

M5119 X1 Aire - Leeds

Design and Access Statement

CLEAR LINE

RAWSON SPRING
WAY,
SHEFFIELD,
S6 1PG
UNITED KINGDOM

www.clear-line.co.uk
0044(0)114 231 5444
enquiries@clear-line.co.uk

DESIGN AND ACCESS STATEMENT

Proposed works to remove combustible insulation materials from the external facade cavity, including replacement of existing brick, new non-combustible powder coated timber effect cladding system and new powder coated aluminum pressings to balcony areas.



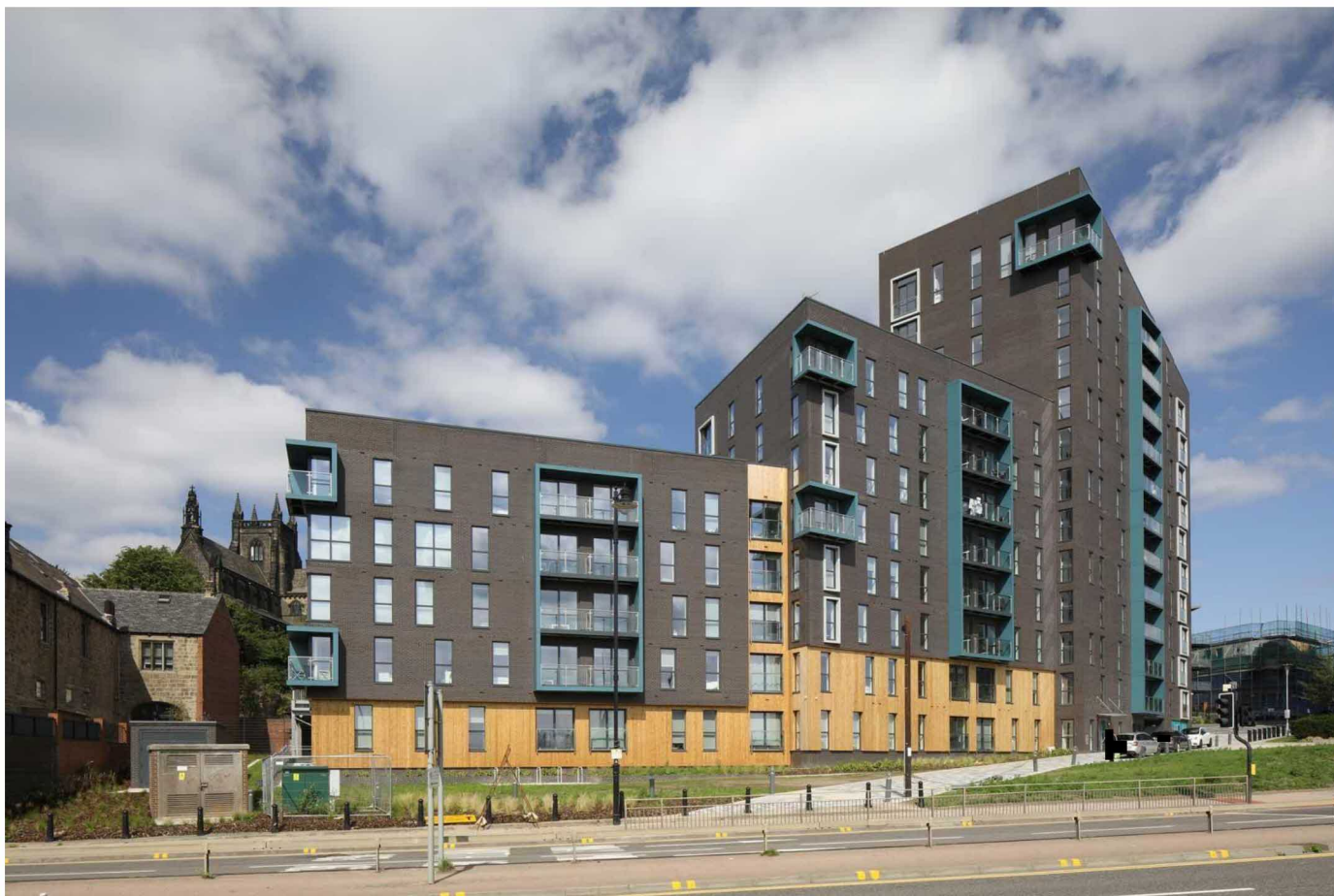
Existing Site Arial View

INTRODUCTION AND PLANNING HISTORY

This design and access statement relates to the planning application for the X1 Aire Building on the corner of Cross Green Lane and Bouverie Court re-cladding. The proposal is to remove the existing combustible insulation material from the cavity of the external facade which will require the removal of the existing brickwork, combustible timber cladding and combustible high pressure laminated panels and replacement with new brick and non-combustible cladding systems to closely match the appearance of all floors.

PLANNING HISTORY

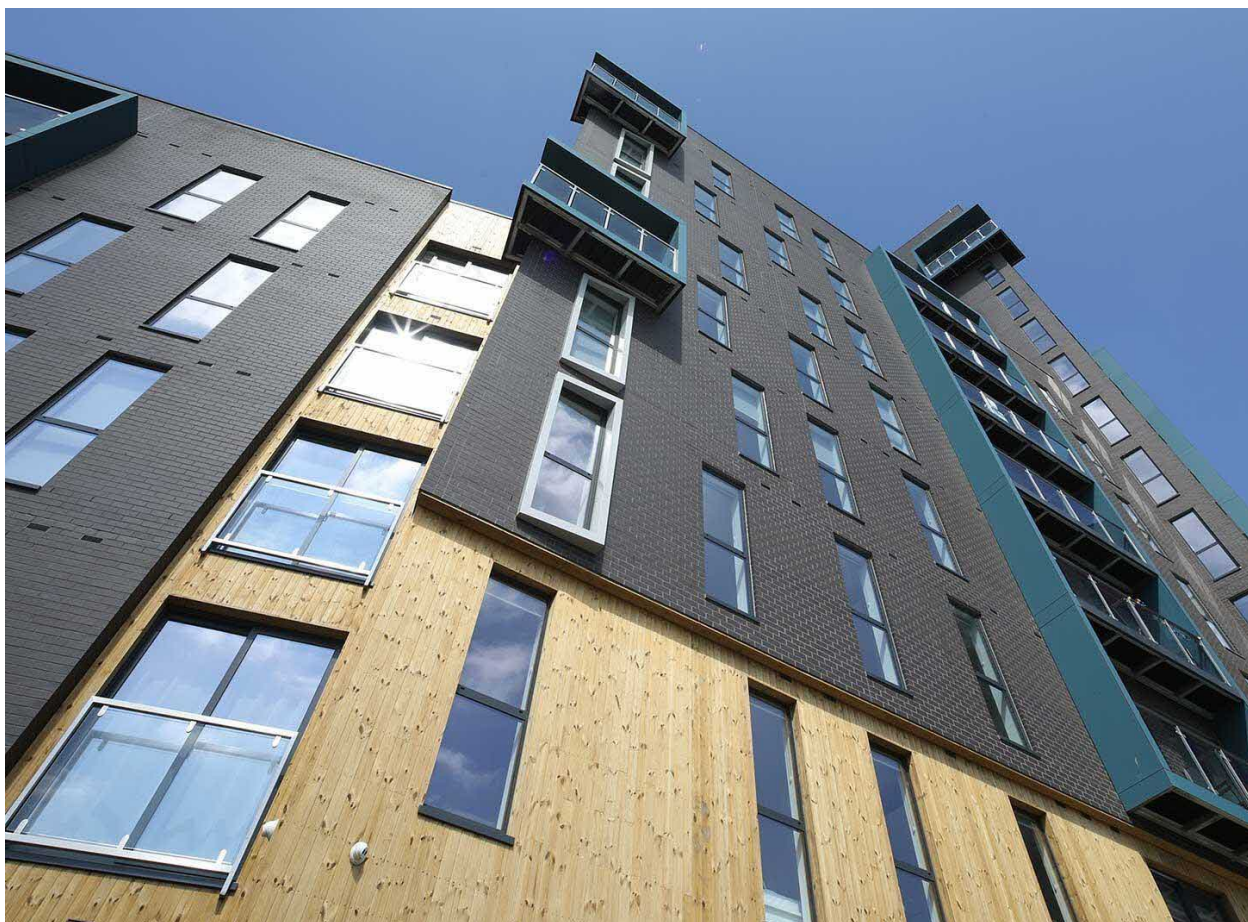
The building was erected in 2017 following a planning application for a 13-storey build comprising 147 apartments with gymnasium with parking ref P/07/04987/FUA current approved planning application for the recladding of the façade ref 20/08167/ FU expires on 16 April 2024.



Existing Façade – Facing South on East Street - proposed is to remain as existing



Existing Façade – Facing East on Cross Green Lane - proposed is to remain as existing



Existing Façade – Adjacent to building face on East Street - proposed is to remain as existing

SITE ANALYSIS

The application site area is 1584m² and is up to thirteen floors including a gymnasium and car park to ground floor car park. The car park is accessed from the front rear of the building.

PROPOSAL - USE AND AMOUNT

Brick – The brick will be removed with any combustible cavity insulation materials will be removed and the cavity insulation replaced with a non-combustible alternative. The same type of bricks will be reinstalled.

Timber cladding system – The proposal is to remove and replace the timber cladding with a non-combustible timber effect aluminum powder coated cladding system to closely match the existing finish.

High pressure laminate cladding to balcony – the proposal is to remove and replace the existing cladding panels with a non-combustible aluminum powder coated cladding system to closely match the material in appearance.

Our façade engineers will replace all of the existing insulation with mineral wool insulation to meet current building regulation requirements.

Importantly the facing materials will be replaced with equivalent closely matching materials that are A1 or A2 fire rated.

The windows are to be retained.

PROPOSAL - LAYOUT, APPEARANCE, AND SCALE

Proposal: The existing building's external appearance will remain unaltered as new closely matching, fire compliant, will be used for the cladding systems.

Layout: No alterations to the internal layouts are proposed.

Scale: All floor spaces to remain unaltered with no increased scale.

ACCESS

Pedestrian and vehicular access to the property will remain un-altered.

LANDSCAPING

The proposed change of use will have no effect on the existing site landscape.