



**Stables at White House
The Street
Ash
Kent TN15 7HB**



**Application for Prior Approval for the Conversion of an Agricultural Building to
1 Residential Dwelling under Schedule 2, Part 3, Class Q of the General
Permitted Development Order**

March 2024



Project: 24007 White House

Reference: 24007-PAC

Document status: PAC_Q Application

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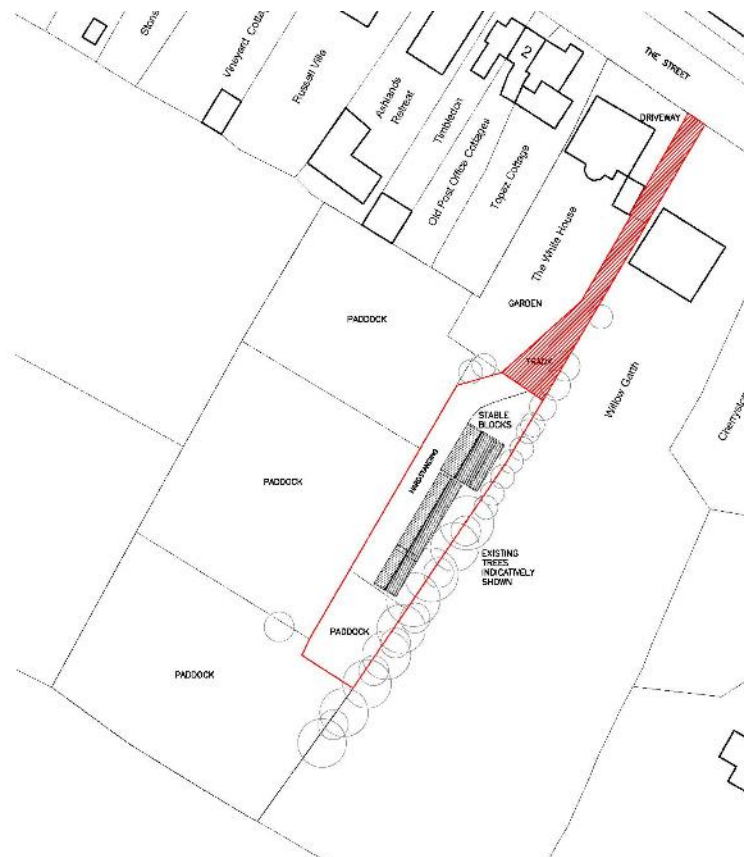
Introduction

This statement is made in support of an application for Prior Approval under Schedule 2 Part 3, Class Q of the General Permitted Development Order.

The property in relation to this application comprises of detached agricultural building/s of timber frame construction used primarily as stables. The stable block is located on the eastern boundary of the site within the curtilage of White House comprising of a residential property, gardens and paddocks. The stable block is set some way back from the road with a continuous concrete base along the frontage of all stables onto an access-way formed of loose plainings and hardcore, leading to The Street. The stable blocks have been used for such purposes from their construction until the present day.

The property is located within the Green Belt but outside of the zone designated as Area of Outstanding Natural Beauty (AONB).

The proposed site for the converted stable block is edged red on the site location plan below.





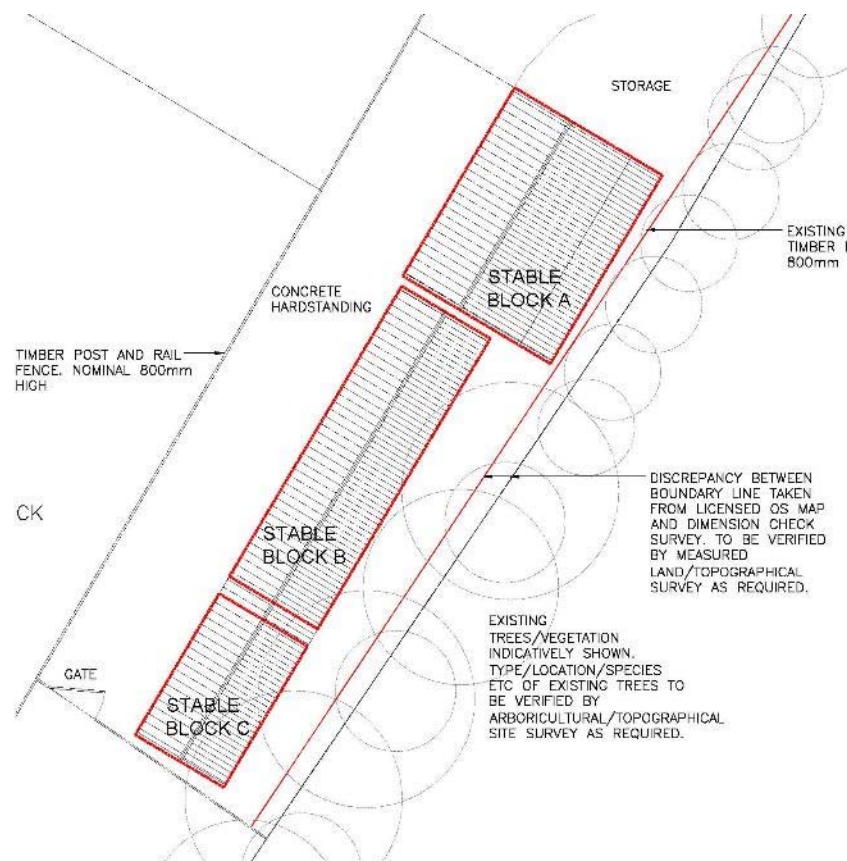
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The Site

For the purposes of this application the building has been separated into stable blocks and labelled A, B & C as per the block plan below;



Existing

The existing building consists of three separate stable blocks used to house and care for horses kept at the site. The stable blocks are a mixture of separate stalls for individual horses and storage for feed and tack.

Stable Block A and Stable Block B are understood to have been constructed in the 1960's, exact date unknown. They are detached timber frame buildings with large overhanging eaves to the front elevation and a covered external storage area to the rear of Block A.



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Stable Block C is understood to have been constructed 2009, exact date unknown. This is also a timber frame building with large overhanging eaves to the front elevation. Block C is detached from Stable Block B albeit with a continuous pitched metal profile sheet roof that spans across both blocks. Stable A has a pitched cement-fibre sheet roof.

All doors/windows/window openings/shutters and external cladding are constructed in timber.

All stables lead out onto a concrete hardstanding which leads directly to the adjoining paddocks.

Proposed

The application seeks to convert the existing stable blocks into a single detached dwelling. The blocks will remain separate but will form one dwelling house.

The external appearance would be amended as required to upgrade the existing structure into a habitable dwelling. The materials used will be closely matched to the existing to enhance its appearance so that it assimilates well and makes a positive contribution to its rural surroundings as illustrated on the enclosed drawings.

In all the proposed development creates a total footprint below 465m² and thereby is deemed to comply with the requirements of Class Q of the General Permitted Development Order. There is no agricultural tenancy in place on the building, nor was one terminated within the last year. It should be noted that no development within Class A(a) or Class B(a) of Part 6 of the Town and Country Planning (General Permitted Development) (England) Order 2015 (amended) has been carried out on the land and building associated with this application since at least 20th March 2013.

Planning History

We have made a search of the Sevenoaks District Council's on-line planning portal and have found the following planning applications in relation to the site address:

Ref. No: 03/02240/FUL – Equestrian ménage, for private purposes | Received: Fri 19 Sep 2003 | Validated: Fri 19 Sep 2003 | Status: Granted

Ref. No: 91/00707/HIST – Kitchen extension (dwellinghouse) | Received: Fri 17 May 1991 | Validated: Fri 17 May 1991 | Status: Granted

Ref. No: 79/00900/HIST – Extension to side of dwellinghouse | Received: Tue 19 Jun 1979 | Validated: Tue 19 Jun 1979 | Status: Granted



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Schedule 2, Part 3, Class Q

The proposal is deemed to meet the requirements of Schedule 2 Part 3 Class Q of the General Permitted Development Order as set out below;

Development not permitted

Q.1 *Development is not permitted by Class Q if—*

(a) the site was not used solely for an agricultural use as part of an established agricultural unit—

(i) on 20th March 2013, or

The buildings were built prior to 2013 at various times and have been in constant agricultural use until the present day.

(ii) in the case of a building which was in use before that date but was not in use on that date, when it was last in use,

Not applicable.

or

(iii) in the case of a site which was brought into use after 20th March 2013, for a period of at least 10 years before the date development under Class Q begins;

Not applicable.

(b) the cumulative floor space of the existing building or buildings changing use under Class Q within an established agricultural unit exceeds 450 square metres;

The cumulative floor space of the existing buildings does not exceed 450 square metres.

(c) the cumulative number of separate dwellinghouses developed under Class Q within an established agricultural unit exceeds 3;

The proposal is for a single dwellinghouse.

(d) the site is occupied under an agricultural tenancy, unless the express consent of both the landlord and the tenant has been obtained;

The site is not occupied under an agricultural tenancy.

(e) less than 1 year before the date development begins—

(i) an agricultural tenancy over the site has been terminated, and

(ii) the termination was for the purpose of carrying out development under Class Q,



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unless both the landlord and the tenant have agreed in writing that the site is no longer required for agricultural use;

The site is not occupied under an agricultural tenancy nor has such a tenancy been terminated in the preceding year.

(f) development under Class A(a) or Class B(a) of Part 6 of this Schedule (agricultural buildings and operations) has been carried out on the established agricultural unit—

(i) since 20th March 2013; or

(ii) where development under Class Q begins after 20th March 2023, during the period which is 10 years before the date development under Class Q begins;

The site has had no works covered under the above classes since at least 20th March 2013 and has had no works covered under the above classes since at least 20th March 2013.

(g) the development would result in the external dimensions of the building extending beyond the external dimensions of the existing building at any given point;

The proposal would not result in the external dimensions extending beyond the external dimensions of the existing buildings.

(h) the development under Class Q (together with any previous development under Class Q) would result in a building or buildings having more than 450 square metres of floor space having a use falling within Class C3 (dwellinghouses) of the Schedule to the Use Classes Order;

(i) the development under Class Q(b) would consist of building operations other than—

(i) the installation or replacement of—

(aa) windows, doors, roofs, or exterior walls, or

(bb) water, drainage, electricity, gas or other services,

to the extent reasonably necessary for the building to function as a dwellinghouse; and

(ii) partial demolition to the extent reasonably necessary to carry out building operations allowed by paragraph Q.1(i)(i);

The proposal would not exceed the limitations set out within the requirements of Class Q.

(j) the site is on article 2(3) land;

The site is not on article 2(3) land.



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(k) the site is, or forms part of—

- (i) a site of special scientific interest;*
- (ii) a safety hazard area;*
- (iii) a military explosives storage area;*

The site is not an SSSI, safety hazard area nor military explosives storage area.

(l) the site is, or contains, a scheduled monument; or

The site is not a scheduled monument.

(m) the building is a listed building.

The building is not listed.

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Conditions

Q.2—(1) *Where the development proposed is development under Class Q(a) together with development under Class Q(b), development is permitted subject to the condition that before beginning the development, the developer must apply to the local planning authority for a determination as to whether the prior approval of the authority will be required as to—*

(a) transport and highways impacts of the development,

The building would be accessed via a shared driveway and then existing hardstanding and gravel track directly from The Street via the existing entrance. The entrance currently serves the existing dwelling, White House, and has good visibility in both directions and is considered adequate to serve the minimal increase in vehicular movements to the proposed development.

The proposed development is a two bedroom dwelling house and an estimated number of vehicles trips associated with this dwelling being in the order of 3-4 per day. This small number of traffic movements will have minimal impact on The Street in terms of flow of traffic and/or capacity of the existing local highway network.

(b) noise impacts of the development,



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The introduction of a single additional dwelling in this location will not result in any increase in noise, given the nature of the use and its distance from all neighbouring dwellinghouses.

(c)contamination risks on the site,

The site has no history of previous uses that might have resulted in any contamination risks to the property or surrounding land.

(d)flooding risks on the site,

The Environment Agency Flood Risk Map for Planning indicates that the proposed site does not fall within either Flood Zone 3 or Flood Zone 2. Accordingly, the site is considered to be at very low risk of flooding from rivers and therefore no further flood risk assessment is needed.

As regards to surface water run-off, the development will not involve increases in impermeable areas and will therefore not increase run off rates or volumes.

(e)whether the location or siting of the building makes it otherwise impractical or undesirable for the building to change from agricultural use to a use falling within Class C3 (dwellinghouses) of the Schedule to the Use Classes Order, and

The proposed location of the building does not make it impractical or undesirable for the building to change from agricultural use to a use falling within Class C3 (dwellinghouses).

(f)the design or external appearance of the building,

The external appearance of the building will be changed as part of this proposal to enhance its appearance so that it assimilates well and makes a positive contribution to its rural surroundings as illustrated on the enclosed drawings.

The proposed alterations to the building are minimal and fall within the permitted associated building operations included within Part 3 Class Q. As such, it is considered there is no such issue arising in this subsequent application.

It is considered that the proposal would incorporate an appropriate design within this setting, with the proposed changes falling within the requirements of Class Q and providing an enhancement of the immediate setting.

and the provisions of paragraph W (prior approval) of this Part apply in relation to that application.

The proposal incorporates sufficient natural light for the proposed conversion with each habitable room served by a window or a roof light.



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Conclusion

We consider the above proposal is in accordance with the requirements of Class Q of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended).

We therefore trust that this application does not require any additional prior approval and is confirmed as Class Q permitted development.



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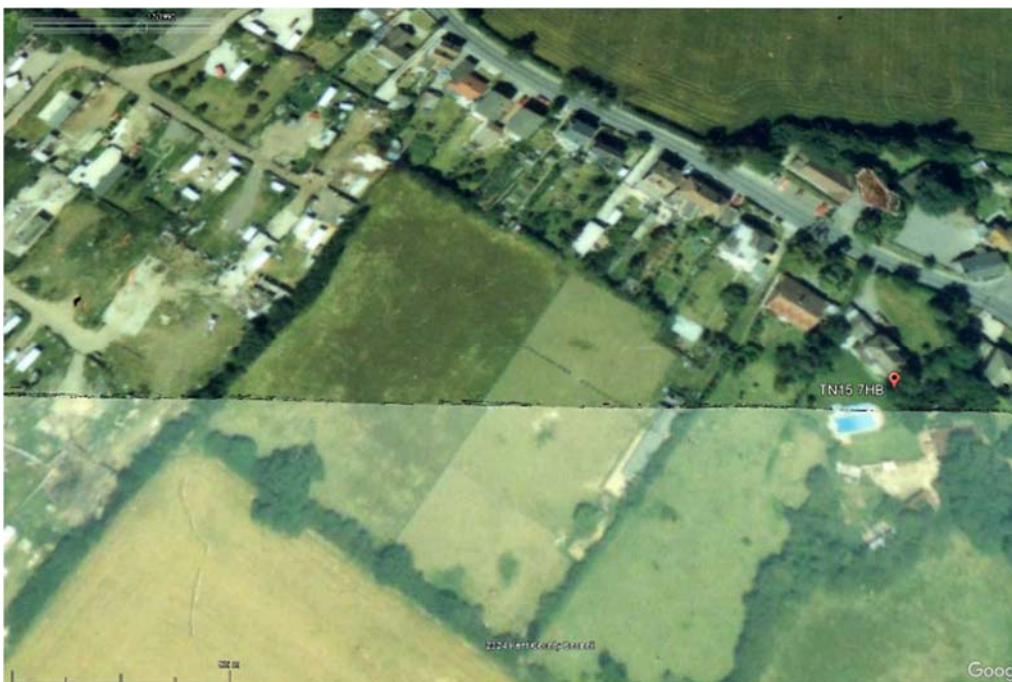
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Photographs



Google Earth Photograph c. 1960



Google Earth Photograph c. 1990



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Google Earth Photograph c. 2007



Google Earth Photograph c. 2013



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Aerial photograph from March 2024