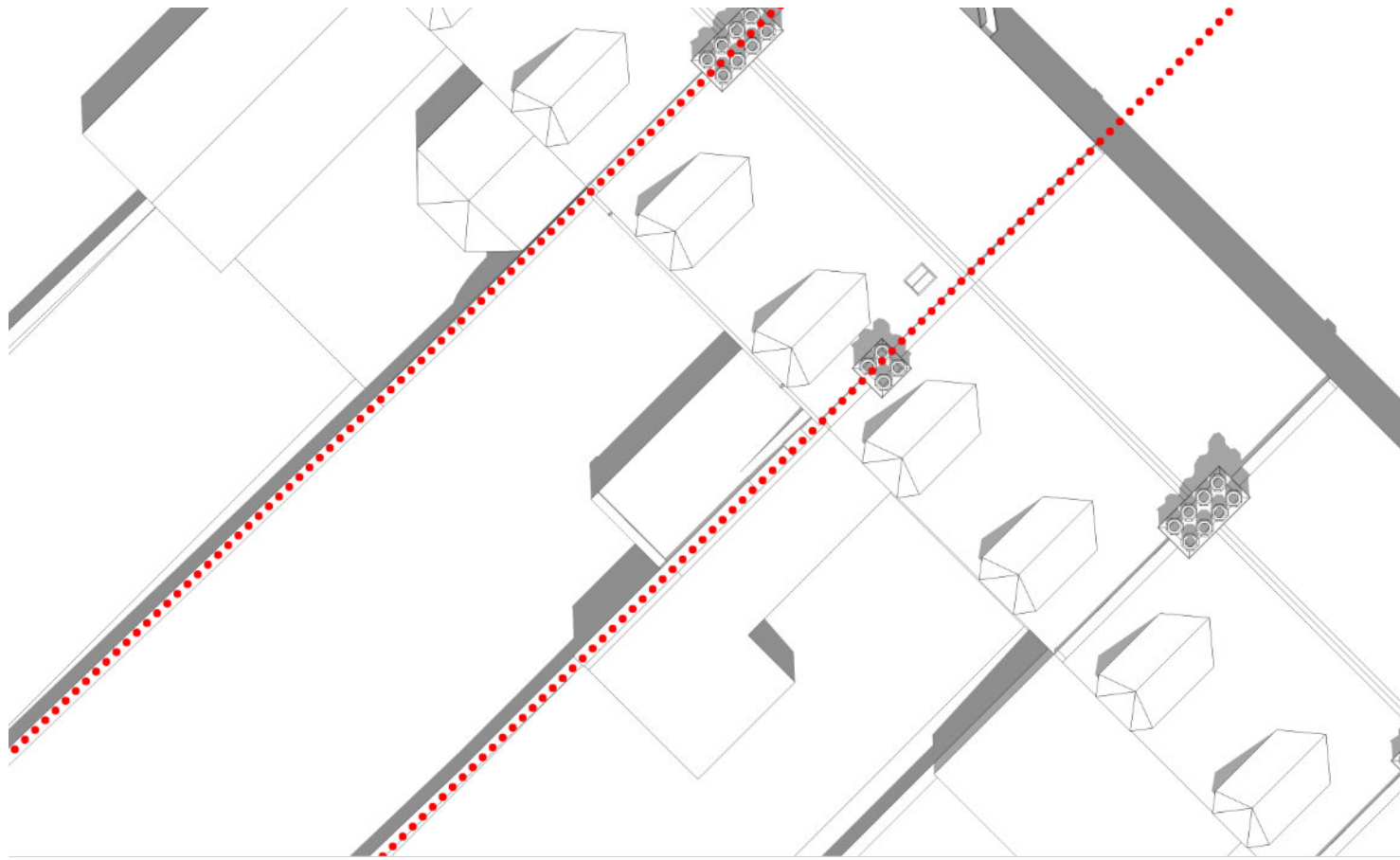
As you will see from the images it has been demonstrated that there is negligible impact to the direct neighbouring property at number 44. Number 48 experiences no impact as their boundary wall remains higher than the proposed.

There is some additional overshadowing to the applicants own garden, but again this is negligible.

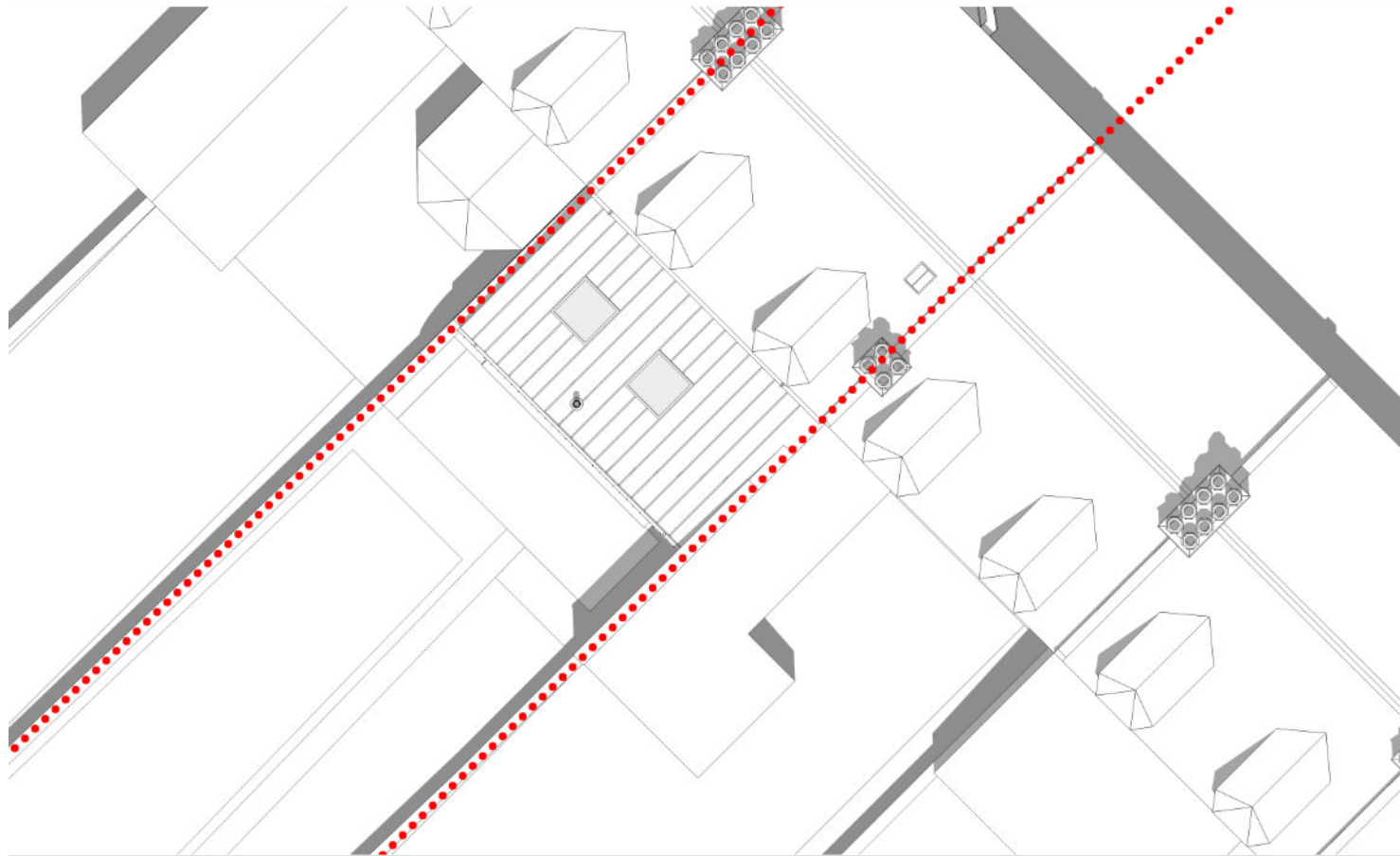
The orientation of the site, position of existing properties and their extensions, the shallow pitched roof and remaining respectful of existing boundary heights and eaves lines has ensured there is limited impact.



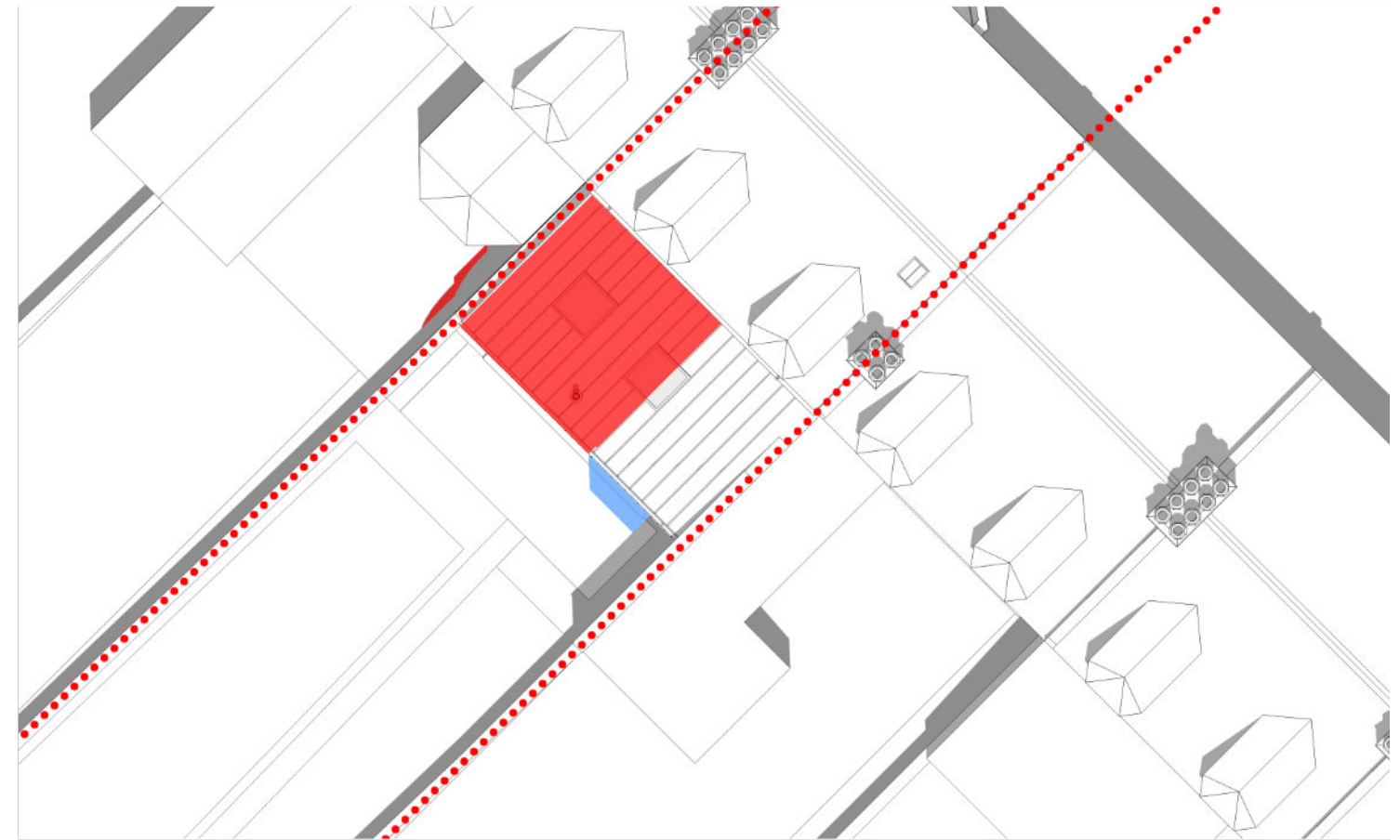
Combined shadowing at Midday 20th March 2024 (Equinox)
 Red represents additional overshadowing. Blue Represents additional daylight.



Existing shadowing at Midday 20th June 2024 (Summer Solstice)



Proposed shadowing at Midday 20th June 2024 (Summer Solstice)



Combined shadowing at Midday 20th June 2024 (Summer Solstice)
Red represents additional overshadowing. Blue Represents additional daylight.

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Concept: Materials

It is proposed to use a restricted and high quality palette of materials to the proposals, which although brings contrast to the existing granite property make reference to the traditional materials utilised in many of the ancillary buildings and boundary treatments,

The proposed extension is to be clad in a buff brick, of mixed stock. This directly references the existing brick structures on the site and sits confidently against the granite elevation of the existing house. The roof will be clad in a standing seam metal cladding, likely and anthracite zinc. This is both due to the ability of this material to be used on a lower pitched roof, but also as it brings a clean and contemporary line to the proposed, whilst remaining sympathetic to the historic context.

Windows and doors are to be a steel framed 'Crittall' style product, which allows natural light into the extension, whilst retaining a striking and ordered appearance.

Rainwater goods to the existing property will be retained and repaired where possible and new colour matched gutters and downpipes will be used on the extension.

Landscaping works are minimal, looking to form some simple precast steps to access the property and a small area of paving. The applicant is also proposing to reconstruct the currently damaged granite and brick boundary wall between 44 and 46, reconstructing the quarter circle feature to provide privacy to both properties.



ELEVATION MATERIAL STUDY