

Fire statement form

Application information	
1. Site address line 1	X1 Aire
Site address line 2	Cross Green Lane
Site address line 3	
Town	Leeds
County	West Yorkshire
Site postcode (optional)	LS9 8BS
2. Description of proposed development including any change of use (as stated on the application form):	<p>The current site contains a single building comprising of one block to the west end of the site of five floors, all residential accommodation, the middle block comprises of eight floors, all residential accommodation and one block to the east end of the site consisting of thirteen floors, lower ground floor consists of a Gym, management offices, plant rooms, external cycle store and bin stored, upper ground to floor thirteen consist of residential accommodation.</p> <p>The construction work is proposed to all elevations of the building and is to remove any hazardous combustible materials from the external wall system and replace with non-combustible alternatives thus:</p> <ol style="list-style-type: none"> 1. Replacement of existing timber cladding and associated PIR insulation with Aluminium cladding plank and Stone wool insulation. 2. Replacement of existing HPL Panel and associated PIR Insulation with Aluminium panels and stone wool insulation 3. Removal of existing PIR insulation behind the brick façade and replace with stone wool insulation. Brick façade to be re-built after insulation changed using existing bricks where possible. 4. Replacement of existing timber balcony floors with aluminium planking
3. Name of person completing the fire statement (as section 15.), relevant qualifications and experience. Guide: no more than 200 words	<p>I, Vincent Rafferty have produced this report. I consider myself to be qualified and competent to undertake a fire statement. I confirm that I am a Chartered Fire Safety Engineer via the Institution of Fire Engineers and a full member of both the Institution of Fire Engineers (member number 00050625) and the Chartered Institution of Building Services Engineers (member number 060353). I am Director of Fire Safety Engineering at Appraise Fire Engineering Consultants with 12 years' experience and have significant experience in external wall systems. I hold an MSc in Fire Safety Engineering and BEng in Building Services Engineering design.</p>

4. State what, if any, consultation has been undertaken on issues relating to the fire safety of the development; and what account has been taken of this.

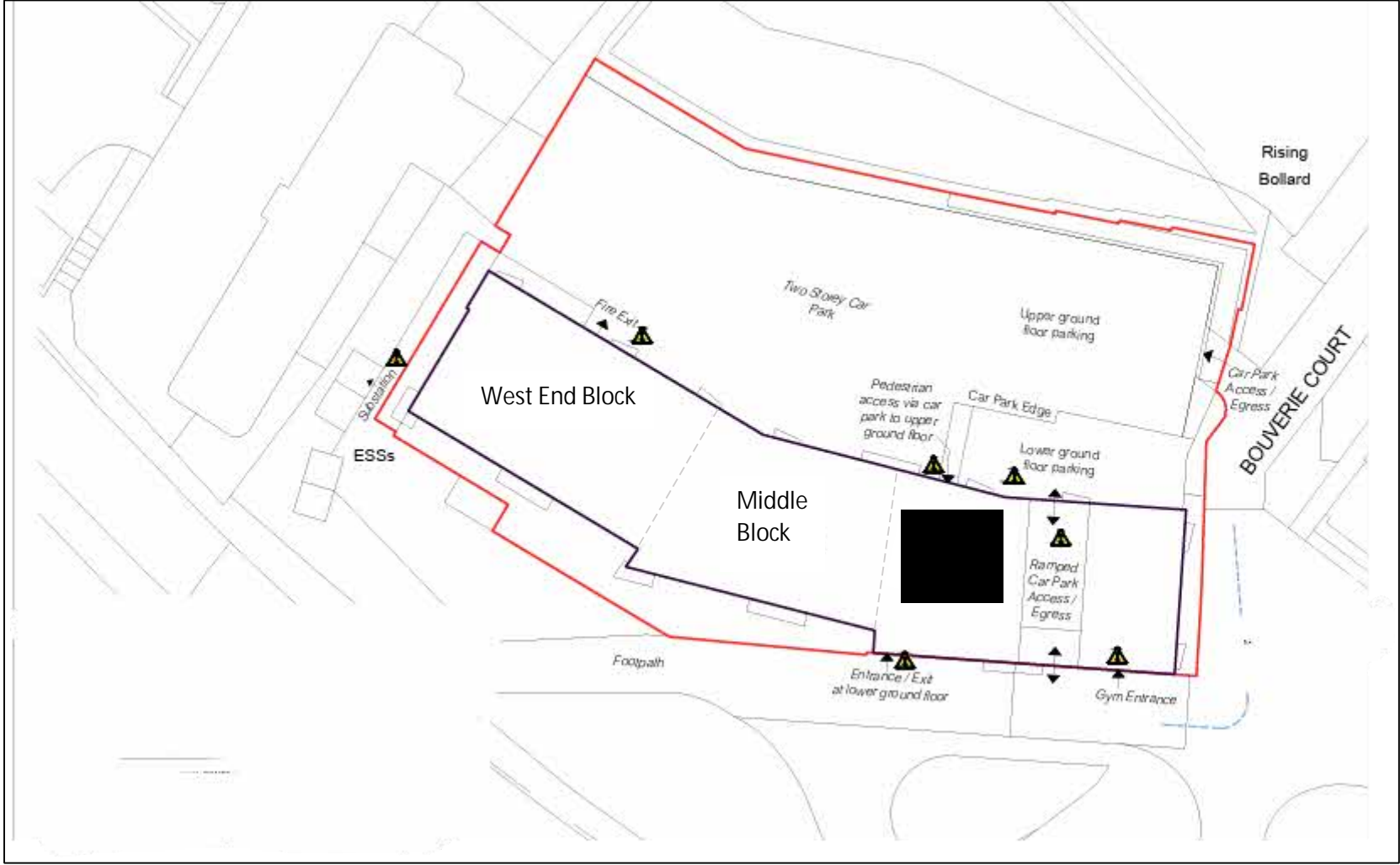
Appraise Fire Engineering are not aware of any consultation that has been undertaken on issues relating to the fire safety of the development. X1 Aire is an existing residential building, and as such the majority of the fire safety provisions are existing conditions and are not within the scope of the work. The work being carried out is to remove any hazardous combustible materials from the external wall system and replace with non-combustible alternatives which will significantly reduce the risk to the building.

Guide: no more than 200 words

5. **Site layout plan with block numbering as per building schedule referred to in 6.**
(consistent with other plans drawings and information submitted in connection with the application)

Site layout plan is:
inserted in the form





The principles, concepts and approach relating to fire safety that have been applied to the development

6. Building schedule

Site information				Building information			Resident safety information		
a) block no. as per site layout plan above	b) block height (m) number of storeys excluding those below ground level number of storeys including those below ground level	c) proposed use (one per line)	d) location of use within block by storey	e) standards relating to fire safety/ approach applied	f) balconies	g) external wall systems	h) approach to evacuation	i) automatic suppression	j) accessible housing provided
1 West End Block	<ul style="list-style-type: none"> ●11.8m ●5 storeys ●5 storeys 	residential flats,	Ground - (One-bed & two-bed apartments, Bin & Cycle store & plant rooms) Storey 2-5 (One-bed & two-bed apartments)	Approved document B vol 1	worse than class A2-s1, d0	worse than class A2-s1, d0	simultaneous	none	none
2 Middle Block	<ul style="list-style-type: none"> ●20.35m ●8 storeys ●8 storeys 	residential flats,	Ground - (One-bed & two-bed apartments, Bin & Cycle	Approved document B vol 1	worse than class A2-s1, d0	worse than class A2-s1, d0	simultaneous	yes-residential sprinklers, full	none

7. Specific technical complexities

Explain any specific technical complexities in terms of fire safety (for example green walls) and/or departures from information in building schedule above

Guide: no more than 500 words

In accordance with the planning applications (see section 2) there are no alterations proposed to vehicular access, pedestrian access, public roads or public rights of way. There are no proposals for additional electric vehicle charging points, or to increase the size of the current residents car park. There are no proposals to change or add to the residential accommodation.

This is a scheme to remove hazardous combustible external wall systems and replace with non-combustible materials.

8. Issues which might affect the fire safety of the development

Explain how any issues which might affect the fire safety of the development have been addressed.

Guide: no more than 500 words

As mentioned above, the building is existing, and the scope is to remove the hazardous combustible external wall systems and replace it with non-combustible material. By undertaking this work, it significantly improves the fire safety provisions in the building for residents, the fire service and those living in adjacent residential buildings. The fire service are provided with a rising dry main within the main stair core. The inlet for the rising dry main is located adjacent to the main entrance. The nearest fire hydrant is located approximately 25 m from the main building entrance as shown in on the site plan – see Section 14

9. Local development document policies relating to fire safety

Explain how any policies relating to fire safety in relevant local development documents have been taken into account.

Guide: no more than 500 words

The development would have been subject to the local development policies in force at the time of construction in 2017. This scheme involves removing the hazardous combustible external wall systems and replacing it with non-combustible material. This is a significant improvement on the level of safety for occupants of the building. By producing this fire statement, we are considering the contents of The Town and Country Planning (Development Management Procedure and Section 62A Applications) (England) (Amendment) Order 2021.

Emergency road vehicle access and water supplies for firefighting purposes

10. Fire service site plan

Explanation of fire service site plan(s) provided in 14. including what guidance documents have informed the proposed arrangements for fire service access and facilities?

Guide: no more than 200 words

The development would have been subject to the statutory requirements in force at the time of construction. No changes are proposed to the existing development in terms of fire service access and facilities. The site plan in section 14 has been marked up with the existing fire service access and facilities.

11. Emergency road vehicle access

Specify emergency road vehicle access to the site entrances indicated on the site plan

Guide: no more than 200 words

No changes are proposed to the existing emergency road vehicle access to the site entrances; see below.

Is the emergency vehicle tracking route within the site to the siting points for appliances clear and unobstructed?

yes

12. Siting of fire appliances

Guide: no more than 200 words

No changes are proposed to the existing siting of fire appliances; see below.

13. Suitability of water supply for the scale of development proposed

Guide: no more than 200 words

Public hydrant water supply is available within 25 metres of the rising main inlet for the building; see below.

Nature of water supply:

hydrant- public

Does the proposed development rely on existing hydrants and if so are they currently usable / operable?


yes

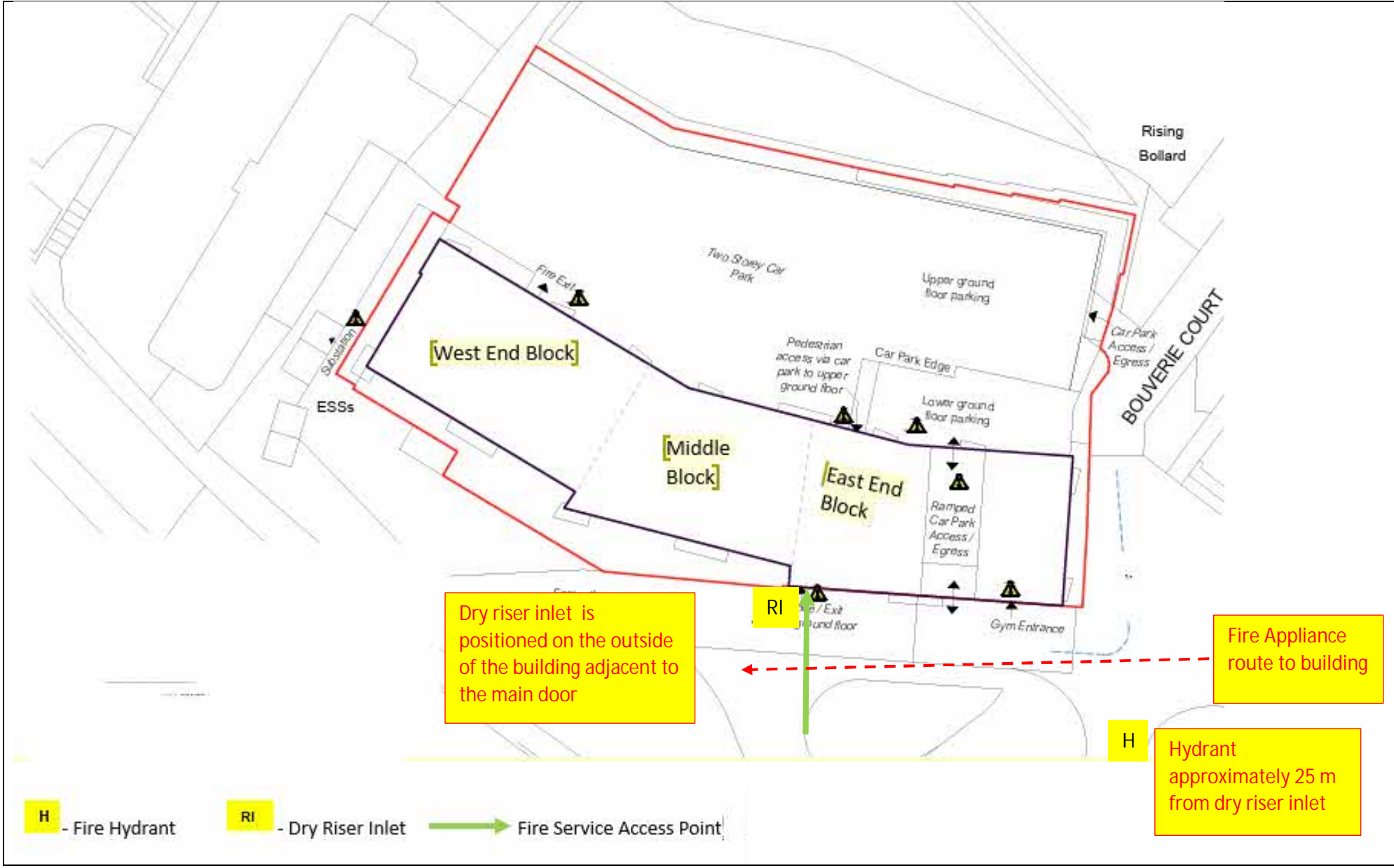
14. Fire service site plan

Fire service site plan is:

inserted in the form

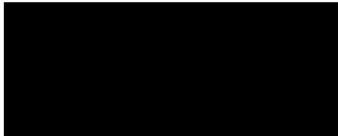


- H** - Fire Hydrant
- RI** - Dry Riser Inlet
-  Fire Service Access Point
-  Fire Appliance route to building



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Fire statement completed by	
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15. Signature	
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16. Date	08/03/2024
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