

Front Elevation - Proposed



Side Elevation - Proposed

completely remove existing upvc window and door frame, break-out plasterwork to exposed cavity masonry. Form new combined structural door opening in cavity construction to comprise; existing lintel or new Birtley CB70 (to suite cavity width) lintel complete with cavity tray and weep holes, insulated cavity closers and upvc casement frame with composite door builder to allow for sufficient plastering to provide a smooth and even surface ready to receive decoration

To be minimum 600 x 250mm thick grade C20P concrete strip foundations built off firm load bearing strata minimum 750mm below finished ground level to the complete satisfaction of the enforcing building inspector. The exact extent of foundations shall be determined on site following initial excavation and inspection by the building control officer in-conjunction with the builder.

note - depending on ground conditions, concrete foundations may be required to a minimum depth of 2500mm. Alternatively, a specialist installed piled foundation may be more economical. The exact extent of foundations shall be determined on site following initial excavation and inspection by the enforcing building inspector in-conjunction with the builder.

If piling is adopted, then this shall be carried out to specialist sub-contractor design. All associated design calculations and site data logs shall be issued to the inspector for their approval

Health and Safety Advisory Information (CDM 2015 Regulations) and Building Regulations (as amended) 2023:

The purposes and principles of both the CDM 2015 regulations and Building Regulations 2023 have been explained to the client (property owner) together with the roles and responsibilities of the main duty holders.

By undertaking and preparing this drawing, including the information contained within, it is deemed that Sherwood Building Design Solutions are designate 'Designer' and/or 'Principal Designer' under both the CDM 2015 Regulations and Building Regulations 2023, subject to written appointment and depending on particulars. These roles will be superseded by the appointment of Principle Contractor (Builder) on commencement and appointment thereof, as part of the construction phase.

For clarification, the client has appointed Sherwood Building Design Solutions to undertake specific design and drafting work associated with their 'client brief' (as detailed in the design services quotation) and the 'pre-construction phase' of this project. Further more, it is for the purpose of obtaining planning and building regulations approval from the enforcing local authority. It can be accepted that the client may use this drawing for the purpose of obtaining quotations for the cost of building works prior to progressing with the proposal further.

In preparing this drawing the following factors have been taken into consideration:-

- All areas of the property have been made available for the purpose of undertaking a thorough measured survey, including photographic records
- The property has had previous side conservatory with garage conversion, together with general maintenance and repair
- No existing Health and Safety File information available

This drawing together with separate information as provided by Sherwood Building Design Solutions (if applicable) will form the basis of the 'Pre-construction Information'. It is the clients responsibility to ensure ALL information is made available to other duty holders throughout the project.

No major and/or significant risks have been identified as part of this design that a competent contractor would not be capable of managing and undertaking. However, as a precautionary note, the following items will require careful consideration by the appointed contractor(s) or principal contractor:

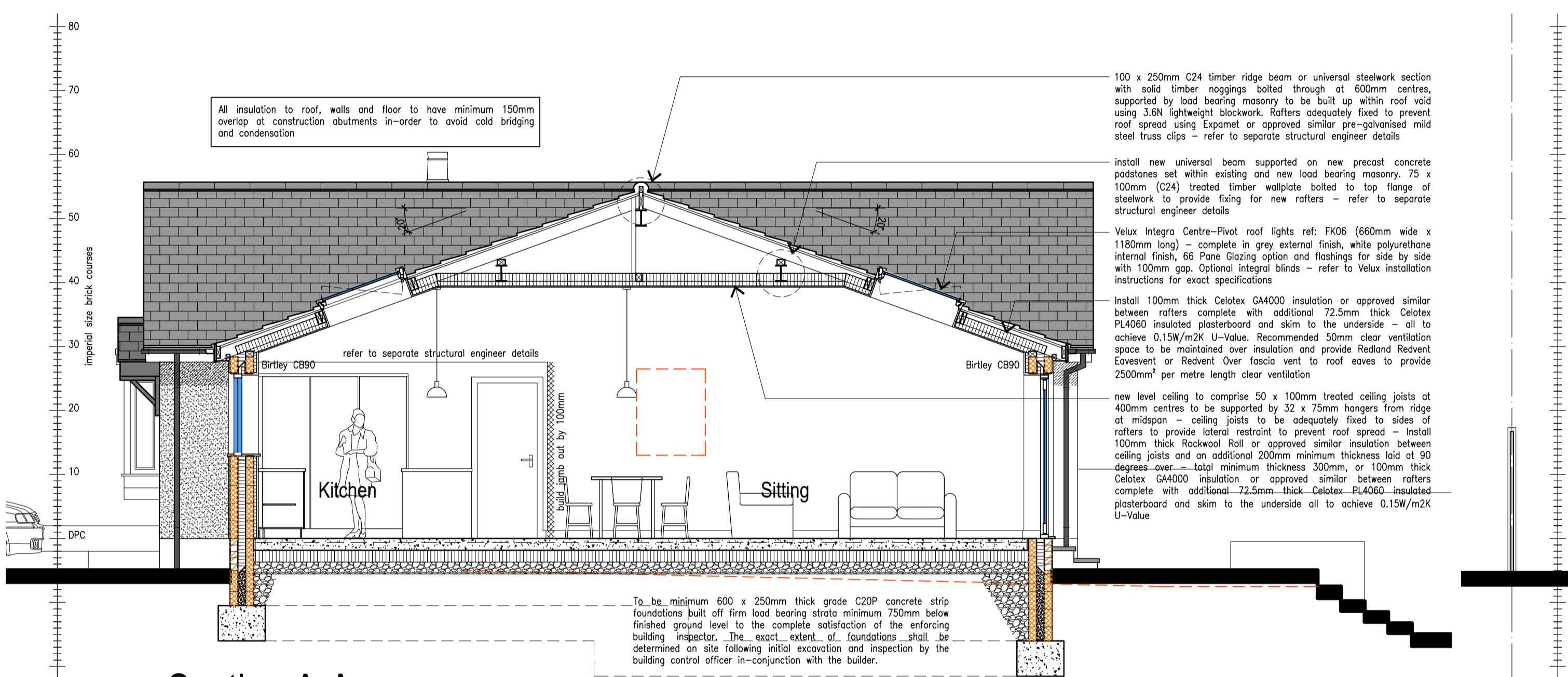
- Ground conditions are unknown and therefore it may be possible that the foundations will require structural engineering design if deemed necessary by either the contractor, principal contractor or building control officer.
- All associated incoming services will need to be identified prior to the commencement of any ground excavation and building work
- No hazardous materials have been identified and/or made aware of by the client
- General building work to be undertaken within an occupied property
- Foul drainage with an invert level of approximately 750mm
- Installation of large steelwork sections associated with structural alterations, therefore adequate consideration will need to be taken regarding manual handling and temporary works

It is the clients responsibility to take adequate measures to assess the competency of other duty holders, including designers and contractor(s) or principal contractor prior to their appointment.

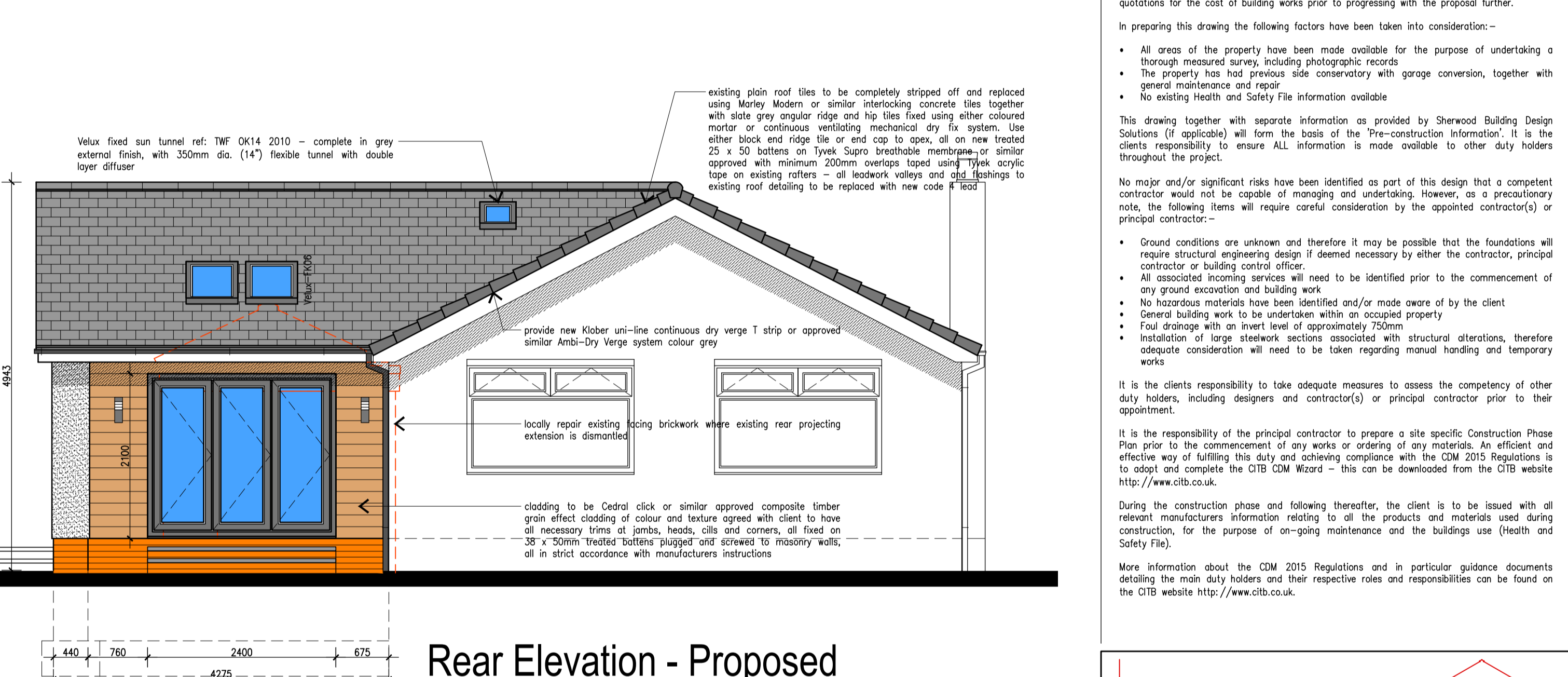
It is the responsibility of the principal contractor to prepare a site specific Construction Phase Plan prior to the commencement of any works or ordering of any materials. An efficient and effective way of fulfilling this duty and achieving compliance with the CDM 2015 Regulations is to adopt and complete the CDM 2015 Wizard - this can be downloaded from the CITB website <http://www.citb.co.uk>.

During the construction phase and following thereafter, the client is to be issued with all relevant manufacturers information relating to all the products and materials used during construction, for the purpose of on-going maintenance and the buildings use (Health and Safety File).

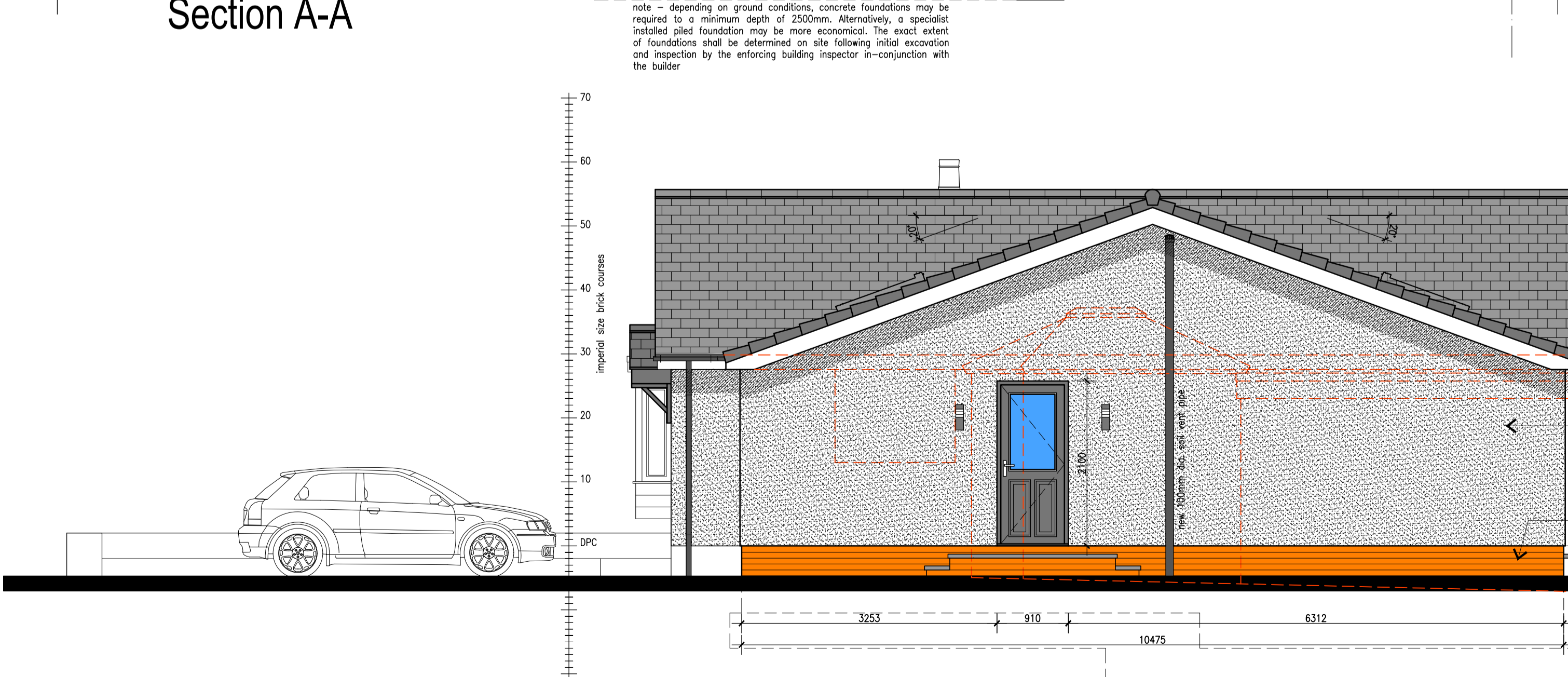
More information about the CDM 2015 Regulations and in particular guidance documents detailing the main duty holders and their respective roles and responsibilities can be found on the CITB website <http://www.citb.co.uk>.



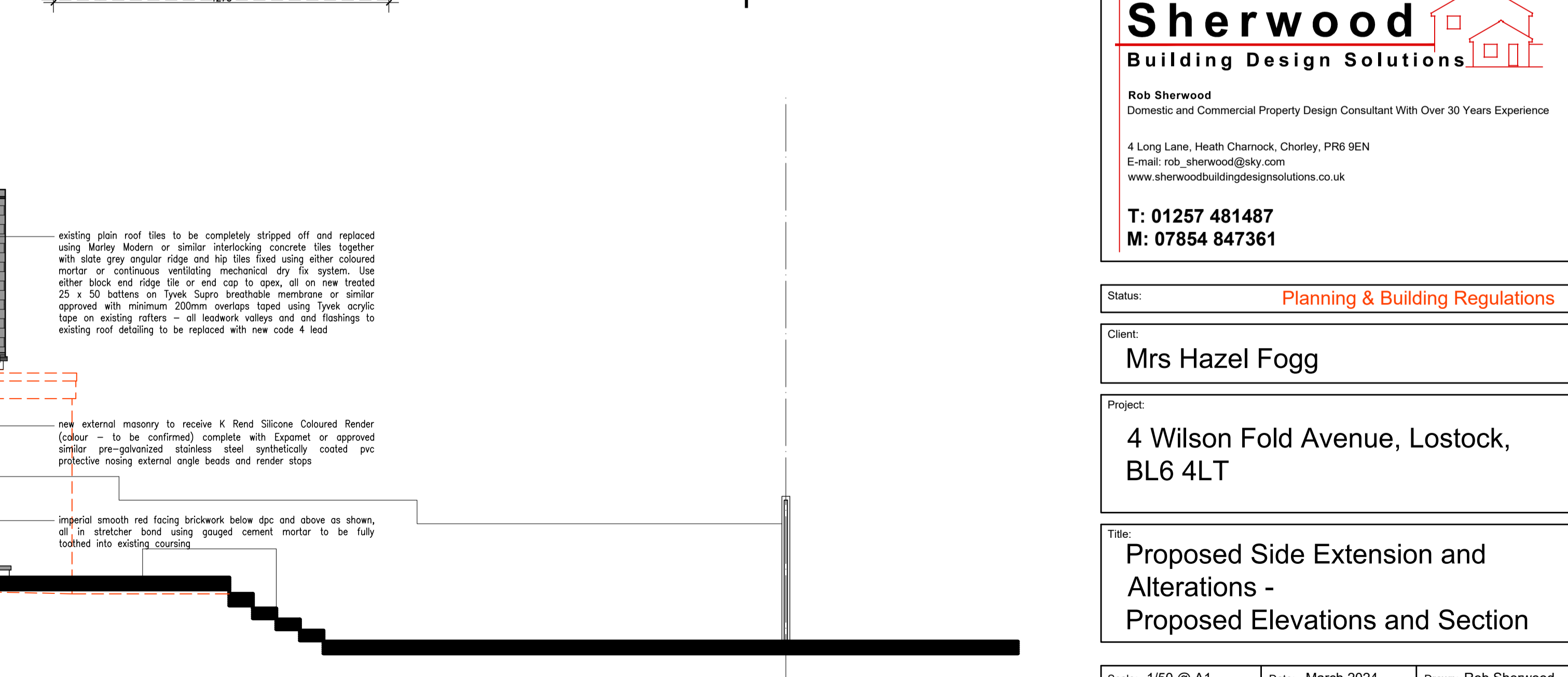
Section A-A



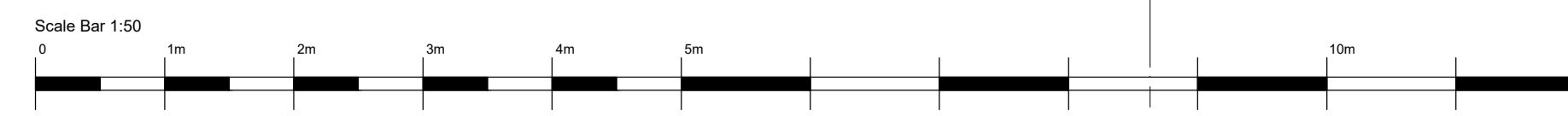
Rear Elevation - Proposed



Side Elevation - Proposed



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|-----------------|---|-----------|------------|
| Status:         | Planning & Building Regulations   |           |            |
| Client:         | Mrs Hazel Fogg  |           |            |
| Project:        | 4 Wilson Fold Avenue, Lostock, BL6 4LT                                    |           |            |
| Title:          | Proposed Side Extension and Alterations - Proposed Elevations and Section |           |            |
| Scale:          | 1/50 @ A1   | Date:     | March 2024 |
| Drawn:          | Rob Sherwood  | Revision: |            |
| Drawing Number: | 2024-12-02.3  |           |            |