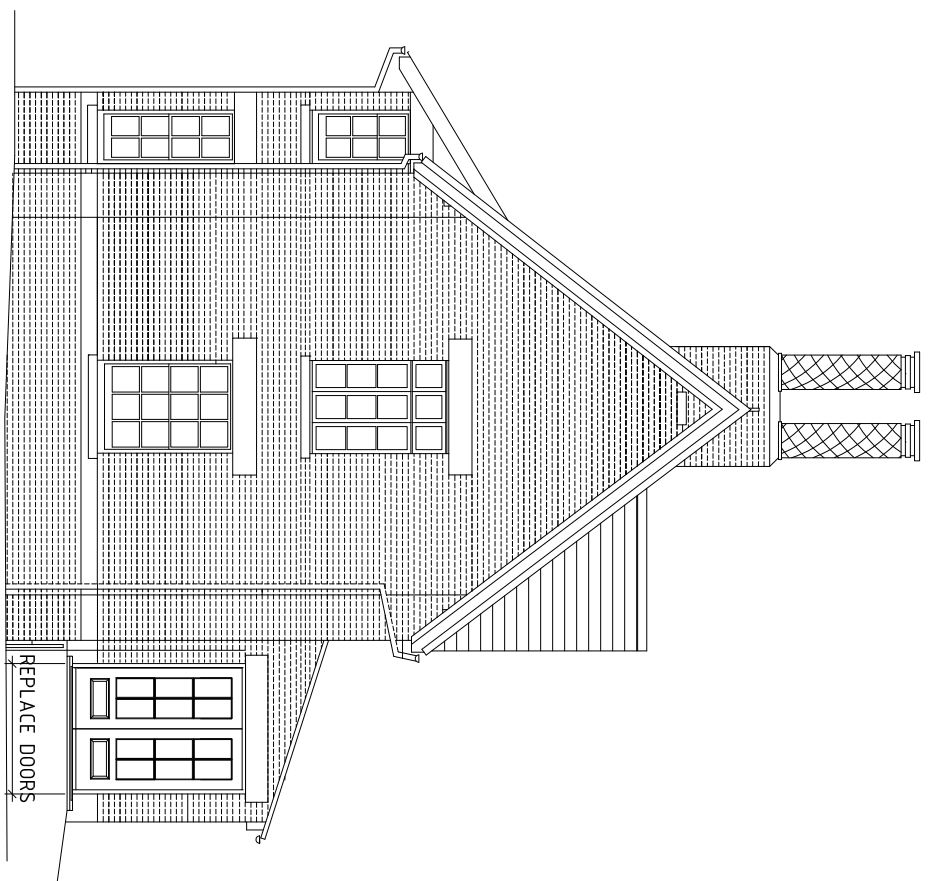


NOTES

1. THESE ARE PLANNING DRAWINGS AND ARE TO BE USED FOR THAT PURPOSE ONLY
2. THESE ARE NOT CONSTRUCTION DRAWINGS



DATUM LINE
VALUE 56.00m

SOUTH WEST SIDE ELEVATION

Notes Generally

Existing Materials

Existing red clay pebbles/plain tiles with decorative ridge to main roof. Clay pebbles to the south single storey (20th extension and slate to the two storey hipped bay on the east end.
External walls are red facing bricks in English Bond with gault brick banding, plinth and piers, and limestone cills and lintels.
The existing windows and doors are all timber frames painted white. There are a mixture of sashes, casement and pivot windows.
Guttering and fascias along with exposed joinery are all white.

Services

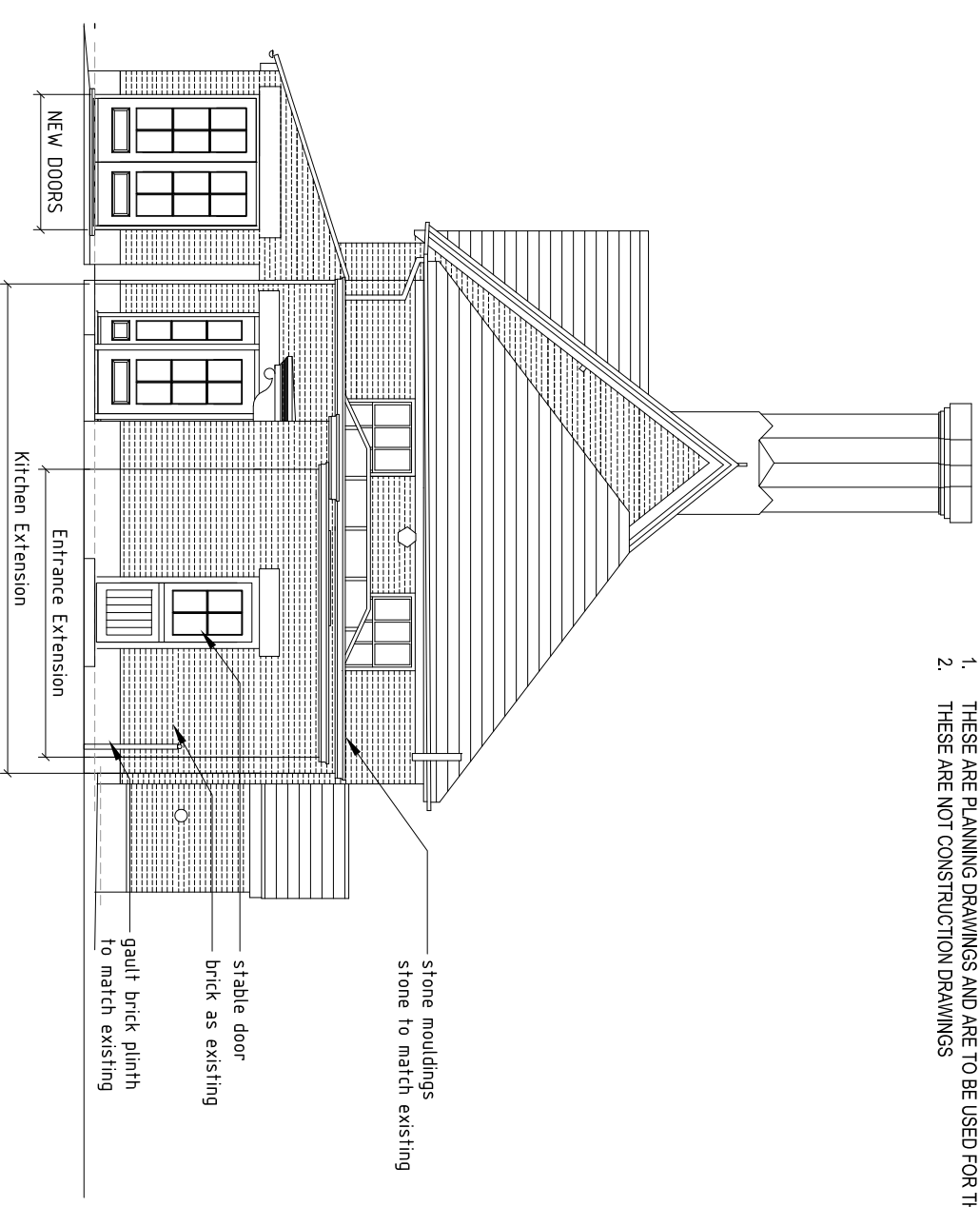
New plumbing throughout for new kitchen and utility layouts connecting to existing drainage runs
Surface water shall be directed to a new soakaway positioned under the proposed driveway.
Rewiring and new wiring system to East end of property to accommodate altered layout.

New Decoration

New decoration throughout using like for like plasters and breathable paints on existing walls and ceilings.

Floor Levels and Build up

Existing suspended floors at East end shall be insulated using breathable insulation. Existing floor boards shall be reinstated. Floor levels of extension shall be level with floor level of existing kitchen.



DATUM LINE
VALUE 56.00m

NORTH EAST SIDE ELEVATION



SCALE 1:100

REV	BRIEF DETAILS	DATE
A	Entrance, Kitchen and Pantry Extensions altered	18/05/22
B	Notes added for planning submission.	31/11/22
C	Adjustments made to rooflights and parapet.	23/11/22
D	Cornice stone removed and note regarding roof finish updated.	28/02/24

SIDE ELEVATIONS PROPOSED

for
ONEHOUSE HALL
LOWER ROAD
ONEHOUSE
STOWEMARKET
IP14 3BY

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NO.	2151 / PD / 203	REV	D	CHECKED	ST
SCALE	1 : 100 @ A4	DATE	MAR '22	DRAWN	KB

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