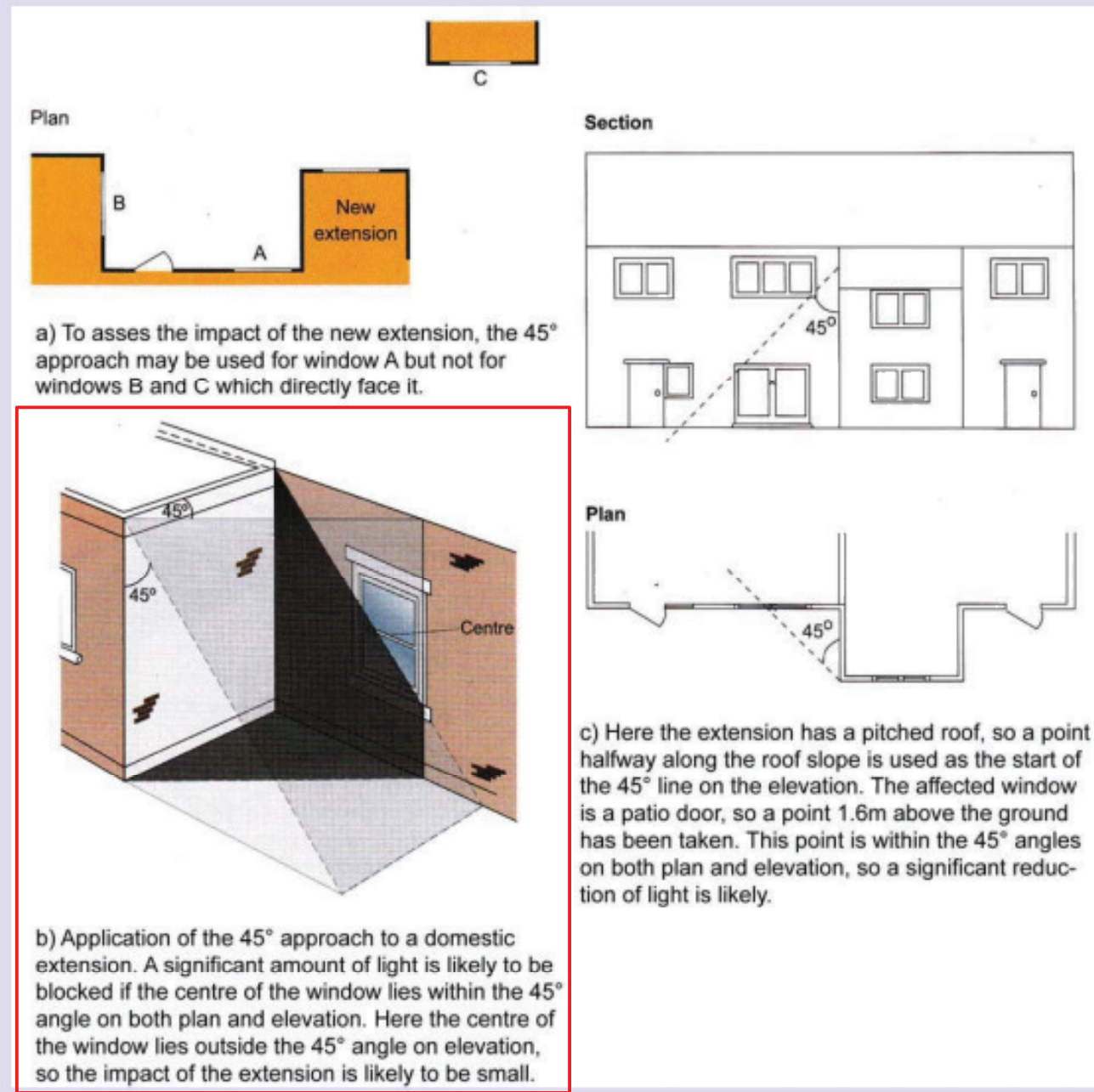


Policy Guidance 32

Daylighting and Sunlighting

When designing a household extension or outbuilding the impact on daylighting and sunlighting of new buildings will be assessed using the following criteria:

Figure 26 The 45 Degree Rule (Source: BRE Guide to Daylighting & Sunlighting)



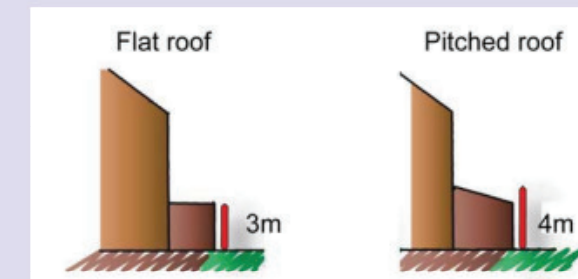
78

Height

Extensions proposed with:

- a flat roof should not exceed 3m in height;
- a parapet roof should not exceed 3.3m in height;
- a pitched roof should not exceed 4m in height; and,
- a balcony or roof terrace will not be considered acceptable where it causes overlooking. The exception to this may be where the building sits on a large plot with adequate screening along any shared boundaries.

Figure 30 Maximum height for a single storey extension



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Policy Guidance 33

Single Storey Rear Extensions (including Conservatories)

Single storey rear extensions should be designed so that they appear proportionate and subordinate to the host building. In all cases the following guidance will apply:

Depth

- If the neighbouring house is set at a lower level the depth of the extension should be reduced.
- If the neighbouring property has a different rear building line then the depth of the extension could be increased.

Residential Design SPD Adopted July 2013