HOUSEHOLD DEVELOPMENT 4

Policy Guidance 32

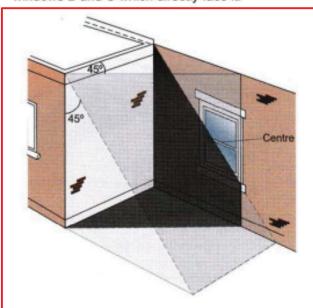
Daylighting and Sunlighting

When designing a household extension or outbuilding the impact on daylighting and sunlighting of new buildings will be assessed using the following criteria:

Figure 26 The 45 Degree Rule (Source: BRE Guide to Daylighting & Sunlighting)

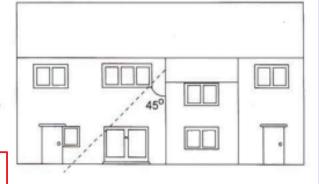


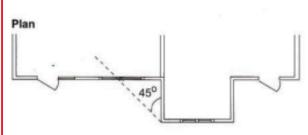
a) To asses the impact of the new extension, the 45° approach may be used for window A but not for windows B and C which directly face it.



b) Application of the 45° approach to a domestic extension. A significant amount of light is likely to be blocked if the centre of the window lies within the 45° angle on both plan and elevation. Here the centre of the window lies outside the 45° angle on elevation, so the impact of the extension is likely to be small.

Section





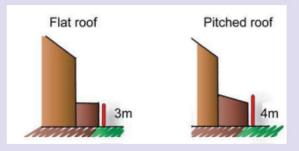
c) Here the extension has a pitched roof, so a point halfway along the roof slope is used as the start of the 45° line on the elevation. The affected window is a patio door, so a point 1.6m above the ground has been taken. This point is within the 45° angles on both plan and elevation, so a significant reduction of light is likely.

Height

Extensions proposed with:

- a flat roof should not exceed 3m in height;
- a parapet roof should not exceed 3.3m in height;
- a pitched roof should not exceed 4m in height; and,
- a balcony or roof terrace will not be considered acceptable where it causes overlooking. The exception to this may be where the building sits on a large plot with adequate screening along any shared boundaries.

Figure 30 Maximum height for a single storey extension



Policy Guidance 33

Single Storey Rear Extensions (including Conservatories)

Single storey rear extensions should be designed so that they appear proportionate and subordinate to the host building. In all cases the following guidance will apply:

- If the neighbouring house is set at a lower level the depth of the extension should be reduced.
- If the neighbouring property has a different rear building line then the depth of the extension could be increased.

Residential Design SPD Adopted July 2013



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147 THE MANOR DRIVE project drwa title SPD EXTRACTS drwg no. 328/PL/03 NOT TO SCALE scale

date

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