



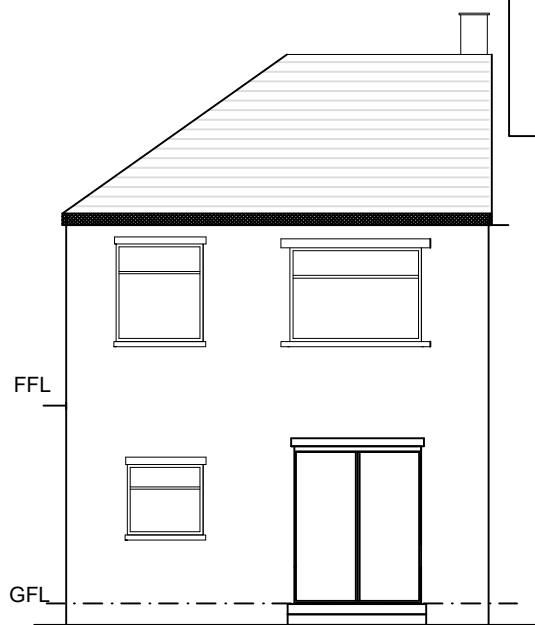
EXISTING FRONT ELEVATION

Rooflight sizes MIN 800 x 900mm
 'Velux or similar approved ref. GGU centre pivot UPVC frame.
 Roof tiles to match existing
 Guttering to match existing
 Windows to match existing on all elevations
 External brickwork to match existing



PROPOSED FRONT ELEVATION

Dormer cheeks to be clad with materials to match existing roof, PVCu double glazed windows to BS5713
 Dormer cheeks to provide min 60mins fire resistance to either sides



EXISTING REAR ELEVATION

Rooflight sizes MIN 800 x 900mm
 'Velux or similar approved ref. GGU centre pivot UPVC frame.
 Roof tiles to match existing
 Guttering to match existing
 Windows to match existing on all elevations
 External brickwork to match existing



PROPOSED REAR ELEVATION

This drawing is not a working drawing and is only for the following:-

A. Planning Permission
NOTES:

WALL
 External brickwork finish, insulated cavity, and block inner leaf with plaster.

EXTERNAL DOOR
 Entrance door to be full lite single hinged UPVC double glazed to match existing.

WINDOWS
 All external windows to be UPVC Double glazed to match existing.

DRAINAGE
 All drains to be connected to existing. Use 100mm pipe for S&VP connected to existing.

ROOF
 Slates to match existing roof.

ELECTRICS
 All electrics to Approved Document (P)

LIGHTING
 All new light fittings to have luminous efficiency greater than 40 lumens / circuit - watt.

SMOKE DETECTORS **SD**
 All smoke detectors to be mains wired & interlinked with battery back up.

HEATING
 All new radiators to have thermostatic valves.

LOADBEARING BEAMS
 All structural beams to be indicative only to SE design and recommendation upon approval of scheme.

GENERAL
 Existing foundations, Lintels and walls to be checked on site for additional loadings.
 All work to be in strict accordance with the current Building Regulations & to comply with all relevant British Standards & Building Codes of Practice. This is not a working drawing, All dimensions & levels must be confirmed on site by the contractor prior to commencement of work, and notify the agent of any discrepancies. if in doubt, ask. Vangaard D&A Ltd will accept no responsibility for any design errors. The position of all boundry lines are assumed based on information provided by the client. the client is under strict duty to confirm the actual location of all boundries with his/her solicitors. this work is probably covered by the Party Wall Act and will require the client to write to their neighbor informing them of the work and obtaining their written consent. for further information the client is advised to consult a solicitor.

PROJECT:
 PROPOSED LOFT CONVERSION TO INCLUDE DORMER WINDOW TO REAR ELEVATION, SKY LIGHTS TO THE FRONT AND HIPPED TO GABLE ROOF @ 19 NIXON AVE LS9 9BE

Rev.	Description

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Scale: 1:25
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