

**PLANNING, HERITAGE and  
DESIGN AND ACCESS  
STATEMENT**

**Technical Details Consent  
Application**

**Land in the curtilage of Ratts  
End House, Ecchinswell RG20  
4TX**

*Prepared For*  
**Mr and Mrs Clarke**

**2444**

**22 March 2024**



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## 1 INTRODUCTION

1.1 This statement is submitted in support of Technical Details Consent (“TDC”) application, related to the delivery of 1no. self-build dwelling on land in the residential garden of Ratts End House (4 Ratts Cottages, Ecchinswell (“the Site”). Permission in Principle (“PiP”) was granted on appeal under reference APP/H1705/W/22/3313774. The effect of this is that the principle of development of 1 dwelling at the Site has already been found to be acceptable. This application therefore sets out additional further technical details regarding the proposal.

1.2 The following information is submitted with the PiP Application:

- Application Form;
- Site Location Plan;
- CIL Form;
- Block Plan, Proposed Elevations and Floorplans;
- Tree Survey and Arboricultural Impact Assessment;
- Preliminary Ecological Appraisal and Biodiversity Enhancement Strategy; and
- Planning and Heritage Statement (this report).

### THE SITE AND ITS SURROUNDINGS

1.3 The Site is within the curtilage of Ratts End House, forming part of the existing garden. The new plot is 0.1ha in size (Figure 1) and the new dwelling will utilise the existing access to Ratts End House. Ratts End House will utilise its alternative existing access, which leads to the garage at the rear of that site (Figure 2 below).

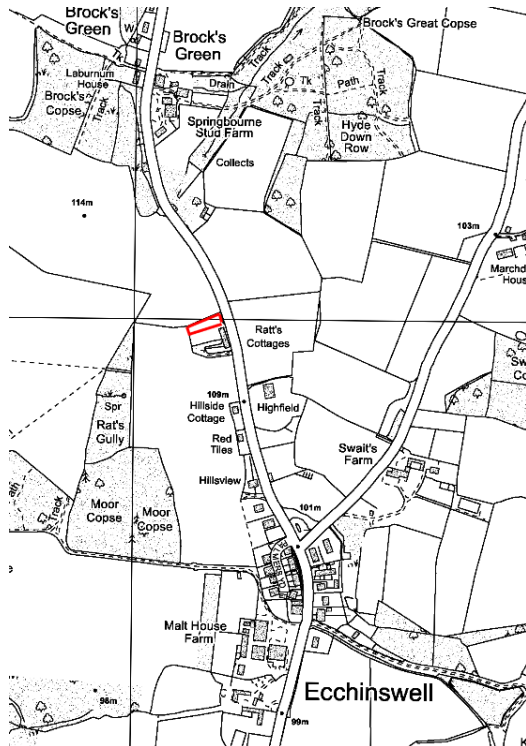


Figure 1 Site Location

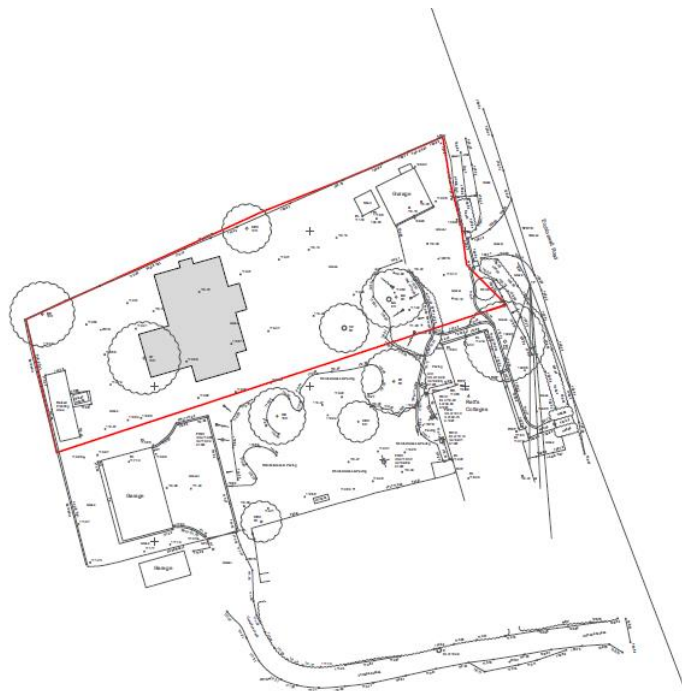
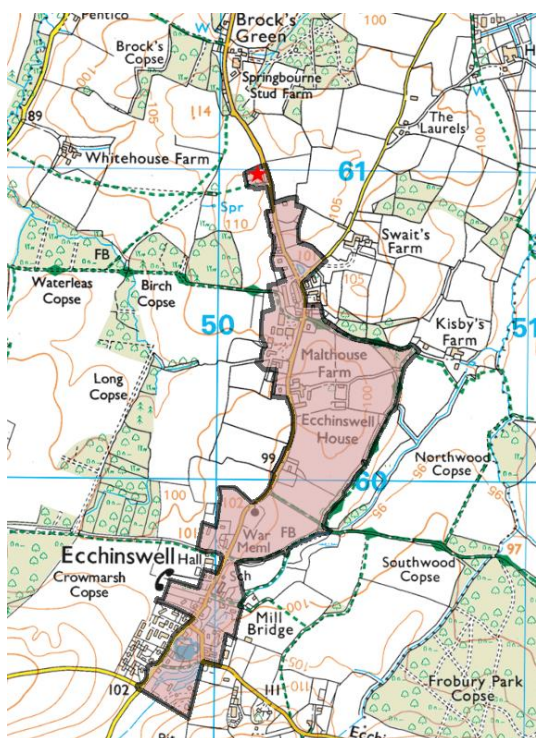


Figure 2 Proposed siting of dwelling with existing access onto Ecchinswell Road



- 1.4 As can be seen in Figure 3, the Site is within the Ecchinswell village envelope, and included within the Conservation Area Boundary.



*Figure 3 Ecchinswell Conservation Area Boundary*

- 1.5 Whilst being located within the village envelope, the Site is not within the limited 'settlement boundary' now defined in around a portion of Ecchinswell in the Ecchinswell, Sydmonton and Bishops Green Neighbourhood Plan (made 2023) ("NHP"). Therefore, despite forming part of a residential garden, the Site (and the north of Ecchinswell in general) is nonetheless classed as being in the 'countryside' for the purposes of planning policy.
- 1.6 The Ecchinswell Conservation Area Appraisal confirms that the Site is in the settlement; it states that the village of Ecchinswell is a linear settlement, with irregular and loosely formed clusters of buildings; it states that "Ratt's Cottages define the northern periphery of the settlement." (page 11).
- 1.7 The Site is outside of the North Wessex Downs AONB. It is in Flood Risk Zone 1 (lowest risk of flooding).



## PLANNING HISTORY

- 1.8 The Site is currently in lawful use as the residential garden of Ratts End House and features a garage and amenity landscape planting.
- 1.9 The relevant planning history of the Site is as follows:
- 22/02700/PIP – Permission in Principle for a minimum and maximum of 1 dwelling within the residential curtilage of Ratts End House (allowed on appeal 7 Sept 2023).
  - 20/03111/HSE - Erection of detached building forming garage/store with playroom above, following demolition of old garage and garden shed (Granted 20 January 2021).
  - 20/01376/HSE - Erection of replacement garage and store with playroom above in new location in rear garden, and demolition of old garage and garden shed (Withdrawn 18 August 2020).
  - T/00461/18/TCA – Removal of Oak Tree at front of the property in north west corner against the boundary fence which was suffering fungal decay and reduced structural integrity (removed in the interests of public safety) (No Objection Raised, 31 January 2019).

## THE PROPOSED DEVELOPMENT

- 1.10 The proposal is for one dwelling and detached garage, and associated infrastructure. The dwelling will be sited to the rear of the plot, so as to respect the linear row of cottages (Ratts Cottages) on the Echinswell Road frontage. The 4 bedroom, detached dwelling will be of brick construction and architectural detailing which is sympathetic to the host buildings. On the southern elevation, no windows are proposed to habitable rooms, to avoid any impacts in terms of overlooking/ privacy to neighbouring gardens. The scale of the proposed dwelling is considered appropriate when viewed in the context of the existing historic cottages and the more recent modern garage buildings to the rear.
- 1.11 When granting the PiP application, the Inspector was content that the Site can accommodate one dwelling, in an arrangement which is sympathetic to the host dwelling. He/she noted that



“the appeal site is a generous plot of land” (para 7); and that “the plot is sizeable, such that it could accommodate a single dwelling that is well-spaced from the existing terrace and the countryside setting at its respective side boundaries. The plot would be of sufficient size to accommodate hedging and soft landscape features reflective of existing positive features in the wider surrounding area.” (para 12). Furthermore the inspector stated that “with space around the proposed dwelling, the development would also be sympathetic to the existing well-spaced built form which characterises the wider area to the south of the appeal site.” (para 13) and even after subdivision, Ratts End House would still have a good sized rear garden, the new plot would benefit from a good sized garden, and the site would not appear over developed. (para 17). As such, the inspector concluded the site would be a suitable location for residential development.

- 1.12 At PiP stage an illustrative plan was included showing the dwelling on the site frontage but in light of feedback received, and the Design Code which has now been incorporated into the NHP, this proposal instead sites the dwelling further back on the plot so that a garden and parking area can be provided in front (as required by the Design Code) and the simple linear form of the existing cottages can be better appreciated.
- 1.13 The images below (Figures 4 and 5) show a visualisation of the view from the site frontage, showing the proposed dwelling recessed back to the rear of the site to maintain a subservient appearance and scale. The second shows the dwelling as viewed from the west looking back towards the rear gardens of Ratts Cottages, where more modern garage buildings have been approved and constructed.



Figure 4 View from Echinswell Road marked up to show siting of proposed dwelling in relation to Ratts End Cottage







*Figure 5 View from west of the site, looking back towards rear gardens of Ratts Cottages, showing proposed siting of house in relation to recently constructed garage buildings.*



## 2 PLANNING POLICY CONTEXT AND MATERIAL CONSIDERATIONS

2.1 Section 70 of the Town and Country Planning Act 1990 and Section 38(6) of the Planning and Compulsory Purchase Act 2004 require that planning applications should be determined in accordance with the Development Plan unless material considerations indicate otherwise. TDC Applications should therefore be determined in accordance with relevant policies in the Development Plan unless material considerations indicate otherwise.

### PLANNING POLICY CONTEXT

2.2 The relevant parts of the Development Plan, against which the Application is to be assessed, include the Basingstoke and Deane Local Plan (2011 – 2029) and the Ecchinswell, Sydmonton and Bishops Green Neighbourhood Plan (made 2023) (“NHP”).

#### Principle of Development

2.3 The principle of development has already been found to be acceptable. For completeness, we set out the basis for this below. We note that since the grant of PiP the NPPF has been altered, and BDBC now purports that it has the requisite 4 years’ housing land supply. Nevertheless, based on recent appeal decisions, it is clear that the key policies for delivery of housing are still out of date, as discussed below. In any event, any decision to revoke the grant of PiP would attract the need to pay compensation (as per Planning Practice Guidance detailed below).

2.4 Policy SD1 sets out a presumption in favour of development. In recent local appeal decisions<sup>1</sup>, inspectors have confirmed that Policy SD1 is engaged due to housing delivery policies in the district being out of date (due to overall shortfall of housing across the plan period). This means the Development Plan test for housing outside settlement boundaries is that permission should be granted for development unless the adverse effects of doing so would “significantly and demonstrably” outweigh the benefits. This test applies, regardless of the fact that the NPPF was recently changed and BDBC now need to maintain a 4 years’ supply of housing rather than 5 years. This also applies, irrespective of the fact that the parish now has a made neighbourhood

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<sup>1</sup> Watermill Bridge APP/H1705/W/23/3326191 decided 29 Jan 2024 ; Land at Inhurst Cottages APP/H1705/W/23/3314252 decided 26 Feb 2024.



plan (because paragraph 14 of the NPPF applies where para 11d of the NPPF is in operation). This is not a situation where the tilted balance in paragraph 11d comes into play; rather, the Development Plan itself (and specifically, Policy SD1) directs the approach which should be taken to the planning balance.

2.5 As confirmed when granting PiP for this proposal (Appeal Decision APP/ H1705/W/22/3313774), the principle of development of 1 dwelling on the Site is acceptable and is compliant with Policies SS6 and ESBG1. Policy SS6 allows for new housing in the countryside in certain circumstances; one of these is where i) the proposal involves the use of 'Previously Developed Land' ("PDL"); ii) would not result in an isolated form of development; iii) the site is not of high environmental value; and iv) the proposed use and scale of development is appropriate to the site's context. Policy ESBG1 of the Neighbourhood Plan echoes this, stating that the exceptions of Policy SS6 apply to housing in the countryside. The appeal decision confirmed that:

- The addition of 1 dwelling would be valuable to the borough (in the context of an undersupply of houses); and as a small site it could be built out relatively quickly;
- The site is 'Previously Developed Land' ("PDL") within the NPPF definition, as it is a residential garden, containing structures, and is not within a built up area. The Inspector agreed that the proposal for 1 dwelling would be "an efficient use of this PDL" (para 22 appeal decision);
- The new dwelling would not be an isolated home for the purposes of para 80 NPPF (now para 84 in 2023 version of the NPPF); and
- The PiP proposal satisfied the requirements of Policy SS6 and ESBG1 (as set out in paragraph 27 of the appeal decision): the site is PDL, the proposal would not result in harm to the character of the designated heritage asset of the open countryside setting (subject to TDC details).

### Technical Details



2.6 The following policies (assessed further below) are of particular relevance to this TDC Application.

**EM1 – Landscape:** development to be sympathetic to character and visual quality of the area (respect/ enhance/ not be detrimental to). This is supplemented by the Landscape, Biodiversity and Trees SPD 2018, which is a material consideration (rather than Development Plan policy).

**EM4 – Biodiversity** – avoid significant harm/ mitigate; contribute, where possible, to net gains in biodiversity. The above SPD is also a material consideration; it seeks ‘a measurable net gain’ in biodiversity on sites *over* 0.1.ha. The new development site (0.1ha) sits just below this threshold.

**EM10 – High Quality Development** - developments should be design-led, and positively contribute to local distinctiveness. They should be visually attractive as a result of good architecture.

**EM11 – Historic Environment** – proposals must conserve or enhance the quality of heritage assets, including Conservation Areas. Proposals must demonstrate an understanding of the character and setting of Conservation Areas and respect the historic interest and local character and ensure the use of appropriate materials, design and detailing.

**ESBG5 -ESBG7: Design Quality** in the Parish and in the Conservation Area Policy; design code of new buildings; requirement to sustain and enhance the significance of the Conservation Area, and proactively engage with the community.

**ESBG13: Landscape and Key Views** – conserve and enhance the landscape; have regard to the Landscape, Biodiversity and Trees Supplementary Planning Document (SPD) and cause no harm to the natural or historic landscape features contributing to key views. The nearest ‘key view’ to the Site is to the south west, as discussed further below.

**ESBG15: Dark Skies** – development should be designed to minimise light pollution; utilising energy efficient lighting; including information with applications.



**ESBG16: Zero Carbon Buildings** – development is encouraged to be ‘zero carbon ready; to minimise energy requirements for heating and cooling (via landform/ layout, building orientation/ massing and landscaping). This proposal includes solar panels on the south and west facing roof elevations (so as not to face the road). Wherever possible, the development will seek to include energy-efficient technology.

**ESBG17: Active and Sustainable Travel** – new residential development should provide access to the local road network in a way that mitigates potential adverse effects, and takes account of the needs of pedestrians and cycles, parking should meet the Council’s standards.

**ESBG12: Green Infrastructure Network and Nature Recovery** – on sites over 0.1ha the biodiversity value mitigation hierarchy must be applied and a biodiversity net gain plan must be submitted and secured by condition.

## **MATERIAL CONSIDERATIONS**

### ***National Planning Policy Framework***

2.7 The National Planning Policy Framework (NPPF) (2023) is also a material consideration. The sections of the NPPF which are of particular relevance to the TDC stage at this site are:

- Ensure safe and suitable site access for all users (para 114);
- Development should only be refused on highway grounds if there would be an unacceptable impact on highway safety (para 115);
- Give substantial weight to the value of using suitable brownfield land within settlements for homes (para 124);
- Make efficient use of land (appropriate density) taking account of desirability of maintaining an area’s prevailing character and setting; avoid building homes at low density where there is a shortage of land for meeting identified housing needs; make optimal use of the potential of each site (para 128);



- Ensure developments will function well and add to the overall quality of the area, and are visually attractive as a result of good architecture, layout and appropriate and effective landscaping; they should be sympathetic to local character and historic, whilst not preventing innovation or change; create places with high standards of amenity (para 135);
- Significant weight should be given to development which reflects local design policies and government guidance on design; and to outstanding or innovative designs which promote high levels of sustainability and raise the standard of design in the area (para 139).
- Recognise the intrinsic character and beauty of the countryside (para 180);
- Harm to biodiversity should be avoided, mitigated or compensated for; opportunities should be taken to improve biodiversity – especially where this can secure measurable net gains for biodiversity (para 186);
- Heritage assets are an irreplaceable resource and should be conserved in a manner appropriate to their significance (para 195);
- Applicants should describe the significance of heritage assets; the level of detail should be proportionate to the asset’s importance and no more than is sufficient to understand the potential impact on that significance (para 200);
- Take account of the desirability of sustaining and enhancing the significance of heritage assets; new development can make a positive contribution to local character and distinctiveness (para 203).
- Not all elements of a Conservation Area will necessarily contribute to its significance (para 213).

### *Planning Practice Guidance*

- 2.8 There is planning practice guidance (“PPG”) on the ‘Permission in Principle’ consent pathway which is of relevance. This confirms that the grant of TDC has the effect of granting planning



permission for the development. A TDC application must be decided in accordance with the terms of the PiP which has been granted (Paragraph: 015 Reference ID: 58-015-20170728 Revision date: 28 07 2017); the timeframe for processing a TDC application is 5 weeks (Paragraph: 017 Reference ID: 58-017-20180615 Revision date: 15 06 2018). Conditions can be added to the grant of TDC, where necessary (Paragraph: 021 Reference ID: 58-021-20170728 Revision date: 28 07 2017). Whilst LPAs have the power to modify or revoke a grant of PiP (under s97 TCPA 1990), compensation may be payable, and these powers should only be exercised in exceptional circumstances. (Paragraph: 027 Reference ID: 58-027-20180615 Revision date: 15 06 2018)

## **KEY ISSUES FOR DETERMINATION**

### **Landscape and Visual Impact**

- 2.9 Policy EM1 of the Local Plan (2011-2029) requires that development be sympathetic to the character and visual quality of the area concerned; Policy ESG13 of the Neighbourhood Plan requires no harm to key views.
- 2.10 The nearest key view is to the south west of the Site, looking to the rear of the gardens of Ratts Cottages (Figure 8). It is clear from Figure 5, above, and from the photograph of the western site boundary (in Figure 8) that the dwelling would be viewed in the context of the existing built form, which includes recent modern development of garage buildings to the rear of the cottages, so the proposed dwelling would be viewed in this context. It is also proposed to plant additional species-rich native hedgerow along the western boundary (and the northern boundary) to provide further visual screening. As such, there would be no harm to this key view, and the development will be sympathetic to the character and visual quality of the area. The policy tests are met.



Figure 6: Left: Key Views in the Neighbourhood Plan (orange); site location (red). Right: The western site boundary.

## 2.11 In granting PiP, the inspector was content that the visual impact could be satisfactory:

14. Viewed from the two nearby Public Right of Ways, the addition would be seen contained in an existing garden. Given the amount of development proposed, from these vantage points which include the identified key view from the edge of the Copse, the dwelling would appear as part of a small group of built forms and would not appear out of keeping with the existing limited and linear pattern of development characteristic in this area. Moreover, contained in the garden, the development would not harmfully encroach into the valued open land that provides the setting of this site and the wider terrace in this prominent location. Thus, the undeveloped quality of the wider area would be largely retained.

15. Furthermore, with space around the proposed dwelling, the development would also be sympathetic to the existing well-spaced built form which characterises the wider area to the south of the appeal site, and, in this regard, the proposal would not harmfully disrupt rural vistas along the lane.

## 2.12 Policy ESG15 also requires that development is designed to minimise light pollution. No external lighting is proposed with this application, so as to minimise light spill and the impact of lighting on dark night skies. The dwelling itself will be viewed in the context of other existing built form, when viewed from the countryside to the west and north. Landscaping and biodiversity enhancement has been proposed, including the introduction of species rich hedgerow which will assist with screening of views from the west and north.

### **Biodiversity and Trees**

## 2.13 As set out in Policy EM4, all development should avoid significant harm to biodiversity. This application is supported by an ecology report, prepared by AEWK Consultants (December 2023). This confirmed that there is no evidence of bat roosts in the existing or new garage at Ratts End House; and there is negligible potential for bats due to lack of suitable roosting features. There





was no evidence of protected species in the structures or areas to be impacted by the proposal. The report did note the presence of some gardening waste (log/ woodchip piles) which could hold potential for reptiles, so recommended a precautionary method statement, which is set in paragraph 6.9 of the report.

- 2.14 Policy EM4 also requires a measurable net gain in biodiversity on sites over 0.1ha; which is replicated in ESG12 of the Neighbourhood Plan. These policies were adopted prior to the regulations for Biodiversity Net Gain being published and coming into force in early 2024. As enacted, small sites will be required to provide a 10% gain only if submitted after 2 April 2024.
- 2.15 Self-Build proposals, such as this, have been exempted from the requirement to provide a 10% gain. Furthermore, the new plot is 0.1ha in size so does not trigger the NHP/ SPD requirement for sites 'over' 0.1ha. Nevertheless, the applicant has engaged an ecological consultant to develop a biodiversity enhancement strategy to ensure the development makes a contribution to biodiversity enhancement and delivers a net gain. The enhancement strategy is submitted with the application; figure 4 in that report sets out the proposed ecological enhancements which include proposed tree planting (which will also screen the new dwelling from Ratts Cottages), the addition of species-rich hedgerow along the western boundary of both the existing and new dwelling plots and also around the northern-eastern corner of the site. A pond will also be introduced to further boost biodiversity on the site. The contents of this strategy can be secured by s106 and thereby secure a measurable improvement in biodiversity. It is the applicant's intention to reside in the new dwelling; so they are able to commit to the longer term management of the new habitat.

### **Design**

- 2.16 Policy EM10 requires that development be responsive to its context, with high quality design which contributes to local distinctiveness, provides a high quality of amenity for occupants and neighbours, and which is visually attractive. Policies ESG 5-7 provide further design policy and provide the basis for an overarching Design Code which is provided in Appendix B to the neighbourhood plan.



- 2.17 The proposed design has been developed having carefully reviewed the content of the Design Code, and having assessed and appraised the local context, in terms of scale, orientation of buildings, building materials and architectural styles and details.
- 2.18 As noted in the Design Code dwellings in the area are typically detached or semi-detached. In the peripheral areas of the settlement, large detached dwellings with ancillary buildings and gardens are typical (as is the case here). Plots sizes are stated to be large, which is consistent with the proposal. The Design Code notes that there is individuality in terms of orientation of buildings to the road, and that this contributes to the character of the settlement. It also notes a variety of architectural designs and form/ materials. The presence of brickwork in flemish bond with blue headers is noted, and this is present at Ratts Cottages. Roofing materials are also stated to vary, but are typically red clay or slate roofing types. Windows are predominantly sash and casement windows, but again, the Design Code notes varied sizes and shapes which adds to the distinctive character of the settlement. Pitched roof porches are also noted to be present. The proposal would deliver a dwelling of brick construction with pitched roof, with plain clay roof tiles. The fenestration would have a brick arched header course; A small area would be timber clad (in natural timber).
- 2.19 The Design Code also notes that building lines vary in the settlement, with some set back from the road with front gardens and parking in front. Most properties front on to the road although there are exceptions. Boundary treatments tend to include hedges, fences and railings. In this case it is proposed to position the dwelling further back on the Site, to provide parking area and garden in front. At PiP stage an illustrative plan was provided showing the dwelling positioned in line with the existing building line, which was resisted by the Council. The officer's report stated that "The terraced properties [Ratts Cottages] are separated and divorced from the surrounding built form and are simple linear buildings", so it is apparent that the proposal should seek to ensure the terrace is still viewed as a separate group of buildings, rather than seeking to continue this building line. The inspector, when granting PiP, noted that the terrace is a prominent feature when approaching the settlement (ie. driving south into Ecchinswell) and therefore, this design seeks to retain this key view of the terrace, with the proposed dwelling set further back onto the site.



2.20 Section 4 of the Design Code sets out specific expectations for new development. Key principles, of relevance here and which have influenced the design, include:

- 01a: consider the character and appearance of the Conservation Area; avoid merging distinctive settlements. *A heritage statement is provided below; the proposal will not cause any risk of merging.*
- 01b: respect landscape gaps between settlements. *The site is a residential garden, so is part of the built up part of the settlement rather than an open undeveloped gap between settlements.*
- 02a: retain mature planting/ provide new planting to integrate new development into the landscape/ provide biodiversity; avoid loss of hedgerow; respect field boundaries; new development should be stepped back from the road to create space for street trees and front gardens which contribute to the rural character. *A biodiversity enhancement strategy has been prepared and submitted with the application, detailing the additional species rich hedgerow and tree planting to be provided on the site. The dwelling will be set back to allow for a front garden which contributes to the rural character.*
- 03a: respond positively to type/ scale/ form of buildings; emphasise the historic and rural character and complement existing properties; new development should not exceed two storeys. *The dwelling is a two storey 4 bedroom dwelling, consistent with the prevailing character. The detailing has been selected to complement and reflect the rural character via the use of natural materials.*
- 03b: development should have large front and rear gardens and on plot parking. *The site allows for large garden and on plot parking.*
- 04a: building lines/ orientations should be appropriate to the character in which it sits. *As set out above, the building line/ orientation has been selected to maintain views to the terrace (Ratts Cottage) as a single entity. Setting the dwelling further back on the plot is an appropriate response to the heritage considerations at the site.*



- 04b: set buildings back from the road behind a boundary hedge/ private driveway with large front garden. *The dwelling will be set back with large front garden and boundary hedge. Screening will also be provided by Hazel scrub in addition to hedging and birch trees at the frontage.*
- 05a: use similar design language/ materials and detailing as others in the area so as to integrate; non-designated heritage assets should be a consideration when designing new buildings (in terms of siting/ design); Red clay roofing tiles are encouraged as the main roofing material. An array of roof pitches and styles should be used to add to the varied roof line; small scale brick porches should be considered; new development should incorporate red brickwork with flemish bond and blue headers/ flint. *The dwelling takes its cue from others in the locality, using brick construction and clay tile roofing, with a small scale porch.*
- 06a: provide on plot parking and bin and bike stores in gardens (to avoid unnecessary street clutter). *On plot parking is available, along with adequate space for bin and bike stores, behind the proposed garage so that these are screened from the road.*
- 07a: reduce light spill by minimising glass panes/ windows doors and use downward directional lights and bollards. No security lights; lights should be warm toned. The setting of heritage assets is a key considering in the siting of new development. *No external lighting is proposed, and fenestration has been designed to limit light spill impacts in the Conservation Area. To the rear the dwelling will be well screened by existing and proposed vegetation.*
- 07b: development should not excessively limit views into surrounding landscape from Ecchinswell Road. *The Site has mature landscaping which screens views from the public realm (as opposed to view from the private gardens) to some extent, when viewed from the road.*
- 08b: sustainable use of water/ SUDS/ permeable paving and EV charging points; *Permeable driveway will be utilised and rainwater collection on the garage; EV charging will be provided adjacent to the garage/ parking area.*



## **Heritage**

2.21 Policy EM11 requires that proposals conserve or enhance the quality of heritage assets, including Conservation Areas. Proposals must demonstrate an understanding of the character and setting of Conservation Areas and respect the historic interest and local character and ensure the use of appropriate materials, design and detailing. A Heritage Statement is provided in Section 3 of this report. In summary, the proposal will preserve the positive attributes that contribute to the significance of this part of the Conservation Area and the wider rural character of the area.



### 3 HERITAGE STATEMENT

- 3.1 The Site is within the Echchinswell Conservation Area (at its northern most extent). The Planning (Listed Building and Conservation Areas) Act 1990 requires that special attention be paid to the desirability of preserving and enhancing the character of Conservation Area (s72).The NPPF states (at paragraph 213) that “not all elements of a Conservation Area...will necessarily contribute to its significance.” Paragraph 212 states that proposals which make a positive contribution to a Conservation Area (or which better reveal its significance) should be treated favourably. The inspector who granted the PiP was content that given the plot size, and significance of the Conservation Area, a suitable sympathetic design could make a positive contribution to the Conservation Area here.
- 3.2 Figure 9 provides an extract of the Conservation Area Map. Ratts Cottages are not listed, but are notable buildings as indicated by the yellow shading. The nearest Listed Building is Hillside Cottage (approximately 150m south of the Site). Given the distance, and the extent of mature landscaping between the cottage, and the rear gardens of Ratts Cottages, the site is not considered to be within the setting of the latter. Therefore, the primary considerations, in heritage terms, are the impact on the character of the Conservation Area, and on the unlisted Ratts Cottages which are specifically noted as contributing to the character of the Conservation Area.



Figure 7 Conservation Area map

- 3.3 In terms of the character of Ratt's Cottages, the Conservation Area Appraisal notes that the "once symmetrical central section of the row are contemporary to Briar Malthouse Cottages and share similar details such as : the red brick walking in Flemish bond with blue headers, a flush first floor band in blue brick, and similar porch design. However, of lesser quality than their counterparts, they have simple cambered arches over the cast iron casement windows in contrast to rubbed flat arches and low pitched slate roof with simple stacks." It goes on to note that the presence of Flemish bond with blue headers is a notable feature which contributes to the special character and appearance of the Conservation Area, along with red clay roof tiles on many of these buildings.
- 3.4 The view from Echinswell Road south towards Ratts End cottage is a noted viewpoint in the Conservation Area Appraisal. The map also identifies an open vista on the opposite side of Echinswell Road although this openness has been reduced by the growth of hedgerow over the years.
- 3.5 In terms of plot layout, an important part of the character of the Conservation Area is " the loose grained arrangement of buildings in large individual plots, often set back from the roadside by



front gardens” which the Conservation Area Appraisal notes makes a significant contribution to the special character and appearance of the settlement. (page 12). The Site boundary is sufficiently large to be consistent with these established grain, delivering a large plot for an individual dwelling, which could be set back from the road side.

- 3.6 In granting permission for a replacement garage for Ratts End House (20/03111/HSE) the Council has considered whether some development could be accommodated on land adjacent to Ratts Cottages, without adverse impact on heritage assets, and found that it could (hence granting permission for the new garage). The new garage is now located to the rear of the existing buildings.
- 3.7 When granting PiP, the Planning Inspector considered whether a dwelling could come forward on this site without unacceptable impact on the Conservation Area, or Ratts Cottages. The Inspector was of the view that the terrace has “a traditional cottage aesthetic” with “historic interest that positively contributes to the significance” of this part of the Conservation Area. The simple linear pattern of the trace was noted to be a “distinct feature that positively characterises this area.” The inspector also commented that the general rural quality of the area “is derived from the limited and well-spaced arrangement of buildings, the fields that divide these few properties, established hedgerows and mature trees”. At paragraph 12 of the appeal decision, the inspector noted that the plot for the new dwelling would be “sizeable” and could accommodate a single dwelling which is well spaced from the existing terrace and also the countryside setting at the side boundaries. The plot would also be large enough to accommodate additional hedgerow planting and soft landscaping, which would enhance these positive features of the Conservation Area. The plot was considered large enough that a dwelling could be accommodated whilst retaining the simple linear pattern of development at the site frontage (ie, with the new dwelling being positioned further back on the site). The inspector was of the view that “subject to a design being agreed that is sensitive to the modest traditional rural architectural aesthetic of the existing terrace, the site could absorb an additional dwelling without visually dominating the notable building” and that this would “ensure that the historic interest that the existing terrace contributes to the significance of this part of the CA [Conservation Area] would continue to be appreciated from identified viewpoints in the lane,





facing the building.” IN considering views from the countryside around the Site, looking back towards the built form, the inspector was content that:

*“the dwelling would appear as part of a small group of built forms and would not appear out of keeping with the existing limited and linear pattern of development characteristic in this area. Moreover, contained in the garden, the development would not harmfully encroach into the valued open land that provides the setting of this site and the wider terrace in this prominent location. Thus, the undeveloped quality of the wider area would be largely retained.”*

3.8 The Council has also approved an outbuilding to the rear of 2 Ratts Cottages (as seen in Figure 5); which raised no objection in heritage terms. The Historic Environment officer’s response indicated that the proposal was sufficient distance from the row of cottages to preserve their interest, and therefore that proposal would preserve the character and appearance of the Conservation Area. A similar conclusion can be reached in respect of this proposal.

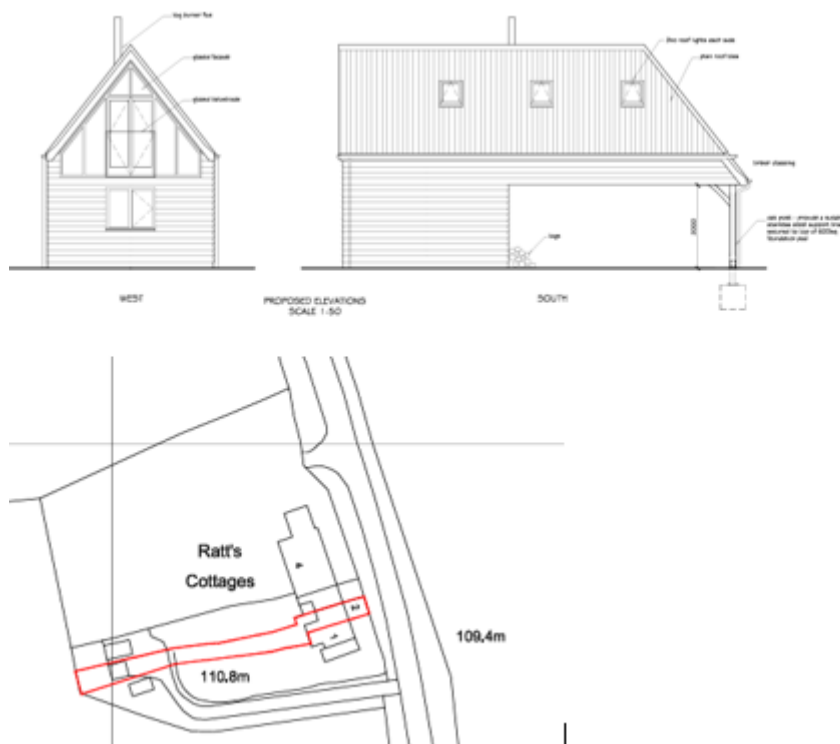


Figure 8 Approved Outbuilding to the Rear of 2 Ratts Cottages



3.9 Therefore, in conclusion, the proposal would preserve the positive attributes that contribute to the significance of this part of the Conservation Area and the wider rural character of the area.



## 4 PLANNING BALANCE AND CONCLUSIONS

- 4.1 As PiP has already been granted for this proposal, the key issues for consideration are the technical details of the proposed dwelling. In particular, the key issues for determination relate to landscape and visual impact, heritage (an impacts on the Conservation Area); design; biodiversity and trees and landscape.
- 4.2 The Site is within the Conservation Area, at its northern most extent, with notable buildings (but not listed buildings) immediately adjacent to the south and open countryside (outside the Conservation Area) to the north, west and east. The Council has recently accepted the development of a garage of 6m height on land to the rear of Ratts End House, accepting that this would have an acceptable impact on Ratts Cottages and the Conservation Area. In addition, another double storey garage (with glazing at first floor level) has been built to the rear of 2 Ratts Cottages (BDBC Reference 22/02846/HSE) as visible in Figure 5 above and shown in Figure 8. The Historic Environment officer raised no objection to that proposal, on the basis that there is already a cluster of outbuildings in the area, and the building would preserve the character and appearance of the Conservation Area; the officer also considered that the outbuilding (for use as garage and studio) was far enough away from Ratts Cottages so as to preserve their interest).
- 4.3 The proposed siting of the additional dwelling, to the rear of the Site, can also be accommodated without unacceptable impact on the Conservation Area. As was noted by the Inspector when granting PiP for this dwelling, development to this scale on a plot of this size would preserve the positive attributes that contribute to the significance of the Conservation Area and the wider rural character of the area.
- 4.4 Design: the design has been informed by the Design Code contained within the Neighbourhood Plan and a careful review of the local context in terms of orientation, building lines, architectural styles and forms and building materials.
- 4.1 Biodiversity and Trees: the proposal is supported by a preliminary Ecological Appraisal, Tree Survey and Arboricultural Impact Assessment. A biodiversity enhancement plan has also been



prepared to deliver enhancement of the habitats on site, including the planting of species-rich hedgerow along the western and north-eastern corner of the site, and additional tree planting between the dwellings. a pond will also be provided to further boost biodiversity. As a self build dwelling, the proposal is exempt from the statutory mandatory requirement for 10% net gain in biodiversity. The new plot is also below the 0.1ha+ trigger contained in the Neighbourhood Plan and the Council's SPD.

- 4.2 In conclusion, the proposal complies with all relevant policy and will deliver one dwelling which is sympathetic to the rural character of the area and positively contributes to the features of the Conservation Area. Relevant development plan policy, and other material considerations, support the grant of permission.