

FLOOD RISK ASSESSMENT

March 2024

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1 – DESCRIPTION OF SITE

The site is located in The Grove off Vicarage road as indicated on the location plan attached. The existing dwelling is of two stories in a terrace. The building is within the built up area and was constructed probably around 1950 of rendered block walls with a concrete tiled roof. The garden slopes down to the river a

2 - PROPOSAL

The proposal is to retain a build deck on the boundary of the property on land to be leased from EDDC

3 - ACCESS

The existing access to and within the site and dwelling will remain unchanged. Access to the deck is from the garden and steps down to the river bank level.

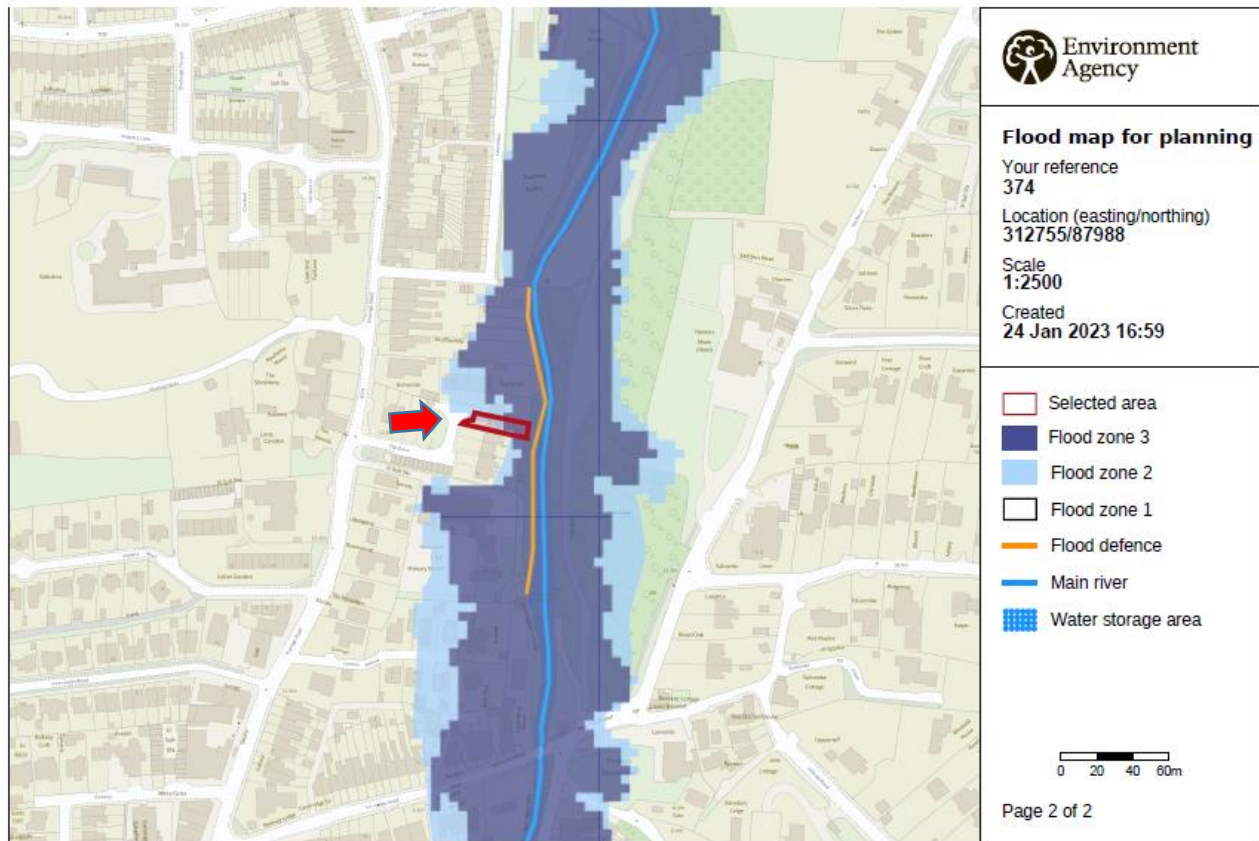
4 – FLOOD ZONE

The property appears to lie with the majority of the house in zone 1, part of the house and garden in zone 2 and part of the garden within Flood zone 3 as indicated on the map below. However the EDDC interactive local plan map indicates that the property is within flood zone 2. It does appear somewhat arbitrary as the neighbouring attached property appears to be in zone 1 and at the same level.

The deck is in flood zone 3 but only consists of supporting posts at the lower level. As indicated the bank of the river has been reinforced providing flood defences.

Oliver Salter

Proposed Deck at 10 The Grove, Sidmouth, Devon EX10 8UL.



5 – HISTORY

As far as we are aware and following some research there is no record of this property or the garden previously flooding. As indicated there are defences in place with the bank reinforced and there is than a further rising area to the property boundary. As the level of the deck is above the Byes on the opposite side of the river this would flood before the deck.

6 – SURFACE WATER DRAINAGE

There will be no change in any surface water run off as the deck has gaps for the water to penetrate with the ground below acting as a soakaway as currently, therefore there will be no change to the surrounding area and properties.

7 – FLOOD RISK

Due to the above there appears to be a very low risk of flooding from the river Sid. In any event there is no greater risk than exists at present for the garden of the property which obviously would not be used in storm conditions and there will be no increase in flood risk to the property or to the surrounding area.

8 – SUMMARY

The proposal is within the built-up area of Sidmouth and the property is at no greater risk from flooding than exists at present and unlikely to be flooded in a 1:100 year occurrence. There will be no increase in flood risk to the surrounding area or buildings.

Oliver Salter

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