



**Heritage, Design and Access Statement for  
2151 Onehouse Hall, Onehouse, Stowmarket  
November 2022**

**Revision A January 2023**

**Revision B March 2024**

**Site:**  
Onehouse Hall,  
Lower Road,  
Onehouse,  
Stowmarket,  
IP14 3BY

**Compiled by Agent:**  
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South East (Front) Elevation



ARCHITECT ACCREDITED IN BUILDING CONSERVATION

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## 1. Introduction:

This statement is written in support of an application for Listed Building Consent for a proposed single storey extension to Onehouse Hall and associated alterations to the elevations, internal layout to the east end of the ground floor. Furthermore, the proposals include a detached garage with log store, reinstated and new footbridge, altered gateway and associated external works. The Listed Building Consent is sought following a previous approval DC/22/05984 and discharge of conditions DC/23/03420, with some small amendments that have been made to the proposals. It has been agreed to submit a new Listed Building application to cover the minor changes.

The homeowner has appointed Kay Pilsbury Thomas Architects as specialists in historic buildings, to design proposals that are in-keeping with the historic context of the site.

## 2. Heritage Assets and Archaeology

The house became Grade II listed on the 24<sup>th</sup> June 1986.

*'Farmhouse, formerly manor house. Mid C16, with major alterations, principally of early C17 and 1887. 2 storeys and attics. The main C16 range is aligned north-south: timber-framed and plastered. Plain tiled roof with an axial chimney, the shaft rebuilt in C19 red brick with diagonally-set square flues. Mid C19 small-pane sashes at 1st storey, mid C20 casements below. C20 gabled entrance porch with panelled door. A 2-cell cross wing added early C17 to south end: timber-framed, encased in brick and extended both ends in red brick in 1887, as dated on west gable; all external features described below are of this date. Pilasters and bands of gault brick in the Estate style of Great Finborough Hall. 3 gablets on the south side, with sash windows. Two axial chimneys of red brick: one with a diagonally-set cruciform shaft, the other with circular twin shafts of moulded terracotta tiles forming diaper patterning in high relief. Concrete lintelled openings with C20 small-pane casements. The C16 range has some massive unmoulded framing exposed, and clasped-purlin roof much altered in C19. The C17 range has altered arched fireplaces and a butt-purlin roof, the framing mainly concealed. Two arms remain of a probably medieval moat. Queen Elizabeth I is believed to have visited in August 1578.'*

### Heritage Environment Record

Heritage Gateway confirms there are 9 listed buildings within 500m of the site, all are listed Grade II, as follows:-

- Base of Churchyard cross 30 metres South of the tower of Church of St John the Baptist
- Onehouse Lodge
- Stable and Coach House 30m East of Onehouse Lodge
- Barn 40m South East of Onehouse Lodge
- Barn 60m East of Onehouse Hall
- Hunters Lodge
- Church of St John the Baptist
- Garage and Store formerly Oast House 20m North of Onehouse Hall
- Granary 50m North East of Onehouse Hall

**Historic England Research Records** show 2 results which include the moat around Onehouse Farm, see below and Church of St John the Baptist.

### **"Onehouse Farm**

**Grid Ref :** TM0170059160

**Summary :** 19th Cent. Farmhouse and remains of MD moat. Site of Md house

**More information :** [TM 01705916] Onehouse Hall on site of ONEHOUSE HALL [LB] (1)

Three fragments of a moat around the site of Onehouse Hall. (2)

Homestead Moat, in good condition, comprising two waterfilled arms and one dry arm. The remaining N. arm has been destroyed by farm buildings.

*Onehouse Hall is of 19th c. date and of little architectural interest.  
Published C.S.L. 1/2500 revised. (3)''*

**NMR Excavation Index**, the guide to archaeological excavations and interventions, records an excavation at St John's Church, Onehouse where trial trenching was carried out during underpinning works to the tower, Site/SMR Code: ONS002.

The Church of St John the Baptist is listed on the **Church Heritage Record**.

There are 7 results listed on the **Suffolk Historic Environment Record** as follows:

- Onehouse Hall
- Church of St John the Baptist
- Roman artefact scatter of pottery sherds. (Rom)
- Findspot of a Medieval silver coin of King John. (Med)
- Farm buildings at Onehouse Hall
- 'Onhus' hermitage/anchorite cells
- Bury Lodge

The property is not in a conservation area or a scheduled ancient monument.

The site is in Flood zone 1, which is a low probability of flooding from rivers and seas.

Historically, there was a functional link between the Church and Onehouse Farmhouse, and later Onehouse Hall. This link will not be affected by the residential alterations proposed. In addition, the farm buildings to the East of Onehouse Hall have been converted into residential units during the latter part of the C20 which has changed the overall use of the site from farming to semi rural housing. Historic maps show that the access road to the Onehouse Hall was to the East of the existing road and that there was a network of footpaths to the north and west linking the Church, Onehouse Lodge and the school. Maps also show that the east arm of the moat was still present in 1953, therefore the formation of the access road from Lower Road, that is now used for access, and the filling in of the moat took place in the latter half of the C20. The access road does not follow the exact line of the East arm of the moat as it bends around the south east corner of the site, however it would appear the arm of the moat terminated roughly in the location of the existing klargester and services on the corner of the site. Historic maps also show that the moat had a foot bridge to the south and there were ancillary outbuildings positioned to the East of Onehouse Farmhouse. There is no record of the brick pillars that are to be reused as part of the garage/cart lodge design.

### **Assessment of effects upon setting of Onehouse Hall**

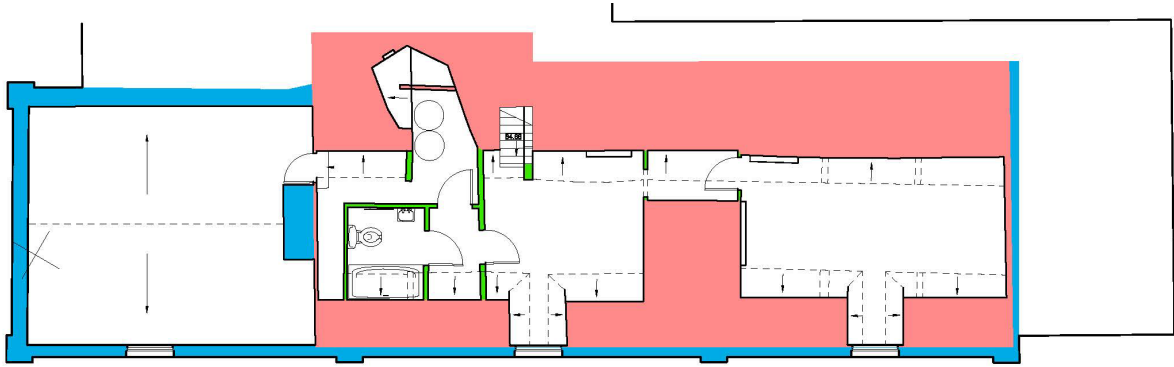
<b>Factor</b>	<b>Comment</b>
Location and siting of the development <ul style="list-style-type: none"> <li>• Proximity</li> </ul>	The proposed development is not sited within the historic boundary of the Church or the moat. The site appears to have always been used for ancillary purposes to the farmhouse and farm buildings. The linear garage building extends towards the shared access gate to the East and where it is the original north tip of the east arm of the moat would have terminated.
<ul style="list-style-type: none"> <li>• Extent</li> </ul>	The extension is modest and to the East of the house extending off the ancillary accommodation of the Victorian extension. The detached garage is positioned between the original buildings where historic maps show ancillary accommodation historically. The extent of the footprint sits within the block of original buildings and does not introduce structures in

	locations of the site where there were no structures.
<ul style="list-style-type: none"> <li>Position in relation to key views</li> </ul>	The key view through the farm buildings following the original access route centrally through the farmstead and approaching the original farmhouse, east to west is maintained. Furthermore, the extension of the new ancillary accommodation to the east of the hall ensures no impact on the views of the building from and to the south.
Form & Appearance of development	The extension respects the proportion of the existing house and hall and with low pitched roofs concealed behind a brick parapet over a single storey stepped extension, it is subservient to both the north wing as well as the cross wing. The extension and garage building has very little impact on the imposing structure of the Hall and does not detract from the ground, setting or the moat.
<b>Conclusion</b>	There would be very low impact to the setting of the North Wing, the Hall, moat and former farmstead (now converted) as the site has undergone a significant number of changes during the course of the last century.

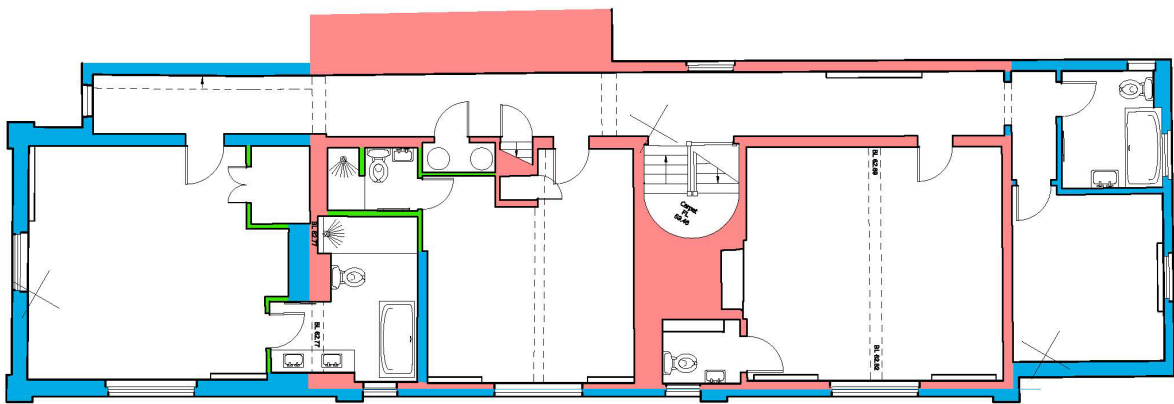
### Evolution of Onehouse Hall

As the heritage significance of the building relates to its originality, that of the historic core is **high significance**. The North Wing and C16 range along with the C17 Cross Wing are of **high significance**. The late Victorian extensions and encasing of the east-west range is considered of **moderate significance** and the C20 additions and internal remodelling are of **low/neutral significance**.

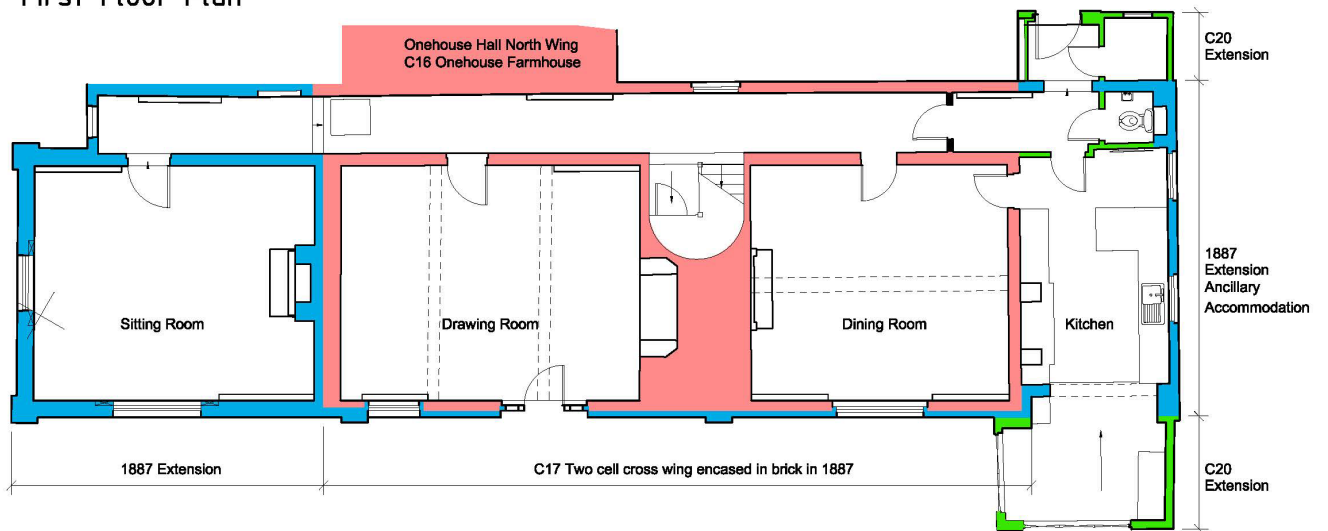
The C19 and C20 alterations demonstrate the social evolution of the building but they obscure the understanding and significance of the earlier building.



Attic Plan



First Floor Plan



Ground Floor Plan

- High Significance
- Moderate Significance
- Low Significance



Figure 1. Heritage Significance Plan.

### 3. Summary of Proposals

#### Single storey side extension:

A single storey brick extension is proposed off the east side of the 1904 lower Service range to form a larger kitchen space with principal views to the south as the existing range. The extension is set back, and a shallow pitch roof and glazed roof lantern are concealed behind a brick parapet with timber French Doors opening to the South and East to allow the room to be used as a breakfast room. The extension then steps back again and extends to the East to form a new entrance lobby with cloak and utility room, keeping the service accommodation to this side of the main range. The treatment of the roof behind a brick parapet is continued, with timber sashes, timber entrance door with top light and stable door to the side, off the Utility. The former entrance on the north side has been closed off to form a Pantry, off the Kitchen. The modern existing lean-to to the south east at the front of the range is in a C20th unsympathetic facing brick and it is proposed that the aesthetic be altered slightly to enhance the Victorian elevation by inserting wider French style timber doors.

#### External works, access and driveway

The intention is to relocate the parking to the East of the heritage asset so as not to detract from the south facing views from and to the house. Approaching the Hall from the south offers a greater view of the house. Providing parking and a garage to the east will keep vehicles away from the front of property that can be unsightly and detract from the historic setting. A detached garage to the north east corner of the site that reuses existing brick piers (that formed part of C20th garden structure) have been incorporated into the design that provides 2 open sided bays and a log/bin store in the form of a lean-to at the east end. This also creates an alcove for the relocated oil tank, repositioned away from the historic wall. The garage shall be oak framed with a slate tiled roof with black painted weatherboard over a small red brick plinth. The roof to the east end lean-to shall also have a slate roof. The existing driveway surface to the north, that is currently shared between the North Wing and the Hall shall be retained as the sole access to the North Wing. A black painted 4 bar estate fence, located between the outbuildings, suggests the boundary visually between the dwellings.

A new gate with brick piers located on the south east boundary of the site is proposed to form a separate access to the property, repositioning an existing field gate position. The design includes two sections of understated brick panels with half round brick copings, that interrupts the existing timber post and rail fence, matching its height. The style of the gate is a painted timber bar field gate with shaped finials to top the gate posts that shall be painted in an off white with black ironmongery. The public highway, Lower Road, is located to the south and the new vehicle entrance will be located on the Private Road off Lower Road. There will be no alteration to the access on to the highway and no increase in vehicle usage to the site because of the proposals.

#### Footbridges

The proposals include the reinstatement of a footbridge, to the east of the original footbridge position on the south arm of the moat and on the west arm of the moat a new footbridge is proposed linking an opening in the garden wall to the fields to the west. The footbridges shall be supplied by Coulson's Bridges in the Japanese Style, <https://www.coulsonsbridges.co.uk/bridges>, which are suited to the necessary spans and rural location. Standard drawings are included as supporting documentation to the application which indicate the necessary ground supporting structure.

#### Design and Justification of the Works

Overall, the alterations to the Hall are intended to enhance the existing heritage asset, improve its functionality and access to allow it to achieve its optimal use as a family home.

The proposed extensions mainly affect the areas of neutral or low significance with the loss of fabric of moderate significance being limited to the section of wall and ground floor windows to form the kitchen.

#### Revision B Material and Design Changes

The changes to roofing materials proposed in this application which include a GRP roof and alteration to the spec of the roof lantern, will be concealed behind the raised parapet and do not alter the proposed elevations or impact on the setting. The removal of the string / cornice stone and sash window on the north elevation



maintain the subordinate appearance of the extension when compared to the gabled Victorian elevation, and are more in keeping with the setting out and spacing of the 'original' elevations of the Hall.

**Materials**



Figure 2. Example of painted bar and timber field gate.



Figure 3. Footbridge design, to be painted white. Coulson's Bridges Japanese style.



Figure 4. & 5. Example of proprietary lantern and GRP roof.





Figure 6. & 7. Red bricks to the external elevations in English Bond with stone details in a york stone or similar to match the existing 4 brick high lintels. The plinth shall be gault bricks to match the existing Hall.



Figure 8. Proposed rooflight concealed behind the parapet of the entrance lobby that shall be set within a GRP roof.



Figure 9. Proposed rooflight to entrance lobby, internal view showing frameless upstand and clear view of sky above, from The Rooflight Company.



Figure 10. Elevation of Timber panelled front door with lights. Glazing shall be narrow double glazing with integral glazing bars. Over the door an acid-etch glazing panel 'Onehouse Hall' in clear glazed lettering.

#### 4. Planning History and Pre-Application

##### 4.1 Planning History

<b>REF:</b> DC/23/03420	Discharge of Conditions Application for DC/22/05984 - Condition 3 (Agreement of Materials to Extension), Condition 4 (Architectural Drawings) and Condition 5 (Architectural Detail on Roof Lantern)	<b>DECISION:</b> Discharged <b>15.09.2023</b>
<b>REF:</b> DC/23/02780	Discharge of Conditions Application for DC/22/05983 - Condition 3 (Archaeological Scheme of Investigation) and Condition 5 (Materials to Garage and Log Store)	<b>DECISION:</b> Discharged / Split <b>04.08.2023</b>
<b>REF:</b> DC/22/05983	Householder Application - Erection of a single storey extension: Erection of a detached garage and log store, new gateway, reinstated footbridge, new footbridge and associated external works.	<b>DECISION:</b> Granted with Conds <b>27.01.2023</b>
<b>REF:</b> DC/22/05984	Listed Building Consent - Erection of a single storey extension; Erection of a detached garage and log store, new gateway, reinstated footbridge, new footbridge and associated external works.	<b>DECISION:</b> Granted with Conds <b>27.01.2023</b>

<b>REF:</b> DC/21/01011	Full Application - Erection of 3 bay storage building to store equipment used in the maintenance of the land.	<b>DECISION:</b> Refused 19.04.2021
<b>REF:</b> DC/19/03312	Application for Listed Building Consent - Replace roof tiles and battens.	<b>DECISION:</b> Granted 05.09.2019
<b>REF:</b> 4822/16	Development of site within curtilage of Grade 2 listed building.	<b>DECISION:</b> EPC 05.12.2016
<b>REF:</b> 0143/87	Alterations and extensions to existing buildings to form 8 dwellings with garaging, use of existing accesses with additional section of drive near the church and provision of septic tank and treatment plant drainage.	<b>DECISION:</b> Granted 07.04.1987
<b>REF:</b> 0010/87/LB	Alterations to existing buildings,	<b>DECISION:</b> Granted 07.04.1987
<b>REF:</b> 0079/86/OL	Conversion of farmhouse, barns and outbuildings and erection of out building to form hotel/holiday complex.	<b>DECISION:</b> Granted 06.10.1986

#### **Pre-application advice**

Pre-application advice has been sought for the proposals on 22 June 2022 (DC/22/03200) and Sibyl Thomas of KPT Architects, met with Paul Harrison, Heritage Officer, and the Planning Officer, Daniel Cameron, at the Hall on the 30 August 2022.

Following the approvals for the Hall in 2023 which were, DC/22/05984, DC/22/05983, DC/23/02780 and DC/23/03420, there have been some adjustments to the materials proposed and some amendments to the proposed Elevations of the extensions and arrangement of the Cart Lodge/Garage. It was agreed at the beginning of March 2024, that these proposals could be supported, and a new Listed Building application submitted to cover these. Both Daniel Cameron (Planning Officer) and Thomas Pinner (Heritage Officer) were contacted.

**5. Photographs, as existing:**



Figure 11. North West (Rear) Elevation



Figure 12. View of side elevation where extension is proposed



Figure 13. North West (Rear) Elevation



Figure 14. View of side elevation where extension is proposed



Figure 15. Lean-to on South East Elevation



Figure 16. North East (Side) Elevation c.1900 service accommodatin with slate hipped roof.





Figure 17. View looking East from existing shared access with brick piers (covered in vegetation) on the right that have been incorporated into the garage design.



Figure 18. View looking along East boundary with hedge and post and rail timber fence. View straight ahead of the section of fence where the proposed new access gate shall be inserted.

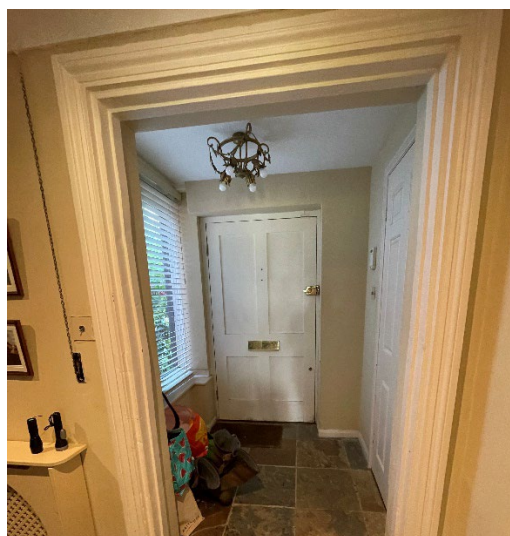


Figure 19. Internal view of existing main entrance door. This lean-to shall be remodelled to form a pantry off of the kitchen.



Figure 20. Existing kitchen which is too small and would have originally house the scullery and laundry.



Figure 21. Existing kitchen with C20 lean-to to the south and visible change in floor level which shall be lowered as part of remodelling.



Figure 22. The west arm of the moat looking East with the opening opening within the garden wall visible. It is proposed that the new footbridge be positioned slightly north of the gate where there is slightly more embankment.





Figure 23. New footbridge location on west arm of the moat.



Figure 24. Reinstated footbridge location on the south arm of the moat.  
The bridge is located opposite the existing pathway from the Hall.





Figure 25. Reinstated footbridge location on south arm of moat positioned slightly further east to tie with garden footpaths. The existing car parking is visible which has a negative impact on the view from the south of the hall. The proposed garage and gate alterations shall enhance the historic setting of the Hall.

**6. Table of Effects**

	<b>Proposal</b>	<b>Significance of affected fabric</b>	<b>Impact</b>	<b>Reasoning and mitigation</b>
1.	Single storey side extension and repositioning of garden wall.	Moderate – late C19	Low Impact Benefit	The proposal involves the loss of a section of late C19 wall and two ground floor windows where the connection of the single storey kitchen, entrance lobby, utility and cloak room extension connects to the hall. This part of the house is considered of moderate significance but has undergone previous alteration to the north and south with C20 extensions and internal alterations which has compromised its significance. When evaluating the proposals, it is considered the most appropriate location to position the new extension as it resolves many of the issues for the property in relation to access and internal layout whilst having minimal negative impact on the existing fabric and setting. The floors, walls and ceilings within the existing kitchen are all lined with modern materials and no disturbance to the historic fabric is proposed. The modern finishes will be removed to allow assessment of the concealed historic fabric prior to the installation of new fittings and fixtures.
2.	Design of the single storey extension.	Moderate and Low	Low Impact Benefit and Enhancement	<p>The proportions, architectural features and detailing of the extension considers the vernacular and proportions of the existing asset with the height of the parapet corresponding with the heights of the C20 extensions. Furthermore, the horizontal setting out and architectural language of the proposed elevations includes features found on the main South Elevation of the hall, however stepping the extension back, in two instances ensures the south Elevation of the Hall remains the dominant elevation. To the rear, the access view and East Elevation of the North Wing is also preserved with minimal impact to the setting of the farmhouse and the East courtyard which shall no longer need to be a shared access to both properties.</p> <p>The proposed windows and doors (along with the replacement windows and doors to the C20 extensions) shall all be double glazed units with integral glazing bars and the stone lintels to match existing, in york stone or similar.</p> <p>The parapet conceals low pitched roofs that connect to new painted aluminium</p>

				<p>hoppers and downpipes which shall be dark grey to contrast with the treatment of the existing roofs and rainwater goods of the main property. All the existing roofs are either a pitched clay tile or slate with white rainwater goods.</p> <p>The glazed lanterns over the kitchen and entrance lobby, shall be proprietary systems that enhance the ground floor space by providing natural light into the space which shall be in the shadow of the main range from the early/late afternoon onwards.</p> <p>The floor levels of the new extension shall match those of the east end C19 extension and the C20 lean-to to the south shall have its floor lowered as part of the remodelling and improvements. The original Victorian service section has a solid floor.</p>
3.	Removal of shed adjacent to garden wall and formation of 3 open bay garage, incorporating existing brick garden piers.	Moderate - Setting of listed building.	Neutral Benefit and Enhancement	<p>The removal of the large shed to the east of the garden wall is of benefit to the existing setting of the historic asset and moat as it sits between the historic asset and the moat. The garage bay lies on the footprint of a former garden structure, thought to be a greenhouse and incorporates brick piers that remain. Its position defines the separate access to the North Wing and is positioned on the site where historically the farmstead buildings were grouped together to the East of the site. The materials are subservient using a slate roof, and painted weatherboard with low level plinth. As such, the form, materiality and position of the garage shall not have a negative impact on the site and the improvements to access and siting of vehicles can be considered and enhancement.</p>
4.	Repositioned south east access and new gate and piers. Altered driveway.	Moderate – Setting of a listed building and	Neutral, Benefit and Enhancement	<p>An existing access to the south is positioned within the existing post and rail fence and to improve the approach to the property this gate has been repositioned to form a formal access to the grounds and property which provides a view of the moat and hall from the private road. The gate is a timber and bar field gate with decorated posts that shall be painted off white so that it is in keeping with the style of a Victorian rural dwelling of this scale.</p> <p>The driveway shall have a band of stone setts to act as a margin to the gravel driveway and the body of the driveway shall be a gravel finish with an open graded aggregate sub-base.</p> <p>The alterations a neutral but overall shall enhance the setting of the designated an undesignated heritage asset.</p>

				<p>The new section of driveway beyond the existing low level garden wall will be laid with a gravel finish on an open graded aggregate sub-base of min. 200mm deep, on a geotextile layer, all laid on the compacted soil.</p> <p>A strip of block paving or asphalt at the entrance will be laid to limit the loss and spread of gravel from the drive.</p>
5.	Reinstated footbridge and new footbridge to the west arm of the moat.	Low – Setting of a listed building and near an undesignated heritage asset that is locally listed.	Low Impact	<p>The reinstatement of a footbridge to the south arm of the moat is of low impact as the disturbance to the existing embankment of the moat is concentrated and minimal. Historic maps show that there was a footbridge located along this length of the moat and there are visible remains of footings from the most recent C20 footbridge.</p> <p>The new position of the footbridge to the west arm of the moat is an introduction of a further structure, however, the design is simple and in keeping with Victorian property and again the area of ground to be disturbed would be concentrated and minimal. Historic maps show that there were footpaths in use surrounding the whole site and farmstead, that connected across the north edge of the moat, leading up to the school and lodge.</p> <p>Any grounds work necessary, can be mitigated as required, to assess the ground being disturbed.</p>

## 7. Planning Policy

### 7.1. Statutory context

The Town and Country Planning (Listed Buildings and Conservation Areas) Act 1990 requires a local planning authority to pay special attention to the desirability of preserving or enhancing the character or appearance of a Conservation Area (Section 72) and a Listed Building or its setting (Section 66).

### 7.2. National Policies

Relevant National Policies and Guidance referred to include:

- National Planning Policy Framework (NPPF4) 2021
  - Section 12: Achieving well-designed places
  - Section 16: Conserving and enhancing the historic environment
- National Planning Policy Guidance for Historic Environment (2019)

## NPPF

These proposals have been informed by the relevant policy considerations in the NPPF as set out below: -

### **Proposals affecting heritage assets NPPF (2021) 194.**

*“In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets’ importance and no more than is sufficient to understand the potential impact of the proposal on their significance. As a minimum the relevant historic environment record should have been consulted and the heritage assets assessed using appropriate expertise where necessary. Where a site on which development is proposed includes, or has the potential to include, heritage assets with archaeological interest, local planning authorities should require developers to submit an appropriate desk-based assessment and, where necessary, a field evaluation.”*

**This Heritage Report describes the significance of the heritage asset in detail and has been written by a practice that specialises in Conservation Architecture.**

### **NPPF 197.**

*“In determining applications, local planning authorities should take account of:*

- (a) the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;*
- (b) the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and*
- (c) the desirability of new development making a positive contribution to local character and distinctiveness.”*

**The extension to the service accommodation and access at Onehouse Hall compliment the architectural development and evolution of the listed building and its setting. The alterations address some of the key problems caused by the division of the building into two properties during the C20 and enhance the architectural value and appearance/significance of the house. The extension is subservient and is incorporated into the ground floor service accommodation that has been previously altered. Where the removal of historic fabric is proposed, the historic fabric has either previously been altered and/or the extent of fabric lost is minimal and will cause no harm to the significance of the building. These proposals will ensure that Onehouse Hall is retained as a viable family home of this size and category and will conserve the historic environment of the site.**

**NPPF Considering potential impacts 199.**

*“When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset’s conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.”*

**The attached table describes in detail the impact of all the proposals.**

**The proposals overall are modest and where alterations are proposed, their impact shall be low and will not cause harm to the significance of the designated heritage asset and in many instances shall enhance Onehouse Hall and its historic environment. The alterations are sensitive to the historic fabric and setting that should be conserved and protected.**

**NPPF 200.**

“Any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification. Substantial harm to or loss of:

- (a) grade II listed buildings, or grade II registered parks or gardens, should be exceptional;
- (b) assets of the highest significance, notably scheduled monuments, protected wreck sites, registered battlefields, grade I and II\* listed buildings, grade I and II\* registered parks and gardens, and World Heritage Sites, should be wholly exceptional.”

**There is no harm, or loss of, the significance and therefore the tests under NPPF 200 are not applicable.**

**NPPF 202**

*“Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.”*

**The extension and the proposals to the listed building will contribute to the conservation of the listed building and its use as a viable family home, ensuring the listed building survives for many years to come and is cared for, which is in the public interest.**

**7.3 Local Policy – Mid Suffolk District Local Plan, Written Statement**

**POLICY HB1 – Protection of historic buildings**

*“The district planning authority places a high priority on protecting the character and appearance of all buildings of architectural or historic interest. Particular attention will be given to protecting the settings of listed buildings.”*

**The character and appearance of Onehouse Hall and the North Wing shall be conserved and enhanced as a result of these proposals. The setting and historic environment shall be protected, and proposals shall have a positive impact on the designated heritage asset.**

**POLICY HB3 – Conversions and alterations to historic buildings**

*“Proposals for the conversion of, or alteration to, listed buildings or other buildings of architectural or historic interest will only be permitted in exceptional circumstances and will be required to meet high standards of design, detailing, materials and construction. Listed building consent will be granted if the district planning authority is satisfied that:-*

- the proposal would not detract from the architectural or historic character of the existing building or its setting;
- and, in the case of a timber framed building, the structure of the frame including its infill material remains largely unaltered.”



**The extension and external works proposed at Onehouse Hall consider the historic evolution of the site and the features that are necessary to enhance the historic setting. The alterations proposed meet the high standard of detailing, materials and construction that would be expected with reference being made to the window detailing and materials proposed for the external finishes of the extension and garaging.**

POLICY HB04 - Extensions to listed buildings

*“Listed building consent will be granted for the extension of listed buildings if the district planning authority is satisfied that:-*

- the proposed extension will not dominate the original building by virtue of its siting, size, scale or materials;*
- the proposal does not detract from the architectural or historic character both externally and internally for which the building is listed.”*

**The extension to the listed building is considerate in its siting and is subordinate to Onehouse Hall and the North Wing. The kitchen and entrance extensions are stepped back from both the principle south view of the Hall as well as the East elevation of the North Wing and the proportion and materiality is in keeping with the materiality, scale and detailing of the existing service accommodation whilst remaining subservient to the main ranges of the designated heritage asset. The high-quality material, design and traditional detailing conserves the hierarchical order expected of a heritage asset of this stature, enriching the house and its setting, and continuing the evolution of the site.**

## **8. Access**

Access from the highway shall remain as existing. The public highway, Lower Road, is located to the south and the new vehicle entrance will be located on the Private Road off Lower Road. There will be no alteration to the access on to the highway and no increase in vehicle usage to the site because of the proposals.

## **9. Ecology and Trees**

Please refer to the recommendations for reasonable biodiversity enhancements included within the Habitat Suitability Report.

No trees are to be removed as part of the proposals. None of the trees on the site have Tree Preservation Orders.

A flood risk assessment is not necessary as the site lies within Zone 1 and the site is less than a hectare.

## **10. Summary**

**These proposals will be beneficial to the longevity and optimal viable use of the building as a house, and have been designed to reflect its size, proportions, and character as well as its surroundings.**

**The proposals preserve and reinforce the longevity, interest, value use and significance of the Grade II listed building, and preserve the setting of the historic building.**

**The proposals are therefore consistent with the direction of conservation policy and 1990 Planning Act to identify, preserve or enhance the character of the listed building and heritage assets.**