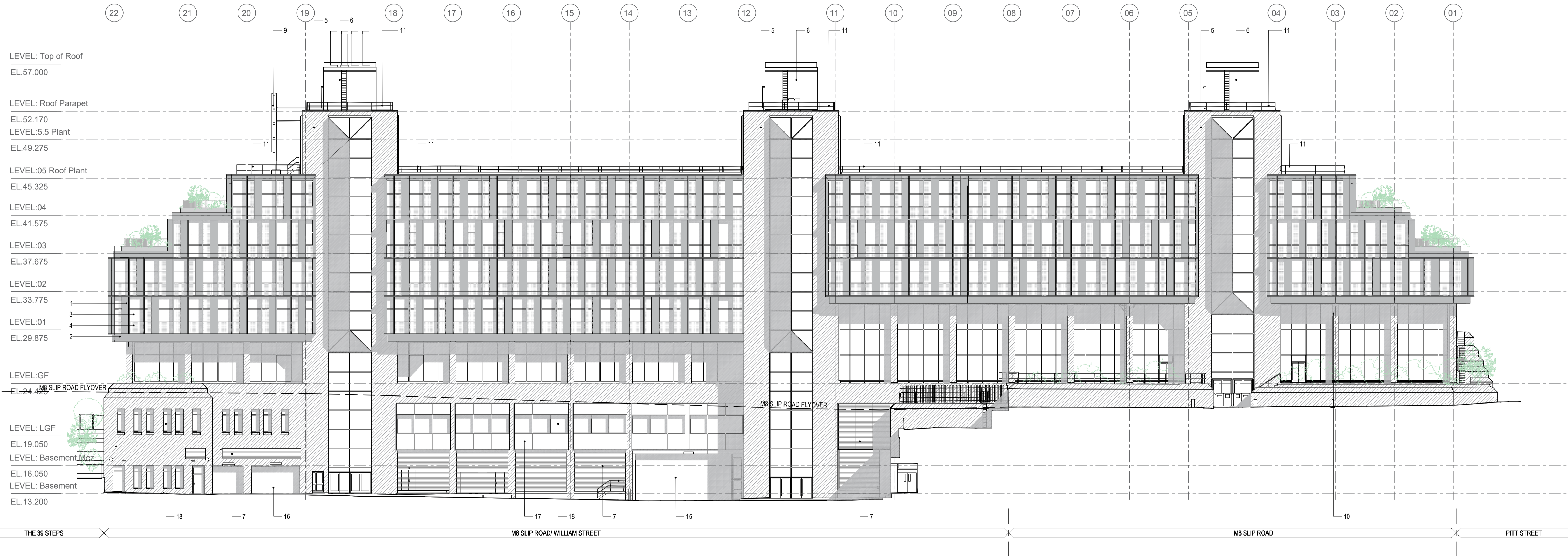


KEY

- 1. Aluminium frame and panel - Colour Ref Interpon D2525 - Lahore - Metallic Fine Texture Y23741
- 2. Aluminium fascia - Colour Ref Interpon D2525 - Lahore - Metallic Fine Texture Y23741
- 3. Aluminium framed double glazing vision glass. Frames colour ref: Interpon D2525 - Soft Champagne Matt - Y22041
- 4. Aluminium framed glass spandrel - colour ref RAL 7022
- 5. Existing granite retained
- 6. Existing roof level metal cladding cleaned and retained
- 7. New aluminium performance louvres - colour ref: Interpon D2525 - Soft Champagne Matt - Y22041
- 8. New aluminium column cladding - colour ref: Interpon D2525 - Lahore - Metallic Fine Texture Y23741
- 9. Existing signage retained. Signage / branding TBC
- 10. Existing granite column cladding retained
- 11. Metal balustrading
- 12. New entrance glazing to match geometry of existing. Double glazing in an aluminium frame
- 13. New entrance and portal cladding in GRC
- 14. New glazed revolving entrance doors
- 15. New roller shutters to service bay
- 16. New roller shutters to car park
- 17. Aluminium cladding
- 18. New aluminium framed glazed windows

FACADES - GENERAL NOTE

- All glazing and external doors to be replaced unless otherwise stated
- Final glazing performance, g-value and coating, subject to MEP energy modelling
- All planting is shown indicatively - refer to landscape architect's design intent
- All granite cladding retained as existing, subject to specialist contractor's investigation. All granite to be resealed and cleaned. Fire barriers at junctions to new sections of facade to be installed.



SCALE 1:200
SOUTH ELEVATION

NOTES

- Drawings are design intent and subject to further design development and coordination with engineering and landscape consultant's information.
- Internal configurations of meeting, event and other building amenity spaces are subject to further design development and are shown for indicatively purposes only.
- All furniture indicated is indicative for space planning purposes only.
- Elevations are based on survey information provided by a third party.
- Full survey information is required for basement, car park mezzanine, lower ground floor, ground floor, L1, L3 and L4. Internal layouts may be subject to change.
- Building stacking and letting configuration subject to further development. Floor entrances, WC configurations and access arrangements may be subject to change.


USE OF DRAWINGS

DO NOT SCALE FROM THIS DRAWING. USE WRITTEN DIMENSIONS AND CHECK ON SITE. THIS DRAWING IS BASED ON SITE INFORMATION SUPPLIED BY THIRD PARTIES AND ACCURACY OF EXISTING FEATURES IS NOT GUARANTEED. ANY ERROR, OMISSION OR DISCREPANCY NOTED ON OR BETWEEN DRAWINGS AND OTHER DOCUMENTS MUST BE REPORTED IN WRITING IMMEDIATELY. ALL MECHANICAL, ELECTRICAL AND STRUCTURAL LAYOUTS / COMPONENTS ARE INDICATIVE AND MUST BE DESIGNED AND CHECKED BY SPECIALISTS. DO NOT START WORK ON SITE BEFORE CONFIRMING THAT ALL NECESSARY STATUTORY AND OTHER CONSENTS HAVE BEEN OBTAINED. THIS DRAWING IS COPYRIGHT AND MUST NOT BE DISTRIBUTED WITHOUT PERMISSION. ELECTRONIC CAD FILES MUST NOT BE ALTERED OR COPIED.

REVISIONS

REV	DATE	DESCRIPTION
-	24.03.01	PLANNING ISSUE

CHECKED
DRAWN
MB CP

client OSBORNE+CO ON BEHALF OF SANTANDER	project 301 ST. VINCENT STREET GLASGOW	project number 2088	 LOM architecture and design The Glass House 5 Sclater Street London E1 6JY UK Tel +44(0)20 8444 2999 Email mail@lom-fdp.com Web www.lom-architecture.com
sheet size A1	scale 1:200 @ A1	drawing title PROPOSED ELEVATION SOUTH	
status PLANNING	approved by	drawing no. 2088-A-P2030	
		revision	